

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0917	Issue Date: AUG 19 2003	CBL: 392 A019001
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Location of Construction: 199 Hope Ave (lot #19)	Owner Name: Goldeneye Corp	Owner Address: 286 Falmouth Rd CITY OF PORTLAND	Phone: 207-871-7663
Business Name: n/a	Contractor Name: East Coast Development LLC	Contractor Address: 33 Eastfield Rd. Portland	Phone: 2073189984
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R2

Past Use: Vacant	Proposed Use: New 3344 sq. Ft. Single Family with 24' x 24' two car attached garage.	Permit Fee: \$2,211.00	Cost of Work: \$235,000.00	CEO District:
Proposed Project Description: Build New 3344 Sq. Ft. Single Family Home with 24' x 24' two car attached garage.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: R3 SB BOCA 1999	
		Signature: JMB 8/19/03		Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 07/29/2003	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2003-0155 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MMS Date: 8/4/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

199 Hope Av

392-A-019

P 2 of Field Note

2/20/04 - owner/contractor spoke w/MSN
MSN agreed to authorize Temp. C.O.
if certain items fixed - MW (Group #1) will
go back at 4PM

2-20-04 Reinspected checked smoke Detector
near light installed OK
Kitchen wiring put in Box OK
Garage in front stairs OK
OK to issue Temp. C.O. MW

3/25/04 - Checked for Non Compliance w/approved Plans
Regarding "Daylight" Basement & foundation
configurations. Does not comply w/approved plans.
I advised MG and Jay Reynolds via E-mail (attached)

5/27/04 - On Site Re: permit # 04-0659, Post of Trust to
Chk the items "to be completed by 3/15/04" on Temp C.O.
Access to interior not avail. - Item #5 Guard
rail requirement on els stairs not complied with.
Also - No changes in Non-Compliance issues as
outlined in Insp of 3/25/04

8/30/04 met in office w/ Joe R. KC, MSN to discuss code issues
and site issues w/regards to Temp C.O. Agreed that all fire
separation drywall needs to be installed per code & inspected, handrail
required on front steps & inspected. Jay R. will be sending a letter
to Joe stating site requirements - An extension on the Temp C.O is
requested to complete this work. Also the amendment for daylight
basement must be submitted. JB

8/31/04 Joe R. submitted amendment for daylight. I contacted Jay R.
and verified that when the building conditions are inspected & approved
a Temp C.O can be extended until Nov 1, 2004 JB

11/02/04 met w/Jay R & Lee U. to review request from Joe R. for deck permit. The
restoration of wetlands is not acceptable & Jay R. will meet on site 11/4/04. We will
wait for approval from Jay before reviewing the deck permit. JB

*per 199 Hope Ave
392-A-019*

From: Jay Reynolds
To: Jeanie Bourke; Kevin Carroll ; Mike Nugent
Date: 8/30/04 9:22:03 AM
Subject: 199 Hope Avenue

Violation:

After visiting the site on Friday the 27th with Jeannie Bourke, it was evident that the wetland area to the right of 199 Hope Avenue has been filled over, loamed and seeded. (As some may recall, a wetland violation occurred last fall on a separate pocket of wetlands on this lot.) Jeannie and I verified that the building was placed per-plan, and in assessing the proposed deck location, the wetland encroachment became evident.

I will be sending Mr. Robinson a letter regarding this, but for your meeting today, the following restoration will be outlined:

1. Have original wetland boundary surveyed.
2. Have DEP visit the site to provide restoration recommendations.

After this has been done, we'll be in a better position to evaluate the deck.

Also, this deck falls outside of the building envelope. Certain lots require additional approvals to build outside of the envelope. I will discuss this with our development review team to determine if this is required, and if we'd grant this request.

Jay Reynolds
Development Review Coordinator
City of Portland
Planning and Development
(207) 874-8632
jayjr@portlandmaine.gov

CC: "Dawn.Hallowell@state.me.us"@Portland.gwgwia; Alex Jaegerman; Penny Littell ; Rick Knowland ; Sarah Hopkins

City of Portland, Maine - Building or Use Permit

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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/04/2003
Note: **Ok to Issue:**
 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. Only one open deck is shown on the left side of the building adjoining the mudroom.
 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 08/19/2003
Note: 8/18/03 MJN passed on to JMB for review - originally to Tammy on 8/5/03 **Ok to Issue:**
 1) Specs will be submitted for the garage and porch LVL's *OK*
 2) Per conversation & meeting w/ Joe Robinson required code information was noted on building plans and on review check off.
 3) Separate permits are required for any electrical or plumbing work.
 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

From: Jay Reynolds
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Jay Reynolds
Development Review Coordinator
City of Portland
Planning and Development
(207) 874-8632
jayjr@portlandmaine.gov

CC: "Dawn.Hallowell@state.me.us"@Portland.gwgwia; Alex Jaegerman; Penny Littell ; Rick Knowland ; Sarah Hopkins

Applicant: East Coast Dev.

Date: 8/4/03

Address: 199 Hope Ave (lot #19)

C.B.L: 392-A-19

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development permit # 03-0917

Zone Location - R-2 Zone

Interior or corner lot -

Proposed Use/Work - to construct a new single family home with a 24' x 24' garage

Sewage Disposal - City

No daylight basement

Lot Street Frontage - 50' min - 97' shown

Front Yard - 25' min req - 26' scaled

Rear Yard - 25' min req - 140' scaled

Side Yard - 14' min - 34.2' & 19.8' shown

Projections - 2 story attached garage in rear - left side Deck to mud room - 2' wide left side chimney

Width of Lot - 80' req - 96' scaled

Height - 35' max - 26' scaled to ridge

Lot Area - 10,000 sq ft min 22,773 sq ft shown

Lot Coverage/Impervious Surface - 20% max 4554.6 sq ft max

Area per Family - 10,000 sq ft

Off-street Parking - 2 cars req - 2 car garage shown

Loading Bays - N/A

Site Plan - # 2003-0155

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

24 x 40 = 960 sq ft
28 x 28 = 784 sq ft
14 x 20 = 280 sq ft

2024

ADDENDUM TO HUD-1

Loan Number:

Borrower(s): Susan M. Robinson

Seller(s): Goldeneye Corp.

Lender: CASH

Property: 199 Hope Avenue, Portland, Maine 00410

Date: July 24, 2003

To the Settlement Agent:

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a copy of the HUD-1 Settlement Statement.

SELLER: Goldeneye Corp.

BORROWER: Susan M. Robinson

From the Settlement Agent:

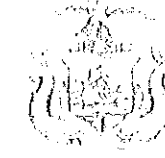
The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. I have caused or will cause the funds to be disbursed in accordance with this statement.

Date: July 24, 2003

Douglas Title Company
Settlement Agent

WARNING: It is a crime to knowingly make false statements to the United States on this or any other similar form. Penalties upon conviction can include a fine and imprisonment. For details see: Title 18 U.S. Code Section 1001 and Section 1010.

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

July 10, 2003

Mr. Joeseeph Robinson
33 Eastfield Road
Portland, ME 04102

RE: Request to Clear
Lot 19, Presumpscot River Place III

Dear Mr. Robinson,

Thank you for your written request to clear the trees from your lot (#19), prior to issuance of the building permit.

Please consider this letter your approval to clear your lot. This approval is based on the submitted plan. As part of this approval, no wetland areas as shown on the plan can be cleared, grubbed, or disturbed.

Sincerely,

A handwritten signature in black ink that reads "Jay Reynolds".

Jay Reynolds
Development Review Coordinator

CC: Sarah Hopkins, Development Review Services Manager
Todd Merkle, Public Works Department
Mike Nugent, Inspection Services Manager
Marge Schmuckal, Zoning Administrator

Goldeneye Corp.
662 Bridge Street
Westbrook, ME 04092
Tel. 207-797-5935

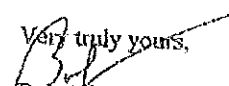
June 23, 2003

Joe Robinson
% Carol Thorne
ERA Agency 1
152 US Route 1
Scarborough ME 04074

Tree Cutting

Dear Joe,

This letter authorizes you to clear your lot #19 after your have purchased it.

Very truly yours,

Bob Adam

GARAGE CEILING BEAM

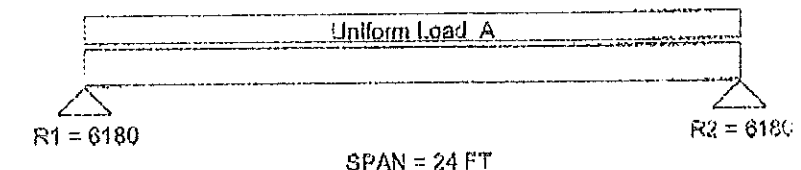
ROBINSON

Prepared by: EDI Date: 7/24/03 BeamChk 2.2

<u>Choice</u>	W 12x 35 A36 Wide Flange Steel		Lateral Support at: Lc = 8.9 ft max.			
<u>Conditions</u>	Actual Size Is 6-1/2 x 12-1/2 in., Min Bearing Length R1= 1.0 in. R2= 1.0 in. DL Defl 0.14 in Suggested Camber 0.21 in					
<u>Data</u>	Beam Span	24.0 ft	Reaction 1	6180 #	Reaction 1 LL	4320 #
	Beam Wt per ft	35.0 #	Reaction 2	6180 #	Reaction 2 LL	4320 #
	Beam Weight	840 #	Maximum V	6180 #		
	Max Moment	37080 #	Max V (Reduced)	N/A		
	TL Max Defl	L / 240	TL Actual Defl	L / 620		
	LL Max Defl	L / 360	LL Actual Defl	L / 887		
<u>Attributes</u>	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl		
Actual	45.60	3.75	0.46	0.32		
Critical	18.73	0.43	1.20	0.80		
Status	OK	OK	OK	OK		
Ratio	41%	11%	39%	41%		
<u>Values</u>		Fb (psi)	Fy (psi)	E (psi x mil)		
	Base Value Fy	36000	36000	29.0		
	Base Adjusted	23760	14400	29.0		
<u>Adjustments</u>	YP Factor, Lc	0.66	0.40			

BeamChk has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 490 = A Uniform LL: 360



Uniform and partial uniform loads are lbs per lineal ft.



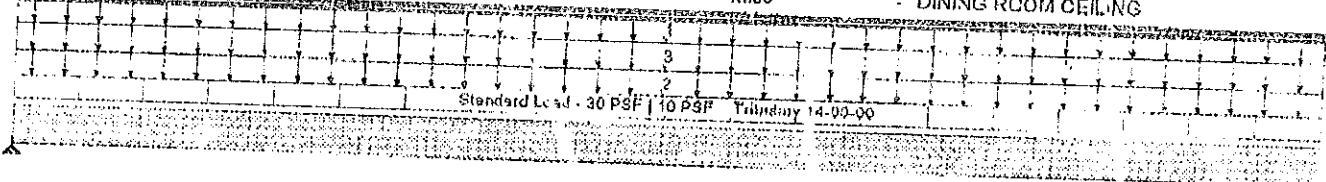
BC CALC® 2002 DESIGN REPORT - US

Thursday, July 24, 2003 09:14

Triple 1 3/4" x 14" VERSA-LAM® 2900 SP

Job Name - ROBINSON RESIDENCE
 Address -
 City, State, Zip -
 Customer - EAST COAST DEVELOPMENT
 Code reports - ICBO 6512, BOCA 98-62, SBCCI 98-52

File Name - BC CALC Project: TB02
 Description -
 Specifier -
 Designer - EDWIN INNESS
 Company - HANCOCK LUMBER
 Title - DINING ROOM CEILING



7735 lbs LL
 3937 lbs DL

7735 lbs LL
 3937 lbs DL

Total Horizontal Length - 13-00-00

General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 14-00-00
 Repetitive: n/a
 Construction Type: n/a
 Live Load: 30 PSF
 Dead Load: 10 PSF
 Part Load: 0 PSF
 Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib	Dur.
1	Standard	Unf. Area Load	Left	00-00-00	13-00-00	30 PSF	10 PSF	14-00-00	100
2		Unf. Lin. Load	Left	00-00-00	13-00-00	0 PLF	80 PLF	n/a	100
3		Unf. Area Load	Left	00-00-00	13-00-00	10 PSF	10 PSF	14-00-00	100
		Unf. Area Load	Left	00-00-00	13-00-00	42 PSF	15 PSF	15-00-00	115

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	37934 ft-lbs	81.0%	@ 115%	3	1 - Internal
End Shear	9577 lbs	58.6%	@ 115%	3	1 - Left
Total Deflection	L/324 (0.451")	73.9%		3	1
Live Deflection	L/489 (0.319")	98.0%		3	1
Max. Defl.	0.481" (Limit: 0.5")	96.1%		3	1
Span/Depth	11.1				1

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)222-0788 before beginning product installation.

NOTES:

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/480) Live load deflection criteria.
 Design meets arbitrary (0.5") Maximum load deflection criteria.
 Minimum bearing length for 30 is 2-5/8".
 Minimum bearing length for B1 is 2-5/8".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 in. end bearing + 1/2 intermediate bearing

Handwritten note: 13-00-00

BC CALC®, BC FRAMER®, BC®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUCCO®, ALUJOIST® and AUS™ are registered trademarks of Boise Cascade Corporation.

TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator
DATE: February 20, 2004
RE: C. of O. for # 199 Hope Avenue, Lot 19 PRP III
(CBL 335G008) (ID 2002-0121)

After visiting the site, I have the following comments:

Site work incomplete:

1. Loam and seed
2. Final grading
3. Landscaping
4. Final paving
5. Wetland restoration

I anticipate this work can be completed by **July 15, 2004**.

At this time, I **recommend issuing a temporary Certificate of Occupancy**.

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\hopelot19b.doc



East Coast Development, LLC
General Contractors
P O Box 3561
Portland, ME 04104

Joe Robinson 207-415-7586
Fax 207-934-8331

To: Kevin Carroll

Fax: 207-874-8716

Re: Lot 19, Hope Ave., Portland

From: Joe Robinson, East Coast Development

Fax: 207-934-8331

Date: January 1, 2004

Pages: 2



East Coast Development, LLC
General Contractors
P O Box 3561
Portland, Me 04104

Joe Robinson 207-415-7586
Fax 207-934-8331

January 1, 2004

To: Kevin Carroll, Code Enforcement Officer, City of Portland
From: Joe Robinson, East Coast Development
Job Site: 199 Hope Ave., Portland
Re: Inspection on 12/31/03, 199 Hope Ave., Lot 19

ok
Per our conversation, I am writing a follow-up letter regarding the stair risers from basement to first floor and the stair risers from first floor to second floor.
As we discussed, East Coast Development will correct the riser height of the stair stringers to comply with the City of Portland Building Code.
Oak treads will be installed from first floor to second floor. Finished flooring in the hallway areas of first and second floor will be 3/4 inch in thickness.
Please call me if you have any further concerns.

Sincerely,

Joe Robinson
East Coast Development

**STATE OF MAINE
CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION
DISCLOSURE**

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, §2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please to note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year from improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

INSTALLER INFORMATION

Name of Installer F. Di Donato & Son's Mason Contractors
D.B.A. _____
Name of Installer (if incorporated) _____
D.B.A. _____
Legal Address 87 Skylark Rd Portland
(Street and No.) (City or Town)
ME Cumberland 04103
(State) (County) (Zip Code)
Home Telephone 797 1 30981 Business Telephone 207 1 797 13098
Years of experience doing fireplace or chimney installations 50

CONSUMER IDENTIFICATION

Consumer's Name Joseph Robinson
Mailing Address _____
(Street and No.) (City or Town)

(State) (County) (Zip Code)
Home Telephone 1 / 1 Business Telephone 1 / 1

Installer, please give a brief description of installation being offered.

2 - MASONRY FIREPLACES

I, _____, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, and the Oil and Solid Fuel Board Rules.

Signature Frank DiDonato Date 11-29-03

INSTALLATION STANDARDS

The 1996 Edition of NFPA #211 contains provisions for chimney, fireplaces, venting systems, and solid fuel burning appliances including their installations. The standards applies to residential as well as commercial and industrial installations.

PLEASE CHECK THE TYPE OF CONSTRUCTION TO BE BUILT:

- Factory-Built Chimney and Chimney Units.**

Factory-built chimney and chimney units shall be listed and installed in accordance with the temperature conditions of the listing, the manufacturer's instructions and all applicable sections of NFPA #211.

- Factory-Built Fireplaces.**

Factory-built fireplaces shall be listed and shall be installed in accordance with the terms of the listing. Hearth extensions shall be provided in accordance with the manufacturer's instructions or shall be of masonry on non combustible construction in accordance with applicable sections of NFPA #211.

- Unlisted Metal Chimney (smokestacks) for Non Residential Applications.**

Single wall metal chimneys or unlisted metal chimneys shall not be used inside or outside of one and two family dwellings. Metal chimneys shall be constructed and installed in accordance with the appropriate sections of NFPA #211

- Masonry Chimney.**

Masonry chimneys shall be constructed by appropriate sections of NFPA #211 for proper design, support, re-enforced, and installation.

- Masonry Fireplace.**

Masonry fireplaces shall comply with all requirements of NFPA #211 and all other pertinent sections.

CONSUMER CHECKLIST

1. Has the installer provided you with a written contract? 10 M.R.S.A., Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
2. Have you asked the local fire department or code enforcement officials to inspect the installation during and after construction?
3. Is the installer familiar with current NFPA #211 standards and does he have a copy of same?
4. Have you asked for references to be provided by the installer?

ELECTRICAL PERMIT
City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations
in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
National Electrical Code and the following specifications:

Date 8/25/03
Permit # 2003-4794
CBL# 392 AOK
019

LOCATION: 199 Hope Ave METER MAKE & # _____
CMP ACCOUNT # _____ OWNER _____
TENANT _____ PHONE # _____

				TOTAL EACH FEE				
OUTLETS	55	Receptacles	20	Switches	6	Smoke Detector	.20	16.20
FIXTURES	10	Incandescent	3	Fluorescent	2	Strips	.20	3.00
SERVICES		Overhead		Underground	1	TTL AMPS <800	15.00	15.00
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
METERS	1	(number of)					1.00	1.00
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units	1	Interior		Exterior	5.00	5.00
APPLIANCES		Ranges	1	Cook Tops		Wall Ovens	2.00	2.00
		Insta-Hot		Water heaters	1	Fans	2.00	2.00
	1	Dryers	1	Disposals	1	Dishwasher	2.00	2.00
		Compactors		Spa		Washing Machine	2.00	2.00
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
							TOTAL AMOUNT DUE	
MINIMUM FEE/COMMERCIAL 45.00							MINIMUM FEE 35.00	50.20

CONTRACTORS NAME Brad White Electric MASTER LIC. # _____
ADDRESS PO Box 521 Torrance Me LIMITED LIC. # LM50016783
TELEPHONE 207 225 3754

SIGNATURE OF CONTRACTOR Brad White
White Copy - Office • Yellow Copy - Applicant

	PRESUMPCOT	RIVER	PLACE		
LOT	CBL	NO	STREET	LOT SF	
1	390 A007	94	HOPE AVE	127,955	
2	390 A008	100	HOPE AVE	53,516	
3	390 A009	108	HOPE AVE	51,644	
4	390 A010	118	HOPE AVE	47,306	
5	390 A011	126	HOPE AVE	40,184	
6	392 A006	132	HOPE AVE	36,179	
7	392 A007	140	HOPE AVE	33,112	
8	392 A008	148	HOPE AVE	32,963	
9	392 A009	156	HOPE AVE	67,963	
10	392 A010	182	HOPE AVE	58,903	
11	392 A011	192	HOPE AVE	30,270	
12	392 A012	200	HOPE AVE	26,791	
13	392 A013	208	HOPE AVE	28,001	
14	392 A014	216	HOPE AVE	28,956	
15	392 A015	226	HOPE AVE	32,912	
16	392 A016	223	HOPE AVE	29,255	
17	392 A017	215	HOPE AVE	23,121	
18	392 A018	207	HOPE AVE	23,608	
19	392 A019	199	HOPE AVE	22,773	
20	392 A020	189	HOPE AVE	40,696	
*** 21	392 A021		HOPE AVE		COMBINED WITH 389-G-9
22	392 B022	161	HOPE AVE	37,566	
23	392 B023	153	HOPE AVE	38,974	
24	392 B024	141	HOPE AVE	43,279	
25	392 B025	131	HOPE AVE	44,161	
26	390 B026	121	HOPE AVE	40,256	
27	390 B027	115	HOPE AVE	36,553	
28	390 B028	105	HOPE AVE	34,269	
29	390 B029	99	HOPE AVE	32,408	
30	390 B030	89	HOPE AVE	65,532	
ZONE	R2				
NHBOR	106				
ST CODE	2243		AS OF 4-1-2003		
PLANNING	7		GOLDENEYE CORP		
			LAND CAME FROM FALMOUTH		

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Review	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	16" x 10" Frost	? sandy/clay 2000-2500	
Foundation Drainage Dampproofing (Section 406)	In-out OK		
Ventilation (Section 409.1) Crawls Space ONLY	2 windows	3 install	OK
AnchorBolts/Straps (Section 403.1.4)	?	1/2" bolt & o.c. 12" corners	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	2' x 2' x 1' Garage - w 12x35 steel 3 1/2 conc	see spec on garage & dining room	
Sil/Band Joist Type & Dimesions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 2x10	Add footing OK	

Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 16 @ 12 O.C.		
Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x6 @ 16 O.C. MASTER BR 15' span Study 15'4" (13'5" allowed)	2x8 both places OK (2x8 = 17'9")	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	12:12, 12:2 1/2, 12:5, 12:7, 12:8 2x10 main 2x6 Dormers		
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4 Adv. 7/16 Adv. 1/2" Ply		
Fastener Schedule (Table 602.3(1) & (2))	SK		

Stairs Number of Stairways Interior Exterior Treads and Risers (Section 314) Width Headroom Guardrails and Handrails (Section 315)	NMO NMO 7 3/4" x 10" - 1st 7 1/4" x 10" basement 7 1/2" x 9" Garage 6'8" OK space, HT	Change 10" width Head Room May change Foundation
Private Garage Section 309 and Section 407 1999 BOCA Living Space? (Above or beside) Fire separation	Above 5/8" x all throughout	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	1 hr 4" Hobas	
Egress Windows (Section 310)	5.8 SF	

Roof Covering (Chapter 9)	Asphalt		
Safety Glazing (Section 308)	2nd Entries Tempered OK		
Attic Access (BOCA 1211.1)	?		22x30mm. ^{Finish} OK
Draft Stopping around chimney	2" w/draftstop		
Header Schedule	A11 3-2x12 2x12 Garage 7' R.O. Max span 7' 5" (2x12 = 8'7")		LVL's OK
Type of Heating System	? FHW Oil		
Smoke Detectors Location and type/Interconnected	OK BR's & protecting		
See Chimney Summary Checklist	Enclosure attached to	pen unit	

Deck Details - on Frost wall
? porch Header

2x8 @ 16.0c PT
LVL's - spec's

TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS		
		Summary	See Section	
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1	
		2-inch minimum thickness for hearth extension.	1003.9.2	
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10	
		12 inches for fireplace opening greater than or equal to 6 square feet.		
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10	
		20 inches for fireplace opening greater than or equal to 6 square feet.		
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9	
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11	
		12-inch minimum firebox depth for Rumford fireplaces.		
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5	
Distance from top of opening to throat	G	8 inches minimum.	1003.7	
Smoke chamber	H	Wall thickness	6 inches lined; 8 inches unlined.	1003.8
		Dimensions	Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1	
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2	
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7	
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;	
		1/2-inch grout or airspace between liner and wall.	1001.9	
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12	
Clearances	N	From chimney	2 inches interior, 1 inch exterior.	1001.15
		From fireplace	2 inches front, back or sides.	1003.12
		Combustible trim or materials	6 inches from opening.	1003.13
		Above roof	3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6
Anchorage ^a	O	Strap	3/16 inch by 1 inch.	1003.4
		Number	Two.	
		Embedment into chimney	12 inches hooked around outer bar with 6-inch extension.	
		Fasten to	Four joists.	
		Bolts	Two 1/2-inch diameter.	
Footing	P	Thickness	12-inch minimum.	1003.2
		Width	6 inches each side of fireplace wall.	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 199 Hope Ave (Lot 19) Portland, Me 04103		
Total Square Footage of Proposed Structure 3344	Square Footage of Lot 22,773	
Tax Assessor's Chart, Block & Lot Chart# 392 Block# A Lot# Block 202 Page 650 09	Owner: Susan Robinson	Telephone: 207-871-7663
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: EAST COAST DEVELOPMENT, LLC 33 Eastfield Rd. Portland, ME 04102	Cost Of Work: \$ 235,000 Fee: \$ 2136.00 75.00 <i>ago</i>
Current use: <u>New Construction</u>		2211.00 300.00 site
If the location is currently vacant, what was prior use: <u>open (undeveloped) land, partial of land in subdivision</u>		2511.00
Approximately how long has it been vacant: <u>forever</u>		
Proposed use: <u>Single family home</u>		
Project description: <u>Construction of single family home on full foundation with 24x24' attached two car garage.</u>		
Contractor's name, address & telephone: EAST COAST DEVELOPMENT 33 EASTFIELD RD. 415-7586 PORTLAND, ME. 04102		
Who should we contact when the permit is ready: <u>Joe Robinson</u>		
Mailing address: <u>33 Eastfield Rd. Portland, ME. 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 415-7586 871-7663		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Joe Robinson</u>	Date: <u>7-27-03</u>
---	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**



East Coast Development, LLC
General Contractors
33 Eastfield Rd.
Portland, ME 04102

ecdevel@maine.rr.com

Joe Robinson 207-415-7586
Fax 207-871-0152

July 29, 2003


To: Mike Nugent, City of Portland

Re: New Home Construction, Lot 19 Hope Ave., Portland

Enclosed are completed documents requesting a building permit for new construction of a single family home as required by the City of Portland .

- 1. Copy of Deed, purchase & sales agreement*
- 2. 4 copies of site, plot plan to scale*
- 3. 1 copy of building/construction plan*
- 4. 1 copy of site/plot plan & construction building plan on 11 x 17*
- 5. Specs detailing structural steel I-Beam*
- 6. Specs on triple 1 3/4" x 14" versa-lam*
- 7. Letter from Jay Reynolds confirming clearing of lot prior to permit*
- 8. Building permit form*

Please notify me if you have any questions or require additional information. If possible, I would like to receive the building permit by August 14, 2003 at the latest. I would appreciate your prompt attention to this matter.

Respectfully,

Joe Robinson


SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JAN 2003
Draft: SGB	Job No.: 712
Checked: AMP	Scale: NTS
File Name: 712-sp.dwg	

 **Traffic and Civil Engineering Services**
PO Box 1237, 15 Shaker Road
Gray, ME 04039
207-657-6910

Drawing Name: Space & Bulk Requirements
Project: PRESUMPCOT RIVER PLACE

Figure No. 1

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2003-0155
Application I. D. Number
7/29/2003
Application Date

Goldeneye Corp
Applicant
286 Falmouth Rd , Falmouth , ME 04105
Applicant's Mailing Address

199 - 199 Hope Ave , Portland, Maine
Project Name/Description

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

199 - 199 Hope Ave , Portland, Maine
Address of Proposed Site
392 A019001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
3344 sq. Ft.

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$300.00 Subdivision _____ Engineer Review \$250.00 Date 7/30/2003

Insp Approval Status: Reviewer _____
 Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0155
Application I. D. Number
07/29/2003
Application Date
Hope Ave. Lot 19
Project Name/Description
199 - 199 Hope Ave , Portland, Maine
Address of Proposed Site
392 A019001
Assessor's Reference: Chart-Block-Lot

Goldeneye Corp
Applicant
286 Falmouth Rd , Falmouth , ME 04105
Applicant's Mailing Address
Consultant/Agent
Agent Ph: Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Approval Conditions of DRC

- 1 NO WETLAND IMPACT ARE ALLOWED FOR HOME CONSTRUCTION. WETLAND AREAS SHALL BE MARKED FOR PRESERVATION PRIOR TO INSTALLATION OF THE FOUNDATION.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address HAS NOT BEEN ASSIGNED AS OF 8-4-03, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

SUSAN M. ROBINSON, whose mailing address is 33 Eastfield Road, Portland, Maine 04102

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 19 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.

3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.

4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.

5. A thirty (30) foot pedestrian easement as shown along the westerly sideline of said Plan recorded in Plan Book 202, Page 650.

6. An easement deed from Goldeneye Corp. to the City of Portland of recent date herewith, to be recorded at said Registry of Deeds.

7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.

8. Terms and conditions of a Declaration of Covenantants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.

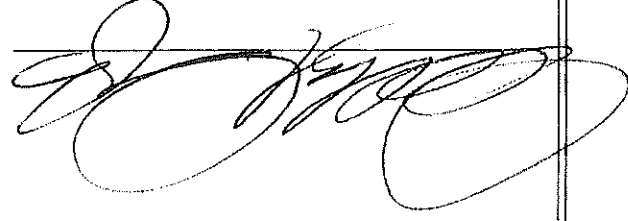
Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by her acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said GOLDBENBYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by ROBERT L. ADAM, its President therunto duly authorized this 24th day of July, 2003.

GOLDBENBYE CORP.

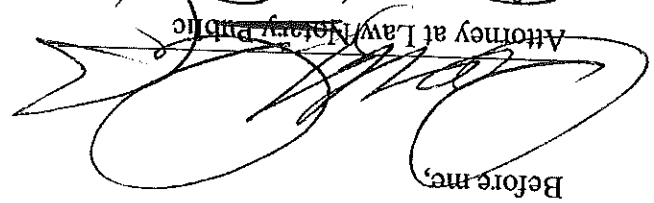
By: Robert L. Adam
Its President
Robert L. Adam



STATE OF MAINE
CUMBERLAND, SS.

Then personally appeared the above-named ROBERT L. ADAM, President of
GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be
his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,



Donald S. Donnell
Attorney at Law/Notary Public

July 24, 2003

PRES. WPCOT RIVER

HIGH WATER NORMAL TIDE

APPROXIMATE LIMIT OF ZONE AE FLOODPLAIN (ASSUMED ELEV 22.5)

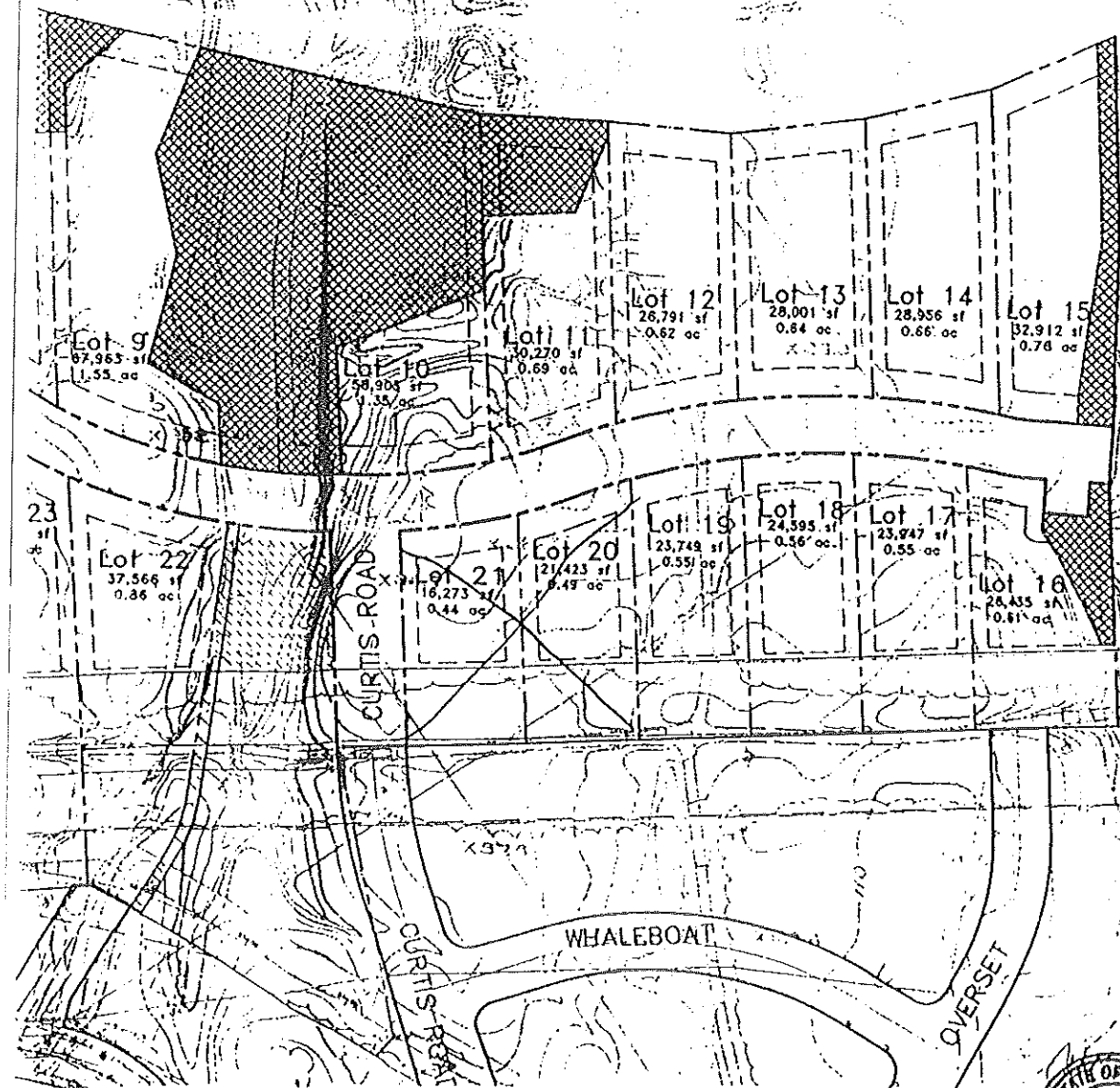
SPACE & BULK STANDARDS:

MINIMUM LOT SIZE	R-2 ZONE	
	DIMENSIONAL STANDARDS	
	FLOOR SF	
MINIMUM SETBACK FRONT	25'	
REAR	25'	
SIDE	15'	
1 STORY	15'	
1 1/2 STORY	15'	
2 STORY	15'	
2 1/2 STORY	15'	
SIDE ALONG SIDE STREET	20'	
MINIMUM HEIGHT	30'	
MINIMUM LOT COVERAGE	20%	
MINIMUM LOT WIDTH	50'	
MINIMUM STREET FRONTAGE	50'	

LOT SIZES:

LOT NUMBER	AREA (ACRES)
1	2.71
2	1.59
3	1.34
4	0.88
5	0.83
6	0.78
7	1.35
8	1.38
9	0.88
10	0.82
11	0.84
12	0.98
13	0.98
14	0.91
15	0.91
16	0.56
17	0.56
18	0.55
19	0.55
20	0.44
21	0.44
22	0.44
23	0.44
24	0.44
25	0.44
26	0.44
27	0.44
28	0.44
29	0.44
30	0.44
K.O.W.	3.21
TOTAL	32.64

NOTE: TOPOGRAPHY ON THIS PLAN PROVIDED BY JAMES W. SEWELL & CO. AERIAL SURVEY, WHICH WAS CONDUCTED IN THE YEAR 1960.



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030917

AUG 19 2003

Please Read Application And Notes, If Any, Attached

This is to certify that Goldeneye Corp /East Coast Development LLC
has permission to Build New 3344 Sq. Ft. Single Family Home with 4' x 24' two car attached garage
AT 199 Hope Ave 392 A019001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and work in progress before this building or part thereof is occupied or closed-in. HOUR NOTIFICATION REQUIRED.

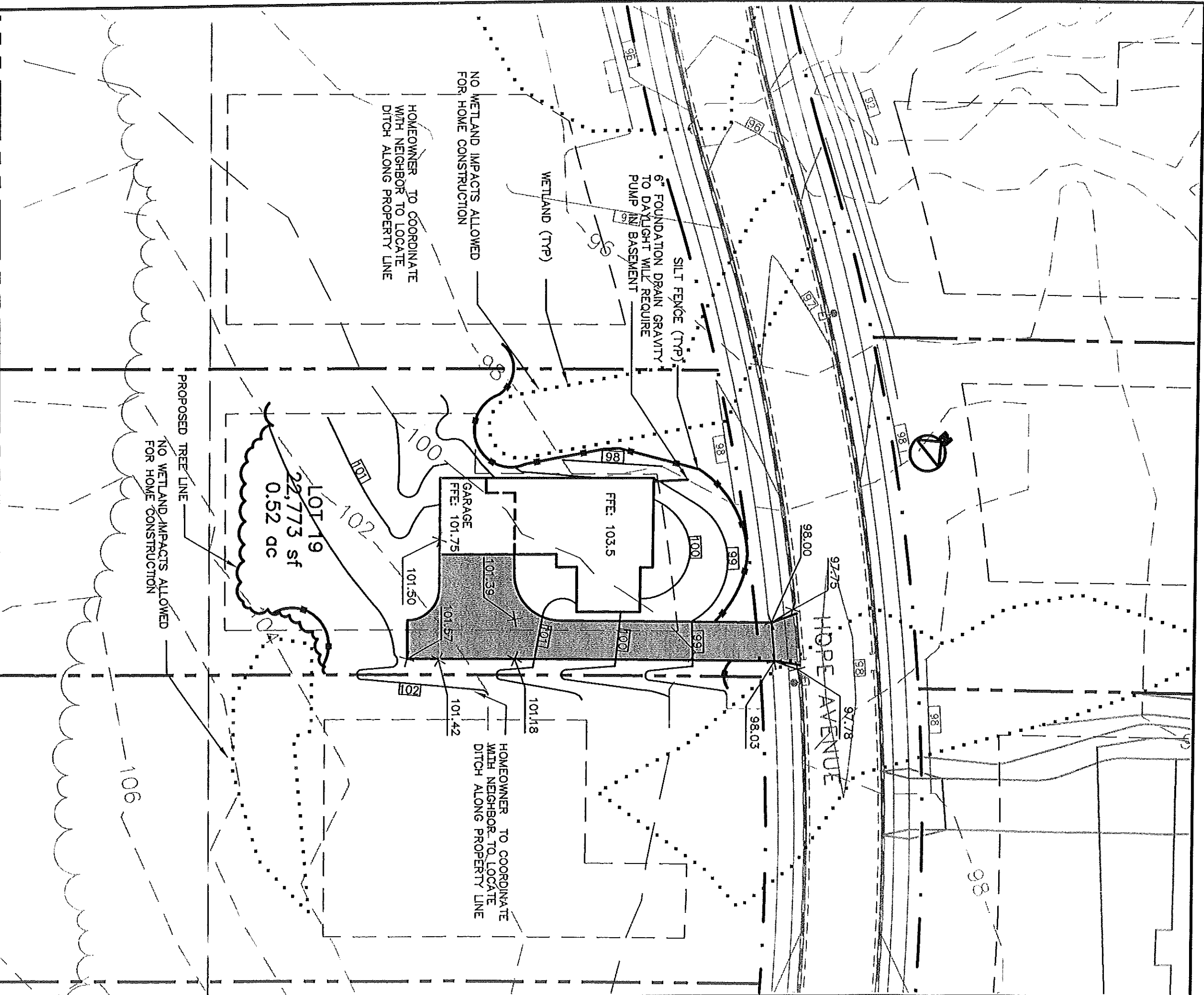
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Burke 8/19/03
Director of Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



NO WETLAND IMPACTS ALLOWED FOR HOME CONSTRUCTION

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT WILL REQUIRE PUMP IN BASEMENT

SILT FENCE (TYP)

WETLAND (TYP)

PROPOSED TREE LINE
NO WETLAND IMPACTS ALLOWED FOR HOME CONSTRUCTION

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE

LOT 19
22,773 sf
0.52 dc

GARAGE
FFE: 101.75

FFE: 103.5

HOPE AVENUE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 8-14-03

Revised grading plan per Jay

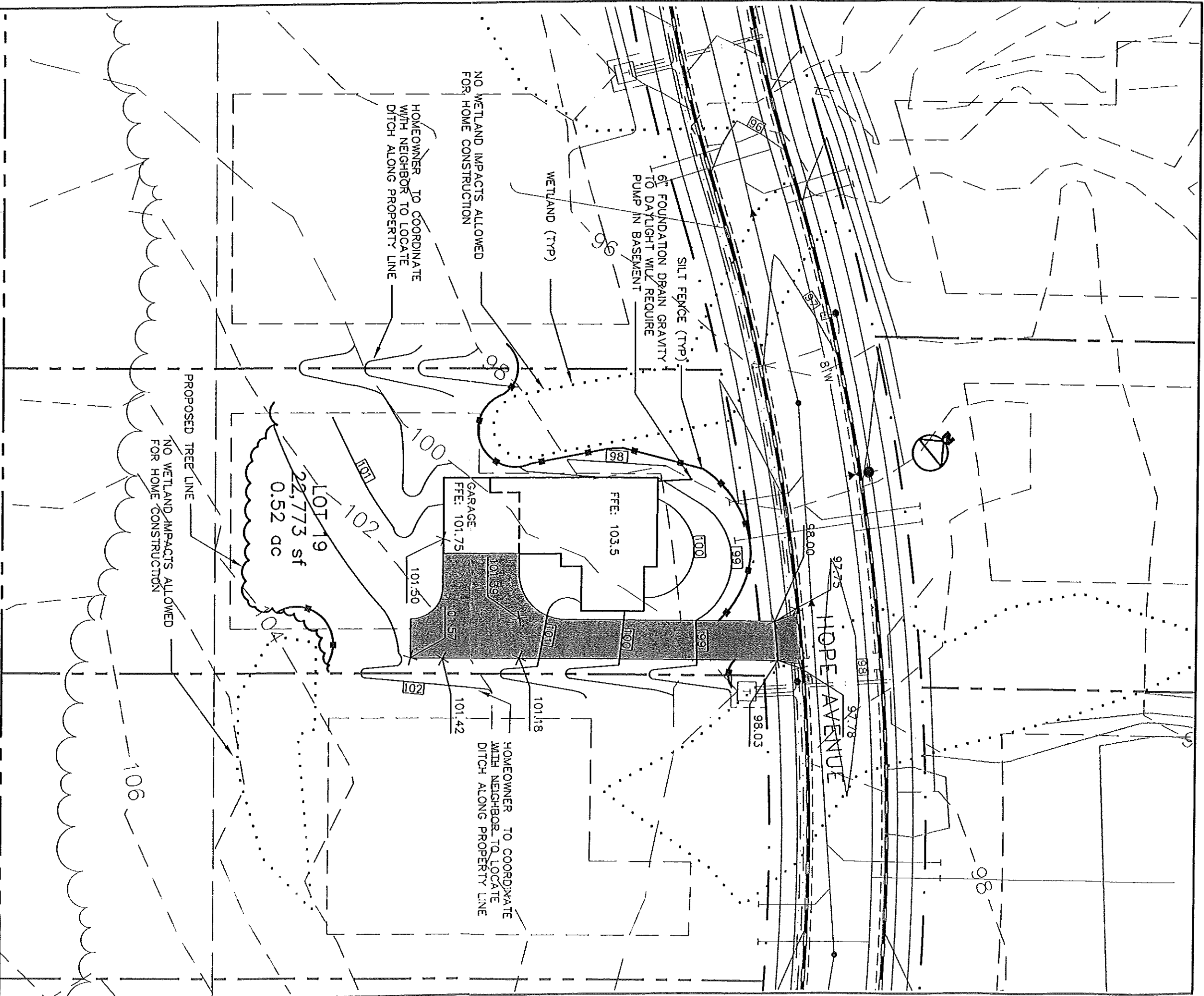


Design:	DER	Date:	7/21/03
Draft:	CL	Job No.:	822
Checked:	AJP	Scale:	1"=30'
File Name:	760-SP		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1327
Portland, ME 04109
Tel: 207-437-4810
Fax: 207-437-4812
www.gorrillpalmer.com

Drawing Name:	Lot 19 Grading Plan
Project:	PRESUMPCOT RIVER PLACE

Figure No.
3



Design: DGR	Date: 7/21/03
Draft: G.L.	Job No.: 822
Checked: AMP	Scale: 1"=30'
File Name: 760-SP	

GP Gornil-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

98 Bay 1237
 18 Cox Way
 307-637-6810
 Fax 307-637-6912
 E-Mail: melbo@gornilpalmer.com

Drawing Name:	Lot 19 Grading Plan
Project:	PRESUMPSCOT RIVER PLACE

Figure No.
3