

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1121	Issue Date: PERMIT ISSUE SEP 09 2004	CBL: 392 A018001
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Location of Construction: 207 Hope Ave	Owner Name: Segal Richard &	Owner Address: 60 Marlborough Rd	Phone:
Business Name:	Contractor Name: Dave Thoits / Rick Segal	Contractor Address: 1081 Washington Ave Portland	Phone: 2072333374
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-2

Past Use: Single Family/ Amendment	Proposed Use: Amendment to permit #040224 build 14x18 deck	Permit Fee: \$39.00	Cost of Work: \$39.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB BOCA 1999	

Proposed Project Description:
Amendment to permit #040224 build 14x18 deck

Signature: _____ Signature: *JMB 9/1/04*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 08/05/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 9/1/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
	<i>New SF Home</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 041121

PERMIT ISSUED
SEP 02 2004
CITY OF PORTLAND

This is to certify that Segal Richard & /Dave Thoit Rick Se
has permission to Amendment to permit #0402 build 14 deck
AT 207 Hope Ave 392 A018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must begin and work in progress must be reported to the inspector before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Jeanie Bonke 9/1/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Permit No: 04-1121	Date Applied For: 08/05/2004	CBL: 392 A018001
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Location of Construction: 207 Hope Ave	Owner Name: Segal Richard &	Owner Address: 60 Marlborough Rd	Phone:
Business Name:	Contractor Name: Dave Thoits / Rick Segal	Contractor Address: 1081 Washington Ave Portland	Phone (207) 233-3374
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Amendment to permit #040224 build 14x18 deck	Proposed Project Description: Amendment to permit #040224 build 14x18 deck
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Dept: Zoning Status: Approved Reviewer: Jeanine Bourke Approval Date: 09/01/2004

Note: Ok to Issue:

1) All conditions remain for the previously approved permit # 04-0224

Dept: Building Status: Approved Reviewer: Jeanine Bourke Approval Date: 09/01/2004

Note: Ok to Issue:

1) All building construction methods apply per the previously approved permit # 04-0224.

075. 040224
Amendment

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>207 HOPE</u>		
Total Square Footage of Proposed Structure <u>200</u>	Square Footage of Lot <u>23,000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>18</u>	Owner: <u>Richard S Segal</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Richard Segal</u> <u>1081 WASHINGTON AVE</u> <u>Port me 04105</u>	Cost Of Work: \$ <u>1,500.00</u> Fee: \$
Current use: <u>New Construction</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Adding 14 x 18 deck, front side steps</u>		
Project description:		
Contractor's name, address & telephone: <u>Dave Thirts</u>		
Who should we contact when the permit is ready: <u>Rick Segal</u>		
Mailing address: <u>1081 WASHINGTON AVE</u> <u>Port me, 04105</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>cell 233-3374</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Richard Segal Date: Aug 5, 2004

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2004-0042
Application I. D. Number

Segal Richard &
Applicant
60 Marlborough Rd , Portland , ME 04103
Applicant's Mailing Address

03/09/2004
Application Date
207 Hope Lane
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 797-8877 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

207 - 207 Hope Ave , Portland, Maine
Address of Proposed Site
392 A018001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,928 sq. Ft. 23,608 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

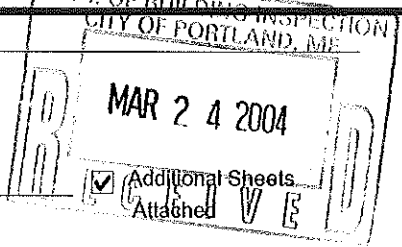
Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 03/09/2004

DRC Approval Status:

- Approved
 - Approved w/Conditions See Attached
 - Denied
- Approval Date 03/24/2004 Approval Expiration 03/24/2005 Extension to _____
- Condition Compliance Jay Reynolds 03/24/2004
signature date



Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____
date amount expiration date
- Inspection Fee Paid _____
date amount
- Building Permit Issue _____
date
- Performance Guarantee Reduced _____
date remaining balance signature
- Temporary Certificate of Occupancy _____
date Conditions (See Attached) expiration date
- Final Inspection _____
date signature
- Certificate Of Occupancy _____
date
- Performance Guarantee Released _____
date signature
- Defect Guarantee Submitted _____
submitted date amount expiration date
- Defect Guarantee Released _____
date signature



CITY OF PORTLAND, MAINE
Department of Building Inspections

8-5 2004

Received from Richard de Sylva

Location of Work 207 Hope

Cost of Construction \$ 1,000.00

Permit Fee \$ 39.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 572 A 18

Check #: 1000 Total Collected \$ 39.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE
Department of Building Inspections

3/9 20 04

Received from Richard Serzal

Location of Work Hope Ave

Cost of Construction \$ 100,000.00

Permit Fee \$ 1641.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other 75.00

CBL: 312 A 018

Check #: 5049 Total Collected \$ 2016.00

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CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

Segal Richard &
Applicant
60 Marlborough Rd , Portland , ME 04103
Applicant's Mailing Address
Consultant/Agent
Applicant Ph: (207) 797-8877 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

2004-0042
Application I. D. Number
03/09/2004
Application Date
207 Hope Lane
Project Name/Description
207 - 207 Hope Ave , Portland, Maine
Address of Proposed Site
392 A018001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now # 207 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 4/7/04
Signature of Applicant/Designee Date

[Signature] 4/7/04
Signature of Inspections Official Date

CBL: 398 A018 Building Permit #: 04 0224

BUILDING PERMIT INSPECTION PROCEDURES

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CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

3/31/04

Signature of Inspections Official

Date

04-0328

Building Permit #:

CBL: 392-A+18

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 5/20/04
 Permit # _____
 CBL# 392 A016

LOCATION: 207 Hope Ave METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER RICHARD SEGAL
 TENANT _____ PHONE # _____

						TOTAL EACH FEE	
OUTLETS	70	Receptacles	40	Switches	8	Smoke Detector	118 .20 = 23.60
FIXTURES	30	Incandescent		Fluorescent	5	Strips	35 .20 = 7.00
SERVICES		Overhead	X	Underground		TTL AMPS <u>200</u> (<800)	15.00 = 15.00
		Overhead	X	Underground		>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS	25.00
							25.00
METERS	1	(number of)					1.00 = 1.00
MOTORS		(number of)					2.00
RESID/COM		Electric units					1.00
HEATING		oil/gas units		Interior		Exterior	5.00
APPLIANCES	1	Ranges		Cook Tops		Wall Ovens	1 2.00 = 2.00
		Insta-Hot		Water heaters	2	Fans	2 2.00 = 4.00
	1	Dryers	1	Disposals	1	Dishwasher	3 2.00 = 6.00
		Compactors		Spa	1	Washing Machine	1 2.00 = 2.00
		Others (denote)					2.00
MISC. (number of)		Air Cond/win					3.00
		Air Cond/cent				Pools	10.00
		HVAC		EMS		Thermostat	5.00
		Signs					10.00
		Alarms/res					5.00
		Alarms/com					15.00
		Heavy Duty(CRKT)					2.00
		Circus/Carnv					25.00
		Alterations					5.00
		Fire Repairs					15.00
		E Lights					1.00
		E Generators					20.00
PANELS		Service		Remote		Main	4.00
TRANSFORMER		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00
						TOTAL AMOUNT DUE	
						MINIMUM FEE/COMMERCIAL 45.00	
						MINIMUM FEE 35.00	56.60

CONTRACTORS NAME PLACE ELECTRIC INC MASTER LIC. # 10626
 ADDRESS 173 Summit St PORTLAND LIMITED LIC. # _____
 TELEPHONE 797-9954

SIGNATURE OF CONTRACTOR Charles R. [Signature]

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2004-0042
Application I. D. Number

Segal Richard &
Applicant
60 Marlborough Rd , Portland , ME 04103
Applicant's Mailing Address

3/9/2004
Application Date

207 Hope Lane
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 797-8877 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

207 - 207 Hope Ave , Portland, Maine
Address of Proposed Site
392 A018001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,928 sq. Ft. 23,608 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 3/9/2004

Planning Approval Status:

Reviewer Jay Reynolds

- Approved Approved w/Conditions See Attached Denied

Approval Date 3/25/2004 Approval Expiration 3/25/2005 Extension to _____ Additional Sheets Attached

OK to Issue Building Permit Jay Reynolds 3/24/2004
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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DRC Copy**

2004-0042
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3/9/2004
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207 Hope Lane
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Condition Compliance Jay Reynolds signature 3/24/2004 date

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- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

Segal Richard &
Applicant
60 Marlborough Rd , Portland , ME 04103
Applicant's Mailing Address
Consultant/Agent
Applicant Ph: (207) 797-8877 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

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Application I. D. Number
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207 Hope Lane
Project Name/Description
207 - 207 Hope Ave , Portland, Maine
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0224	Date Applied For: 03/09/2004	CBL: 392 A018001
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Location of Construction: 207 Hope Ave	Owner Name: Segal Richard &	Owner Address: 60 Marlborough Rd	Phone: 207-797-8877
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: Build 28' x 38' new single family colonial with 34' x 24' garage.	Proposed Project Description: Build 28' x 38' new single family colonial with 34' x 24' garage.
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 03/19/2004

Note: Ok to Issue:

- 1) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveway.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. No rear decks are shown or approved with this permit application. No daylight basements are being shown or approved with this permit application.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) "No Parking" street signs shall be installed along the subdivision roadways PRIOR to the issuance of the first house lot certificate of occupancy (whether permanent or temporary) for this subdivision.
- 6) No certificate of occupancy shall be issued for any house lot in the subdivision until the base pavements has been completed along the entire length of Hope Avenue in Portland as well as Falmouth.

Dept: Building Status: Approved Reviewer: Tammy Munson Approval Date: 04/06/2004

Note: Ok to Issue:

Comments:

3/24/2004-tmm: left message w/owner - need to go over plan review sheets.

4/6/2004-tmm: submitted stamped beam design - ok to issue.

3/30/2004-tmm: submitted more info - still need to show egress windows meet 5.7 - info submitted does not show that and need design on steel beam sizing.

3/30/2004-tmm: Spoke w/owner - only need steel beam specs - went over egress req. - issued foundation only permit

Delete Schedule Add Find Print Permit Print C of O Print Insp Involcing Taxes

Prmt Text193 0 Constr Type New Num1

Permit Nbr 04-0224 Location of Construction 207 Hope Ave Appl. Date
Status Hold Permit Type Single Family Issue Date
CBL 392 A018001 District Nbr 5 Estimated Cost \$180,000.00 Date Closed

Comment Date	Comment	Add	Delete	Save
03/30/2004	Spoke w/owner - only need steel beam specs - went over egress req. - Issued foundation only			
	Name imm Follow Up Date Completed			
03/30/2004	submitted more info - still need to show egress windows meet 5.7 - Info submitted does not show and need design on steel beam sizing.			
	Name imm Follow Up Date Completed			
03/24/2004	left message w/owner - need to go over plan review sheets.			
	Name imm Follow Up Date Completed			

CreatedBy gg CreateDate 03/10/2004 ModBy imm ModDate 03/24

Due Close

10224

03/09/2004

[Empty text box]

Print

permit

ow that

[Empty text box]

1/2004

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0328		Issue Date: MAR 30 2004	CBL: 92 A018001
Location of Construction: 207 Hope Ave	Owner Name: Segal Richard &	Owner Address: 60 Marlborough Rd	Phone: 207-797-8877
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2
Past Use: vacant	Proposed Use: FOUNDATION ONLY 28' x 38' w/24' x 24' Garage for new single family	Permit Fee:	Cost of Work: \$0.00
Proposed Project Description: FOUNDATION ONLY 28' x 38' w/24' x 24' Garage for new single family		CEO District: 5	
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	
		INSPECTION: Use Group: R-3 Type: 5B BOCA 1999 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: tmm	Date Applied For: 03/30/2004	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2004-0024 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: 3/30/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 3/30/04

PERMIT ISSUED
 MAR 30 2004

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 040328

This is to certify that Segal Richard & /no contract self
has permission to FOUNDATION ONLY 28' x w/24' x Garage for new single family
AT 207 Hope Ave 04112 392 A018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department of the City of Portland

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

207 Hope Ave
Permit # 04-0224
352-A-1B
207 Hope Ct #5
Permit # 04-0224
352-A-1B
207 Hope Ct #5
Permit # 04-0224
352-A-1B
207 Hope Ct #5

Soil type/Presumptive Load Value (Table 401.4.1)

STRUCTURAL

Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(f), Section 403.1.2)

OK see A/C

Foundation Drainage Dampproofing (Section 406)

Need Alth A1 over drain - OK
Shoors A4/SS

Ventilation (Section 409.1)
Crawls Space ONLY

1 Steel Beam
Doesn't meet?

Anchor Bolts/Straps (Section 403.1.4)

2 Emiss - meet?
1/2" x 12" ANCHOR BOLTS OK

Lally Column Type, Spacing and footing sizes (Table 502.3.4)

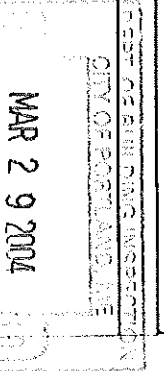
3 ~~Steel~~ ~~SS~~ ~~spac~~ ~~?~~
Chimney disc bore - ?

Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))

14" OC
- 14" span - OK

SIB and Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))

OK



Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))

2x10's - Main house - OK
Garage - 2nd floor framing? 2x10 - 12' span OK
w 12 x 26 steel beam 24' span

Need stamp on steel beam

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Trusses on Main House - OK Garage Framing Roof	OK 12'5" span - OK 2x10 rafters - 16" OC. 2x12 ridge beam
Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	"	12 1/2 pitch - Secure - with 4'x12x12 p/cha - o.c.m.e.e
Sheathing: Roof, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	Not shown	8p - Sheathing 16p Framing S.M.W.N.S. STEEL
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)	Yes	
Fire separation	OK shows	5/8" type x drywall
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	OK shows fire door	
Egress Windows (Section 310)	Shows 3049 - Egress? 24 1/2 x 48 1/2	Does not see meet sheet
Roof Covering (Chapter 9)	Asphalt Shown - OK	
Safety Glazing (Section 308)	Need in 2nd fl bath or breakfast room Typical safety	
Attic Access (BOCA 1211.1)	Size Not shown - Need	28" x 30" 22x30 with ac supplied
Draft Stopping around chimney	Extend	

MAR 29 2004
RECEIVED
CITY OF PORTLAND, ORE

Garage door headers - OK cable end of hoarse.

Header Schedule	3-2x10 Typical shown - OK for most - will span 5'-8" first floor	
Type of Heating System	Not shown	oil fired Firtu
Stairs		
Number of Stairways	4	
Interior	3	
Exterior	1	
Treads and Risers (Section 314)	SEE $\frac{03}{R.V.}$ - OK	
Width	56"	
Headroom	6'-8"	
Guardsails and Handrails (Section 315)	OK - 56" shown	
Smoke Detectors		
Location and type/Interconnected	Not shown	All bedrooms
Plan Reviewer Signature		All flats inc. basement

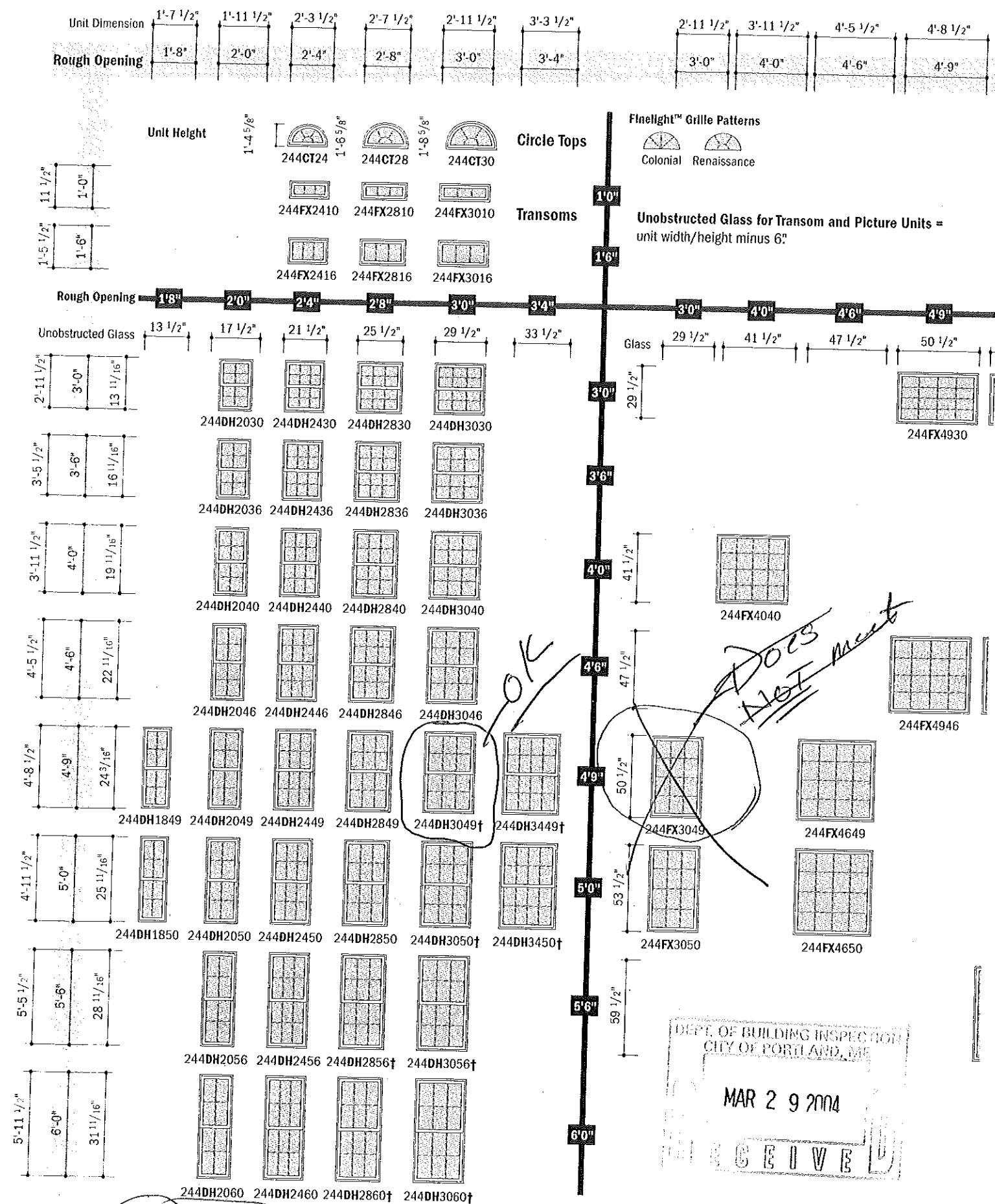
See Chimney Summary Checklist

Front porch - Header size for roof? 3-2x10 - beam - 8' span
 Garage header in covered entry? 3-1 3/4" x 11 7/8" LVL 11'6" span

OFFICE OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

MAR 29 2004

TRU-WASH DOUBLE-HUNG WINDOWS



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAR 29 2004
 RECEIVED

Rough Opening = unit width/height plus 1/2"
 † These units meet or exceed the following dimensions: clear openable area of 5.7 sq. ft. clear openable width of 20" and clear openable height of 24"

Delete Schedule Add End Print Permit Print C of O Print Insp Involcing Taxes

Prmt Text193 0 Constr Type New Num1

Permit Nbr 04-0224 Location of Construction 207 Hope Ave Appl. Date
Status Hold Permit Type Single Family Issue Date
CBL 392 A018001 District Nbr 5 Estimated Cost \$180,000.00 Date Closed

Comment Date Comment Add Delete Save

03/30/2004 submitted more info - still need to show egress windows meet 5.7 - info submitted does not show and need design on steel beam sizing.

Name imm Follow Up Date Completed

03/24/2004 left message w/owner - need to go over plan review sheets.

Name imm Follow Up Date Completed

CreatedBy gg CreateDate 03/10/2004 ModBy imm ModDate 03/24

Due Close

10224

03/09/2004

Print

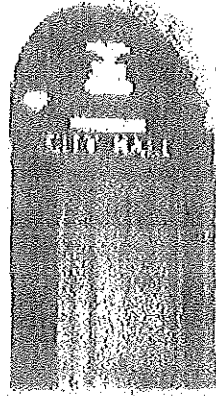
ow that

1/2004

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Jolene Segal</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>797-4972</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: <u>207 Hope Ave</u>
DATE: <u>3/24/04</u>	_____

Comments:

207 Hope Ave Pick up Sept 19 1-88811

Permit # 04-0224
392-A-18

207 Hope Lot 1B
Permit # 04-0224
392-A-18

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL			
Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK	see A/C	
Foundation Drainage Dampproofing (Section 406)	Need filter fabric over drain		OK Shows A4/SS
Ventilation (Section 409.1) Crawls Space ONLY	N/A		
AnchorBolts/Straps (Section 403.1.4)	spacing ok - size?		
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	Need 20"x28" footing		
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	4-2x12-s - 15' span - OK		
Sill/Band Joist Type & Dimensions	OK 2x6 w/saler shown		OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10's - 14' span - 14" OC		OK
Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10's - 14' Main House - ok Garage - 2nd floor framing?		

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Trusses on Main House - OK Garage Framing Roof?	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	" "	
Sheathing: Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	Not shown	
Private Garage Section 309 and Section 407 1999 BOCA)		
Living Space? (Above or beside)	YES	
Fire separation	- OK shows	5/8" type X drywall
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	- OK shows	fire door
Egress Windows (Section 310)	Shows 3049 - Egress?	
Roof Covering (Chapter 9)	Asphalt Shown - OK	
Safety Glazing (Section 308)	Need in 2nd fl bath	or Breakast area
Attic Access (BOCA 1211.1)	size Not shown -	Need 22" x 30"
Draft Stopping around chimney	extension	

Garage door headers - OK
Gable end of house.

Header Schedule	3-2x10 typical shown - OK for most - will span 5'-8" first floor	
Type of Heating System	Not shown	
Stairs		
Number of Stairways	4	
Interior	3	
Exterior	1	
Treads and Risers (Section 314)	see $\frac{9.3}{A-C}$ - OK	
Width	36"	
Headroom	6'-8"	
Guardrails and Handrails (Section 315)	OK - see ¹ shown	
Smoke Detectors Location and type/Interconnected	Not shown	
Plan Reviewer Signature		

See Chimney Summary Checklist

11 Front porch - Header size for roof?
And header in covered entry?

Delete Schedule Add End Print Permit Print C of O Print Insp Invoicing Taxes

Prmt Text193 0 Constr Type New Num1

Permit Nbr 04-0224 Location of Construction 207 Hope Ave Appl. Date
Status Hold Permit Type Single Family Issue Date
CBL 392 A018001 District Nbr 5 Estimated Cost \$180,000.00 Date Closed

Comment Date Comment Add Delet Save

03/24/2004 left message w/owner - need to go over plan review sheets.

Name imm Follow Up Date Completed

CreatedBy gg CreateDate 03/10/2004 ModBy imm ModDate 03/24

All Purpose Building Permit Application

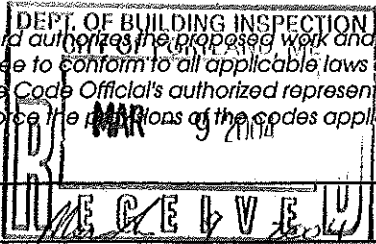
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>201 Hope Ln Portland me 04103</u>		
Total Square Footage of Proposed Structure <u>Living SPA 3,200 / Foundation 1,728</u>	Square Footage of Lot <u>23,608</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>018</u>	Owner: <u>Richard & Sileen Segal</u>	Telephone: <u>797-8877</u>
Lessee/Buyer's Name (If Applicable) <u>Richard & Sileen Segal</u>	Applicant name, address & telephone: <u>Rick Segal</u> <u>1081 WASHINGTON AVE</u> <u>Portland me 04103</u>	Cost Of Work: \$ <u>180,000</u> Fee: \$ <u>1641.00</u>
Current use: <u>Raw Land</u>		
If the location is currently vacant, what was prior use: <u>VACANT</u>		
Approximately how long has it been vacant: <u>Forever</u>		
Proposed use: <u>28x38 2 story colonial with 34x24 garage</u>		
Project description: <u>1/2 breezeway</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Rick Segal</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

inform minor 300.00
C/O 75.00
\$ 2016

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: Richard Segal Date: MAR 9 2014

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Richard Segal

Date: 3/19/04

Address: 207 Hope Ave (lot 18)

C-B-L: 392-A-018

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New development permit # 04-0224

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct new single family with attached garage
28 x 38 attached breezway 24 x 24
11.5 x 20

Sewage Disposal - City

Lot Street Frontage - 50' required 296' shown

Front Yard - 25' min req - 38' scaled

Rear Yard - 25' min req - 76' scaled

Side Yard - 14' min req - 24'; 32' shown

Projections - 2 story front porch 6' x 35' No rear Decks

Width of Lot - 80' req - 96' shown

Height - 35' MAX - 24' scaled

Lot Area - 10,000 sq ft min 23,600 sq ft given

Lot Coverage/Impervious Surface - 20% MAX of 4,721.6 sq ft MAX

Area per Family - 10,000 sq ft

Off-street Parking - 2 req - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor #04-0224

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 Zone X

28 x 38	=	1064
24 x 24	=	576
11.5 x 20	=	230
6 x 35	=	210
		<hr/>
		2080 sq ft

No Daylight basement
No rear Decks

392 A 18

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

RICHARD SEGAL and JOLEEN SEGAL, whose mailing address is 60 Marlborough Road, Portland, Maine 04103, as JOINT TENANTS

A certain lot or parcel of land situated on the southwesterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 18 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

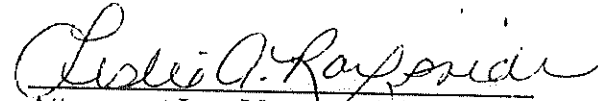
1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.

STATE OF MAINE
CUMBERLAND, SS.

November 14, 2003

Then personally appeared the above-named LLOYD B. WOLF, Treasurer of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

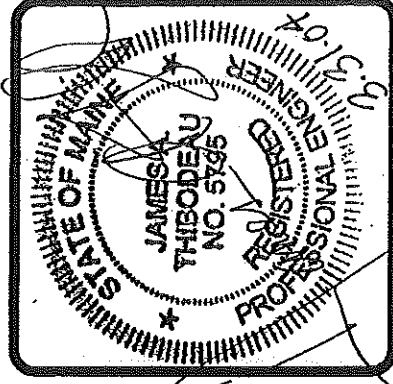

Attorney at Law/Notary Public

LESLIE A. RAIFSNIDER
Maine Notary Public
My Commission Expires May 9, 2009

ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road Ste. A
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com



THIS P. E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS' SIZES AND DETAILS DESIGNATED WITH THE NOTATION (ADP) ONLY. DESIGN AND DETAIL FOR FOUNDATION ELEMENTS, FRAMING CONNECTIONS (UNLESS OTHERWISE NOTED), COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, LIFE SAFETY CODE REQUIREMENTS, AND OTHER ELEMENTS NOT DENOTED BY (ADP) HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURPOSE OF THIS P. E. SEAL.

PLYWOOD SUBFLOOR,
BY OTHERS.

(2) 2X TOP FLANGE BLOCKING,
WIDTH TO MATCH STEEL TOP
FLANGE. ATTACH TO TOP FLANGE
OF STEEL BEAM W/ 1/2"Ø
THROUGH BOLTS @ 48" O.C.
STAGGER BOLTS SIDE TO SIDE.

(1) 2X BOTTOM FLANGE
BLOCKING, SIZE TO MATCH STEEL
BOTTOM FLANGE AND COLUMN.

1/2"Ø THROUGH BOLT, LOCATE
WITHIN 12" OF TOP AND
BOTTOM OF COLUMN AND
THEN AT 36" O.C. MAX.

PROVIDE 2X6 KING STUD @ EACH
SIDE OF COLUMN. EXTEND TO
TOP OF TOP FLANGE BLOCKING
AND ATTACH WITH (4) NAILS @
EACH SIDE OF COLUMN.

2X WOOD FLOOR
JOISTS, DESIGN AND
DETAIL BY OTHERS.

W1 2x30 STRUCTURAL STEEL
BEAM @ GARAGE, SEE FIRST
FLOOR PLAN FOR LOCATION.

PROVIDE 6X6 WOOD POST, TYP.
@ EACH END OF STEEL BEAM.
CENTER POST BELOW STEEL
BEAM.

PROVIDE ADDITIONAL 1/2"
PLYWOOD FURRING @ EACH SIDE
OF 6X6 WOOD POST, TO MATCH
WIDTH OF STEEL BEAMS BOTTOM
FLANGE.

51 STL BEAM FRAMING @ COLUMNS

A-3 SCALE: N.T.S.

8 X 38 Colonial Residence for

35'-6 1/2"

63'-6 1/2"

28'-0"

CONSULTANTS

28 x 38 Colonial Residence for
Richard and Joline Segal
Presumpscot River Place
Portland, Maine

ISSUE DATE
01/19/04

DATE REVISION

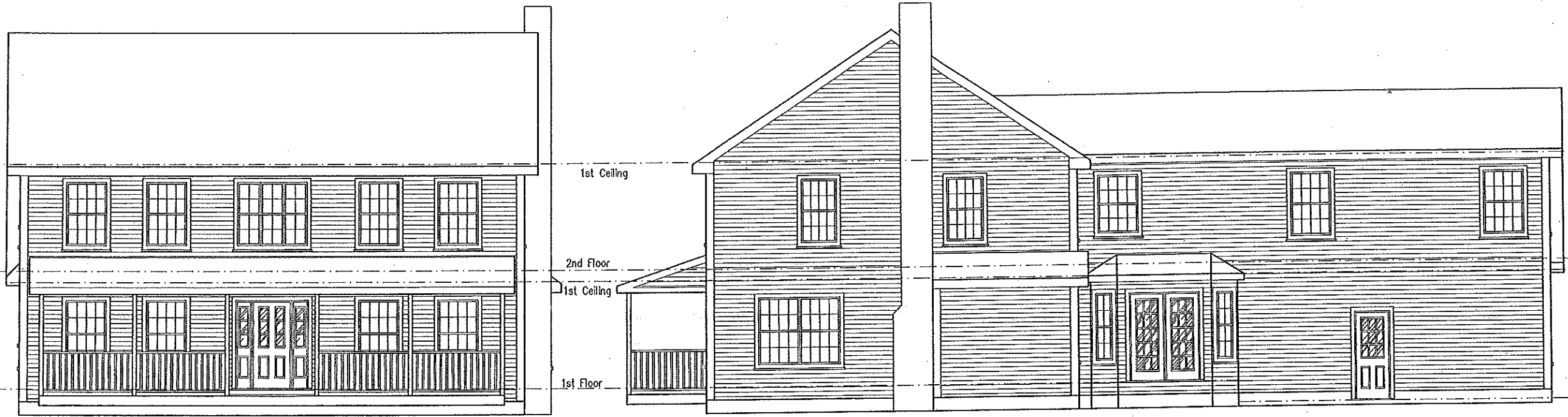
CAD DWG FILE: XX2436A1
DRAWN BY: JCT
CHECKED BY:

SHEET TITLE

Elevations

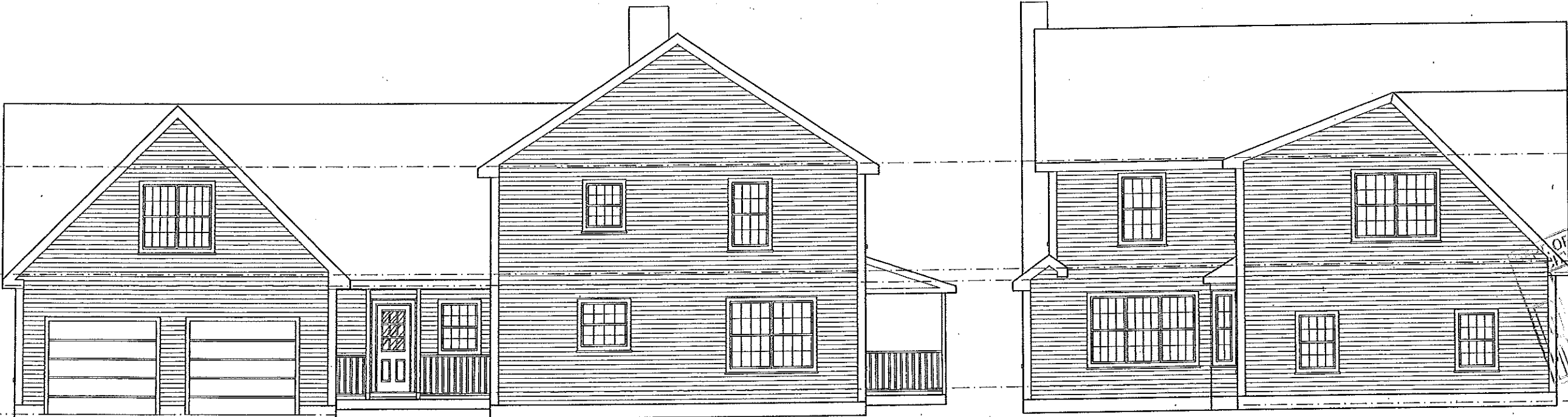
A-1

SHEET 1 of 6



Front Elevation

Right Elevation



Left Elevation

Rear Elevation

A Elevations
1 1/4" = 1'-0"

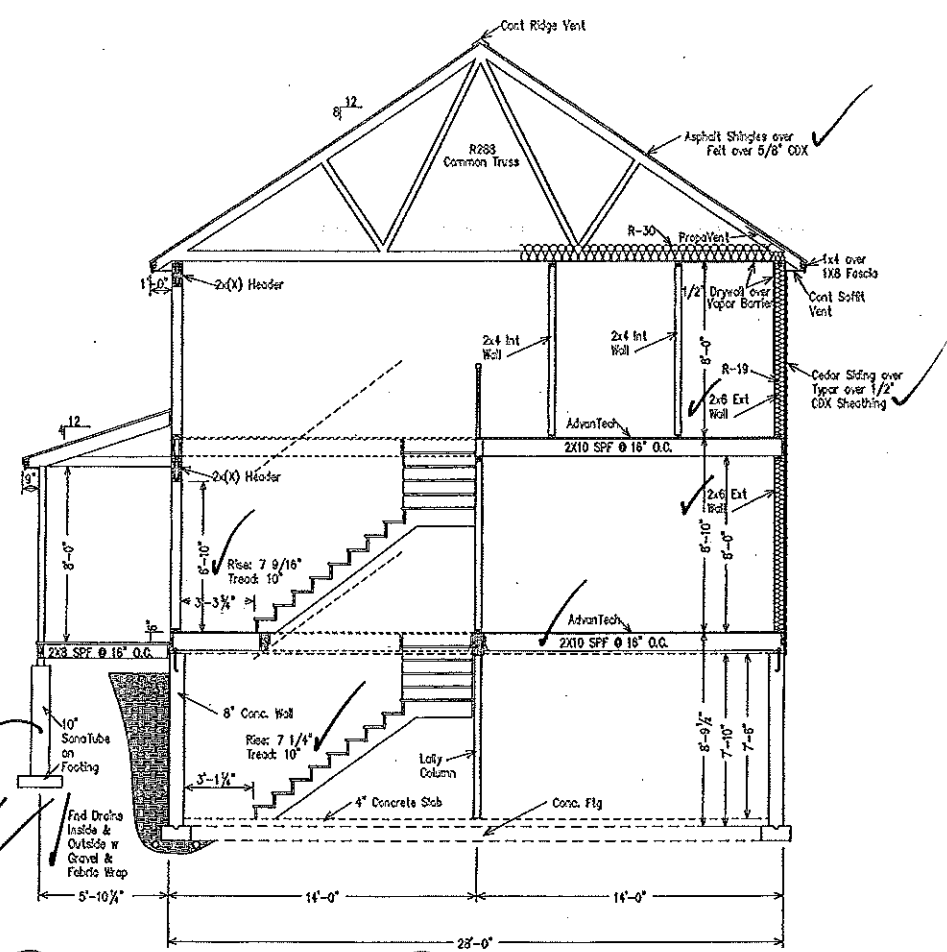
DO NOT SCALE PRINTS
These documents were prepared by an architectural draftsman; they have not been reviewed by an architect or engineer. Neither Hancock Lumber nor the Draftsman assumes any responsibility for design or engineering. Dimensions, code compliance and specifications should be reviewed by the purchaser and builder prior to construction.

CONSULTANTS

28 x 38 Colonial Residence for
Richard and Joline Segal
Presumpscot River Place
Portland, Maine

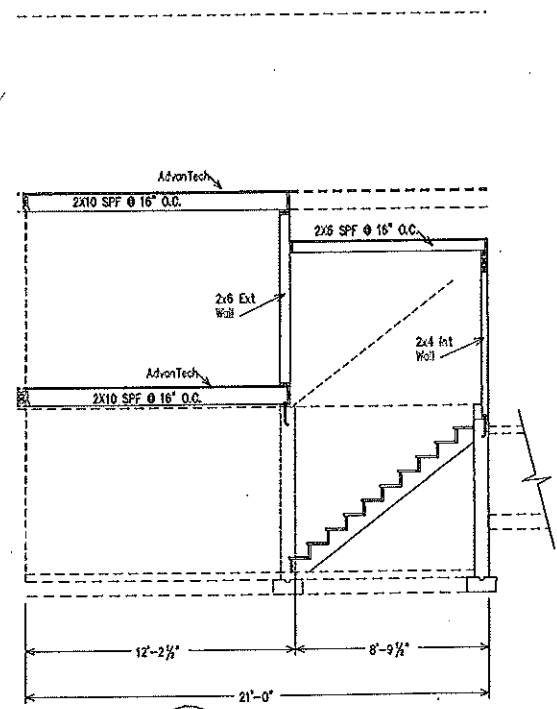
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ISSUE DATE	
01/19/04	
DATE	REVISION
CAD DWG FILE: XX2436A1	
DRAWN BY: JCT	
CHECKED BY:	
SHEET TITLE	
Cross Section Details	
A-5	
SHEET 5 of 6	

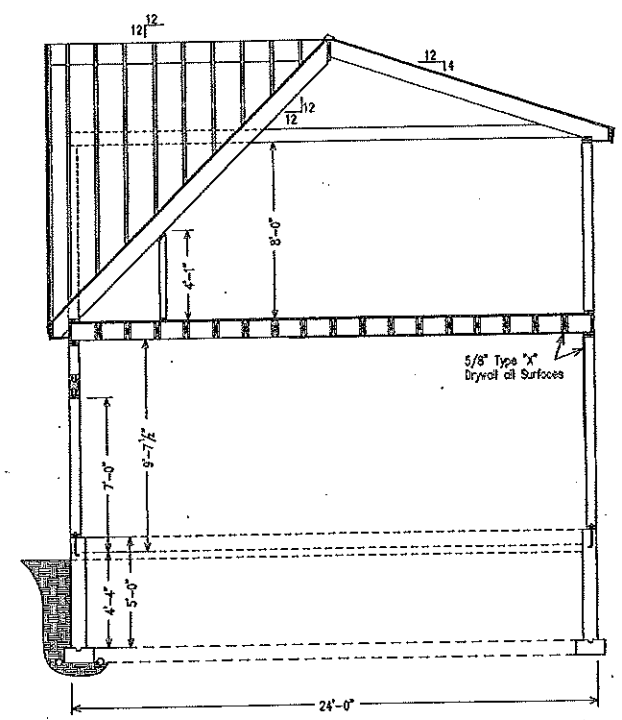


A4 Porch Cross Section
S5 1/4" = 1'-0"

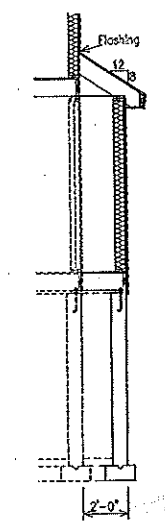
A4 Main Cross Section
S1 1/4" = 1'-0"



A5 End Cross Section
S2 1/4" = 1'-0"



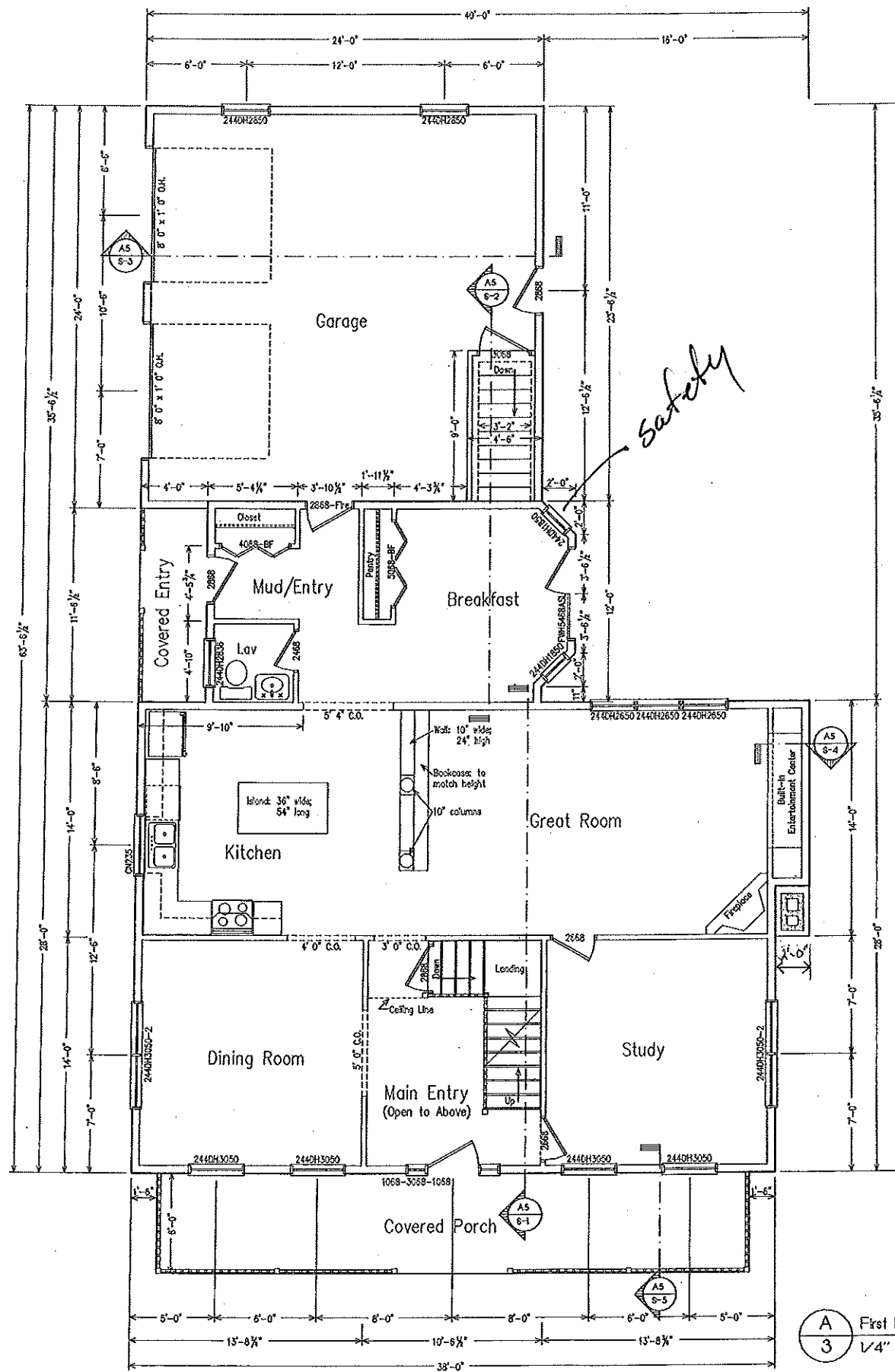
A5 Garage Cross Section
S3 1/4" = 1'-0"



A5 Wall Extension
S4 1/4" = 1'-0"

48"
Typ.
OK

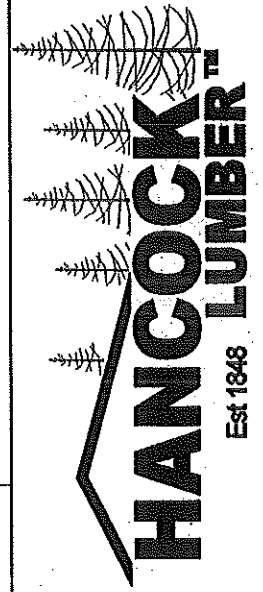
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A First Floor Plan
3 1/4" = 1'-0"

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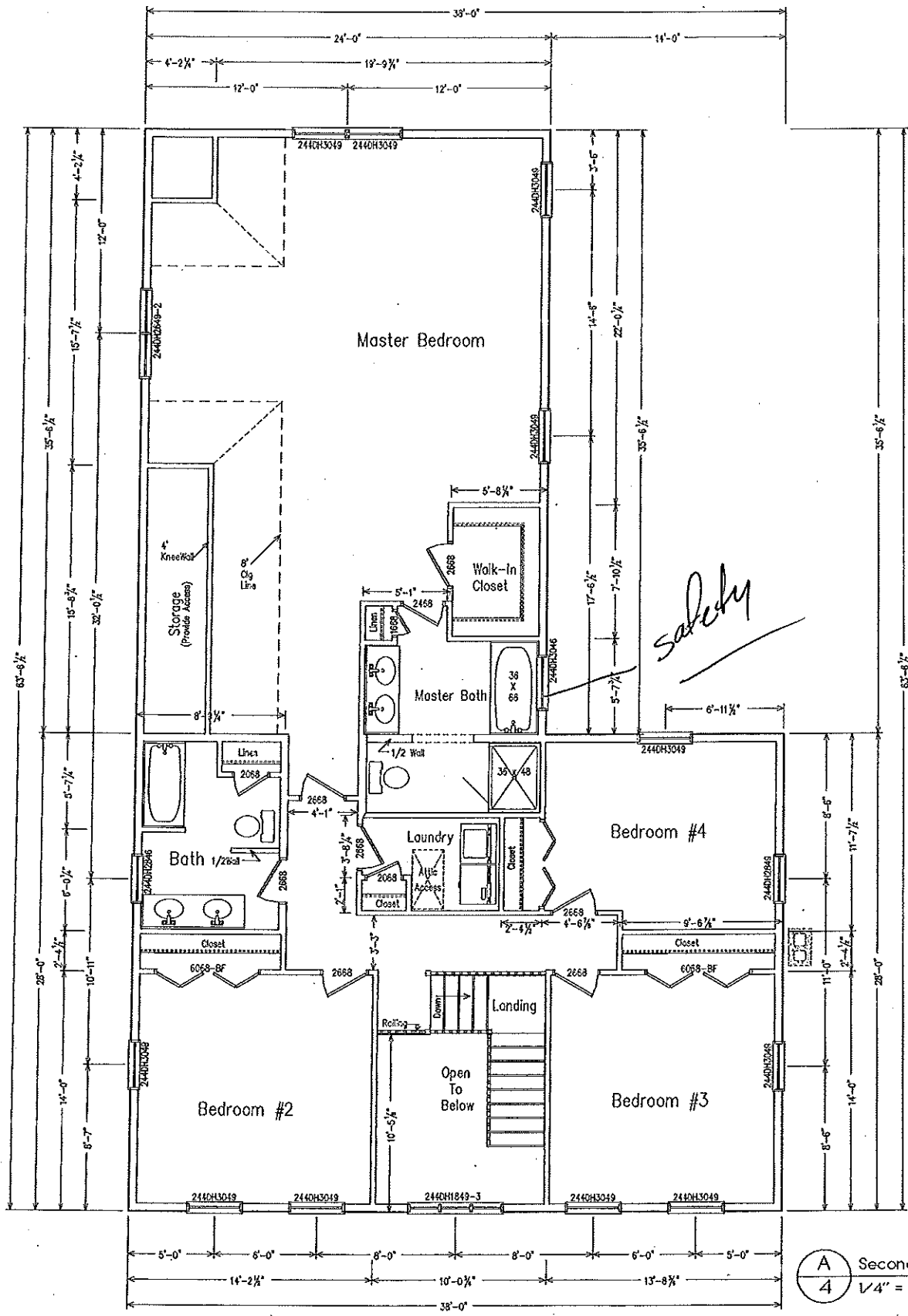
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28 x 38 Colonial Residence for
 Richard and Joline Segal
 Presumpscot River Place
 Portland, Maine

ISSUE DATE	
01/19/04	
DATE	REVISION
CAD DWG FILE: XX2436A1	
DRAWN BY: JCT	
CHECKED BY:	
SHEET TITLE	
First Floor Plan	
A-3	
SHEET 3 of 6	



A
4
Second Floor Plan
1/4" = 1'-0"

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ISSUE DATE	
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CHECKED BY:	
SHEET TITLE	
Second Floor Plan	
A-4	
SHEET 4 of 6	

28 x 38 Colonial Residence for
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