

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

DRC Copy

2003-0231

Application I. D. Number

10/24/2003

Application Date

215 Hope Ave Lot # 17

Project Name/Description

Stacey Scott R &

Applicant

1024 Washinton Ave. # 3, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph: Agent Fax:

Applicant or Agent Daytime Telephone, Fax

215 - 215 Hope Ave, Portland, Maine

Address of Proposed Site

392 A017001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2280 sf 23107 acres
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 10/29/2003

DRC Approval Status:

Reviewer Jay Reynolds

- Approved Approved w/Conditions See Attached Denied

Approval Date 11/03/2003 Approval Expiration 11/03/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 11/03/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input checked="" type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input checked="" type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input checked="" type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0231

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392 A017001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now #215 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

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Proposed Building square Feet or # of Units

Acreage of Site

Zoning

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 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

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- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 _____ signature _____ date

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<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

Check Sub. Plans for 1) ARE and 2) Gravity sewer. otherwise OK

SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.


2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 80 FT.
OTHER USES:

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: WHS	Date: JULY 04
Draft: CAH	Job No.: 1043
Checked: AMP	Scale: NTS
File Name: 98089-ALL-LOTS	

	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 15 Shaker Road Gray, ME 04039 207-657-6910

Drawing Name:	Space & Bulk Requirements
Project:	PRESUMPCOT RIVER PLACE

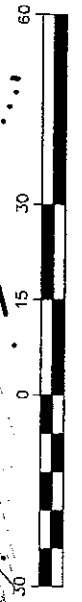
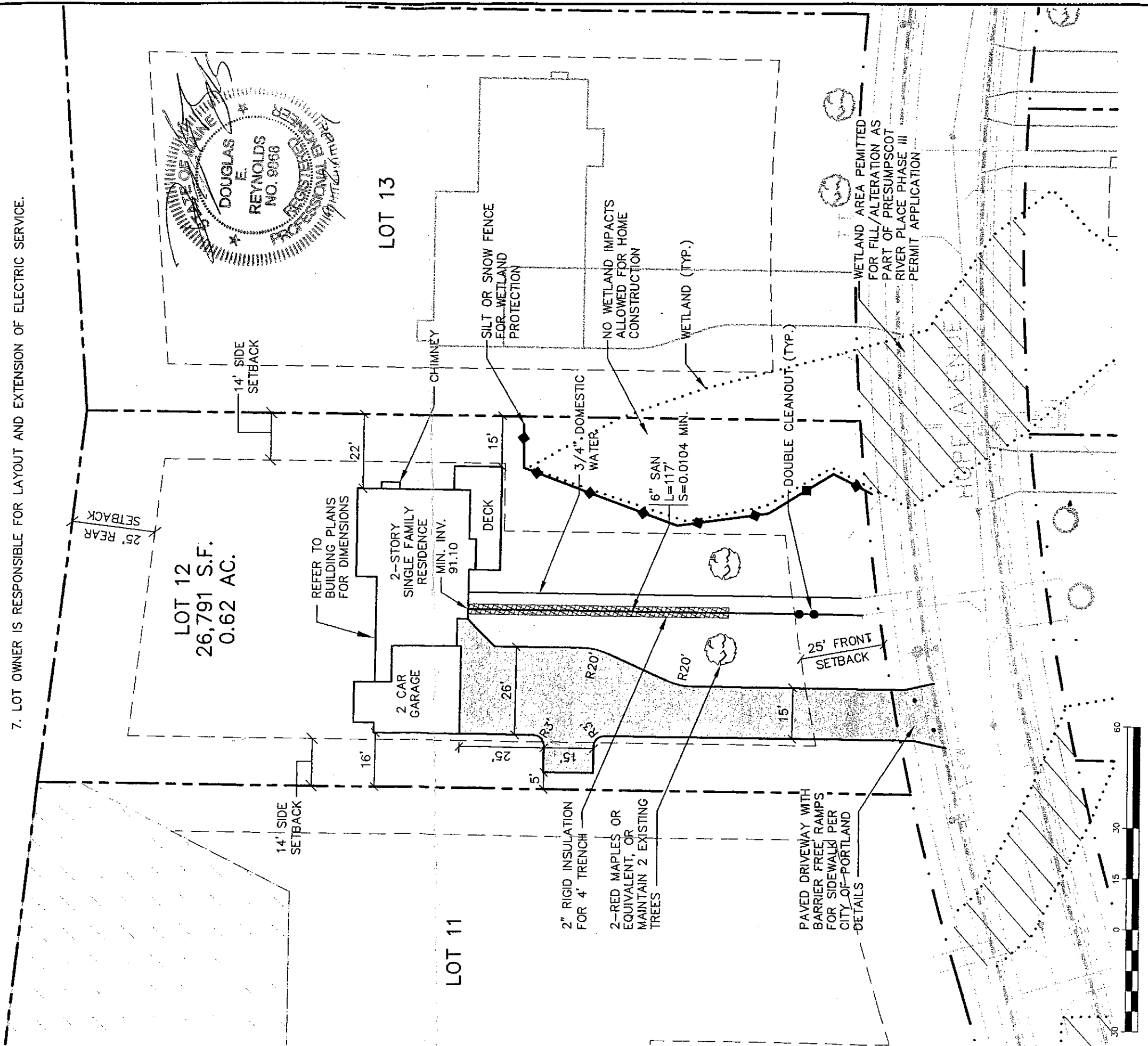
Figure No.

1



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



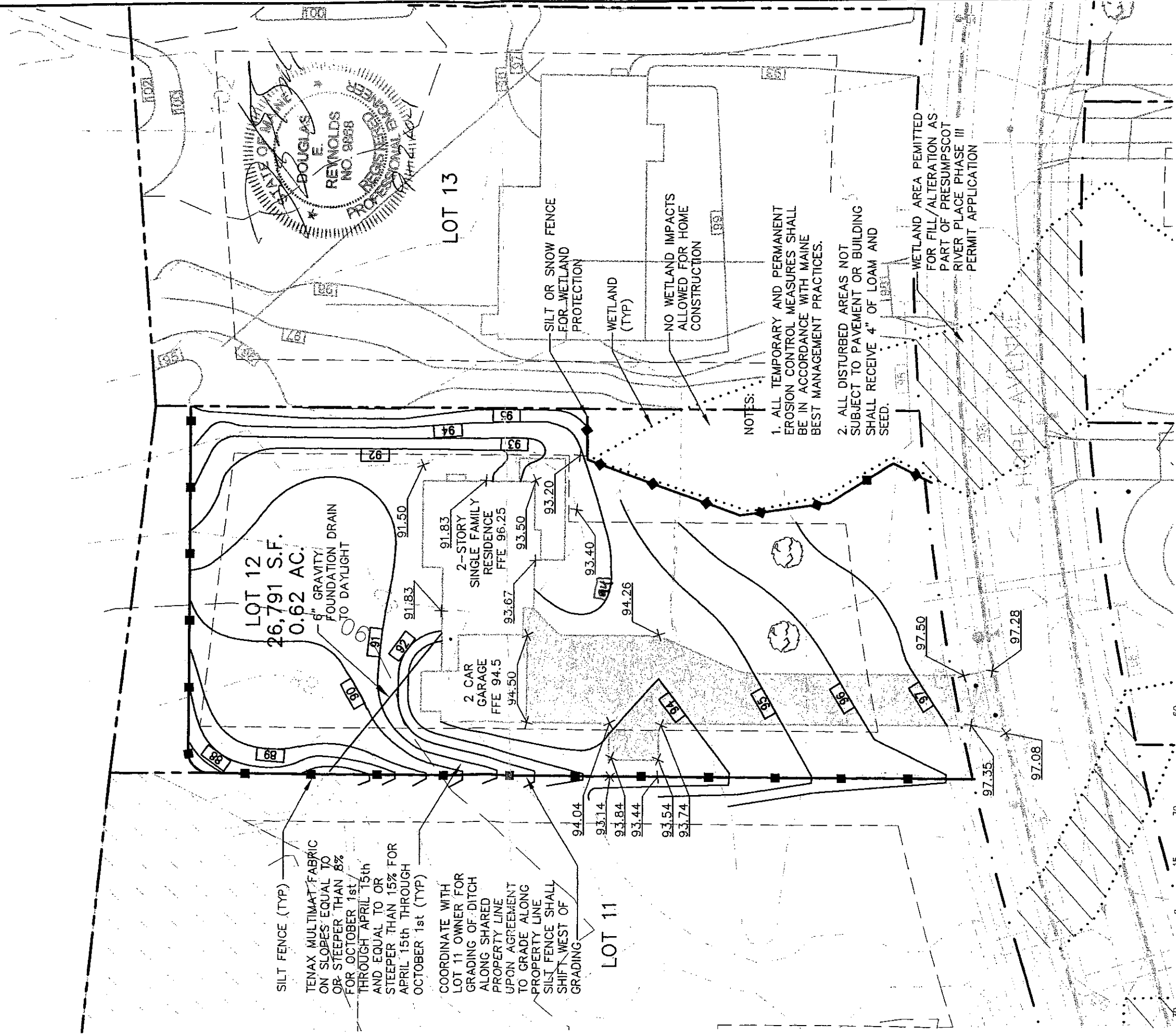
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GP Gorrell-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1217
15 Saker Road
Oray, ME 04019
207-657-6610
FAX: 207-657-6612
E-Mail: mailto:gppalmer.com

Drawing Name:
Lot 12 Site Layout & Utility Plan

Project:
PRESUMPCOT RIVER PLACE



SILT FENCE (TYP)
 TENAX MULTIMAT FABRIC
 ON SLOPES EQUAL TO
 OR STEEPER THAN 8%
 FOR OCTOBER 1st
 THROUGH APRIL 15th
 AND EQUAL TO OR
 STEEPER THAN 15% FOR
 APRIL 15th THROUGH
 OCTOBER 1st (TYP)

COORDINATE WITH
 LOT 11 OWNER FOR
 GRADING OF DITCH
 ALONG SHARED
 PROPERTY LINE
 UPON AGREEMENT
 TO GRADE ALONG
 PROPERTY LINE
 SILT FENCE SHALL
 SHIFT WEST OF
 GRADING

LOT 11

2 CAR
 GARAGE
 FFE 94.5

2-STORY
 SINGLE FAMILY
 RESIDENCE
 FFE 96.25

LOT 12
 26,791 S.F.
 0.62 AC.
 6" GRAVITY
 FOUNDATION DRAIN
 TO DAYLIGHT

SILT OR SNOW FENCE
 FOR WETLAND
 PROTECTION

WETLAND
 (TYP)

NO WETLAND IMPACTS
 ALLOWED FOR HOME
 CONSTRUCTION

NOTES:
 1. ALL TEMPORARY AND PERMANENT
 EROSION CONTROL MEASURES SHALL
 BE IN ACCORDANCE WITH MAINE
 BEST MANAGEMENT PRACTICES.

2. ALL DISTURBED AREAS NOT
 SUBJECT TO PAVEMENT OR BUILDING
 SHALL RECEIVE 4" OF LOAM AND
 SEED.

WETLAND AREA PERMITTED
 FOR FILL/ALTERATION AS
 PART OF PRESUMPCOT
 RIVER PLACE PHASE III
 PERMIT APPLICATION



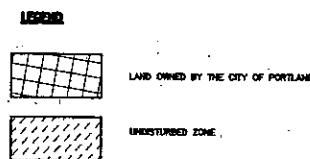
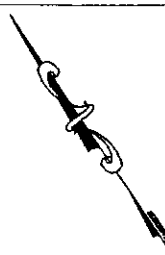
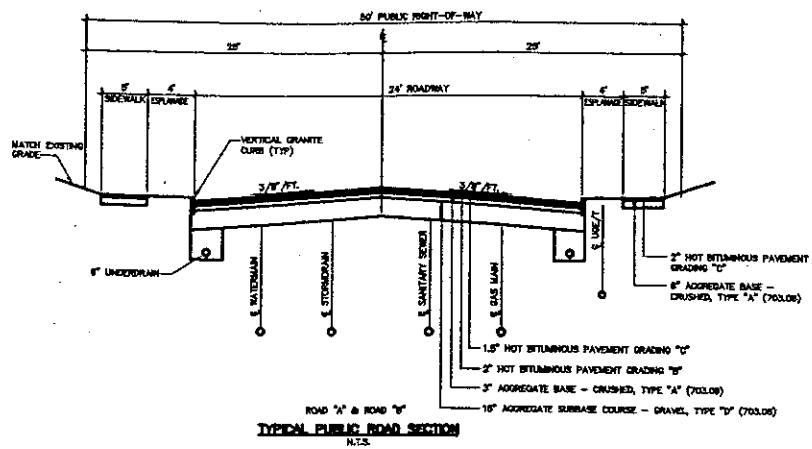
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Draft:	CAH	Job No.:	1097
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GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

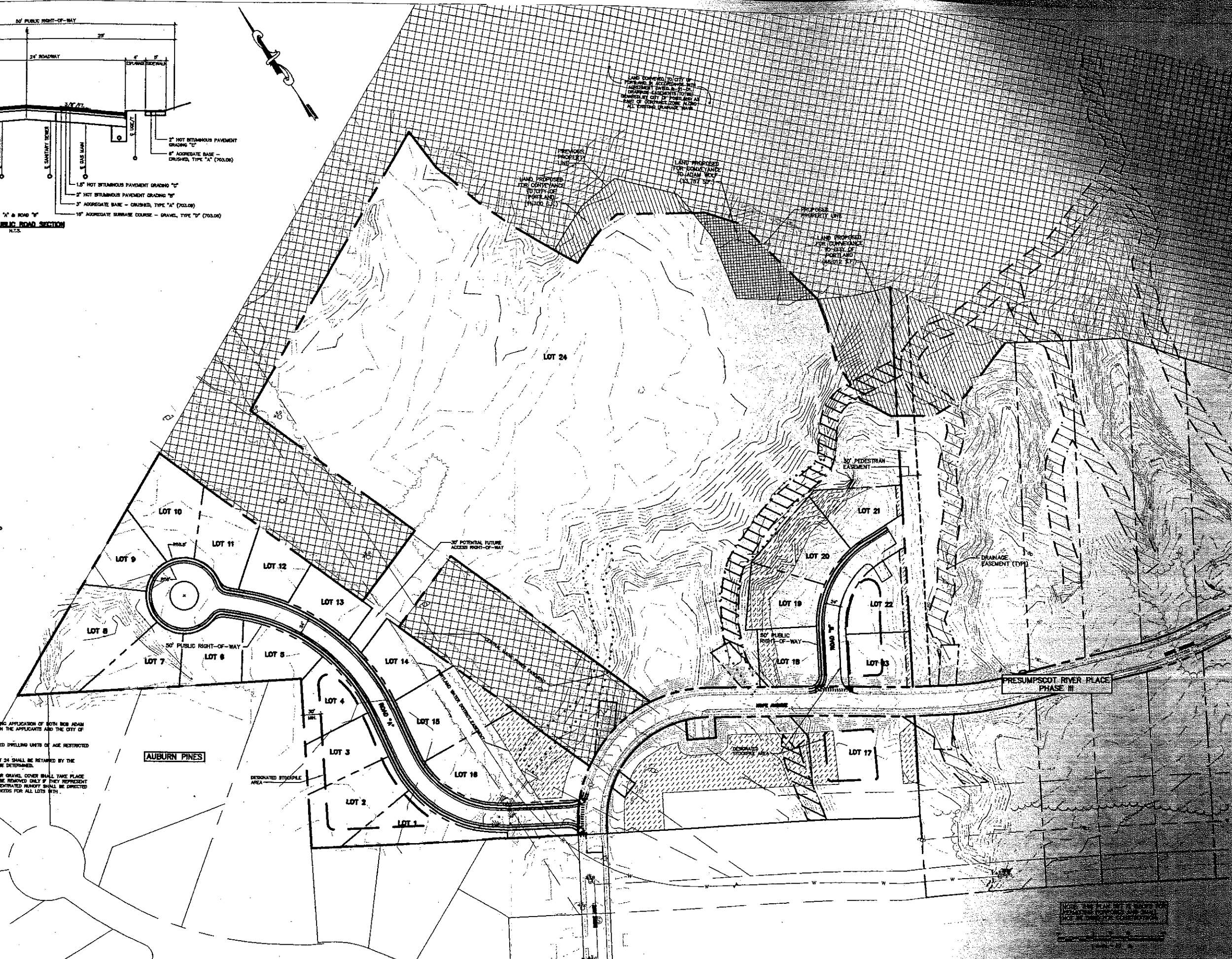
PO Box 1237
 15 Seler Road
 Gray, ME 04039
 207-657-6810
 FAX: 207-657-6812
 E-Mail: mailbag@gorrillpalmer.com

Drawing Name: **Lot 12 Grading Plan**

Project: **PRESUMPCOT RIVER PLACE**



- NOTES**
1. THIS PLAN WAS PROPOSED TO SUPPORT THE CONTRACT ZONING APPLICATION OF BOTH NEW ADAM AND BURT WOLF IN ACCORDANCE WITH THE AGREEMENT BETWEEN THE APPLICANTS AND THE CITY OF PORTLAND, DATED 8/21/01.
 2. THE PROJECT SHALL CONSIST OF A MAXIMUM OF 23 DETACHED DWELLING UNITS OF AGE RESTRICTED HOUSING.
 3. LOTS 1 THROUGH 23 SHALL BE DETACHED STRUCTURES. LOT 24 SHALL BE RETAINED BY THE DEVELOPER. DEVELOPMENT PLANS FOR THIS LOT HAVE YET TO BE DETERMINED.
 4. NO TREE CUTTING, GRADING, RESTURBANCE TO VEGETATION, OR GRAVEL COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE. STORM DRAINAGE TREES MAY BE REMOVED ONLY IF THEY REPRESENT A POTENTIAL HAZARD TO PROPERTY OR PERSONS. NO CONCENTRATED RUNOFF SHALL BE DIRECTED TO THIS AREA. THIS NOTE SHALL APPEAR ON THE PROPERTY DEEDS FOR ALL LOTS WITH UNDISTURBED ZONES.



CITY STAFF REVIEW	5/23/04	AMP
CITY SUBDIVISION APPROVAL	7/26/04	AMP

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237 Portland, ME 04101 207-557-5910

Drawing Name: Overall Plan with Topography
 Project: RIVERWALK
 Date: 10/17/2004
 Scale: 1"=50'

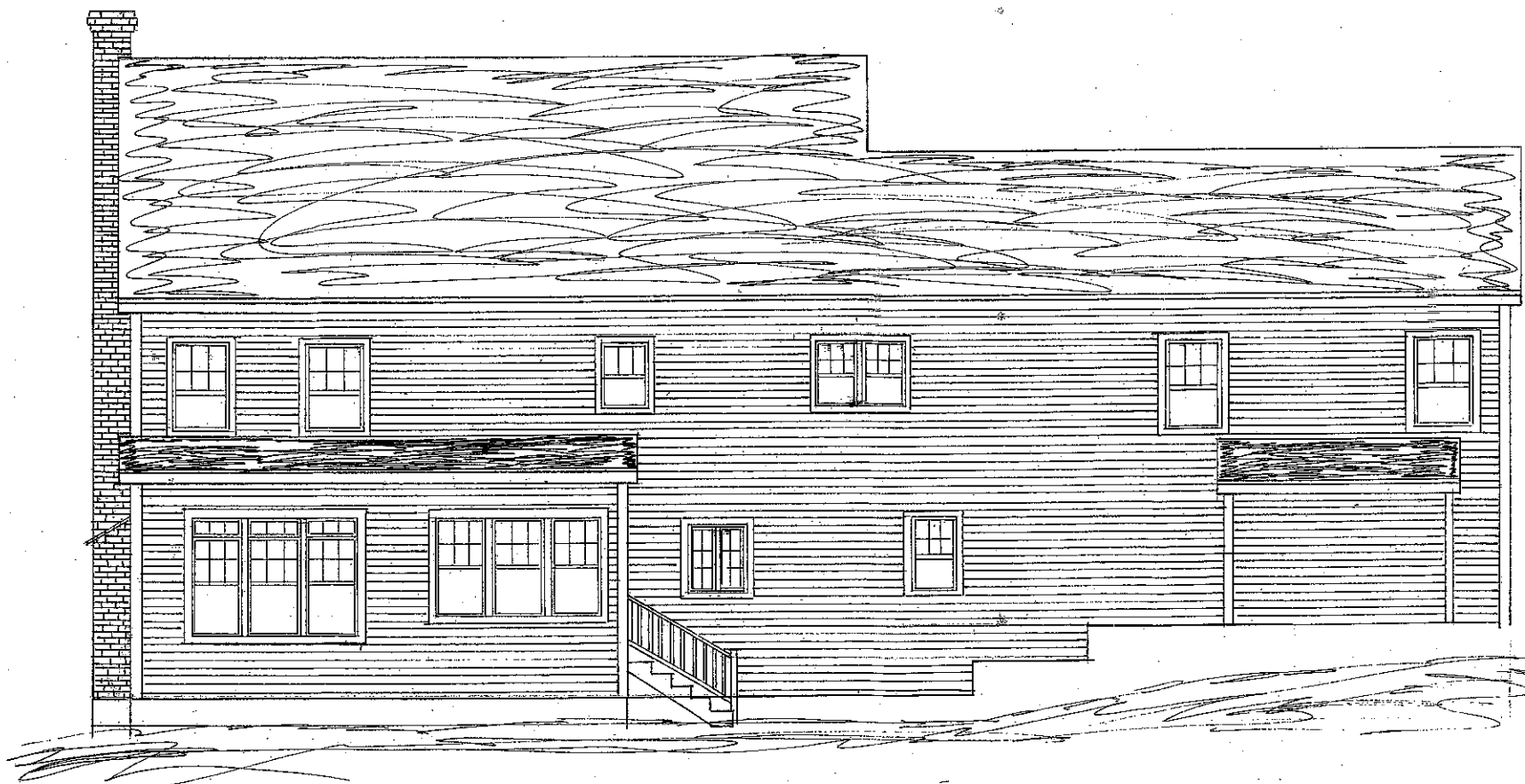


392 A 12

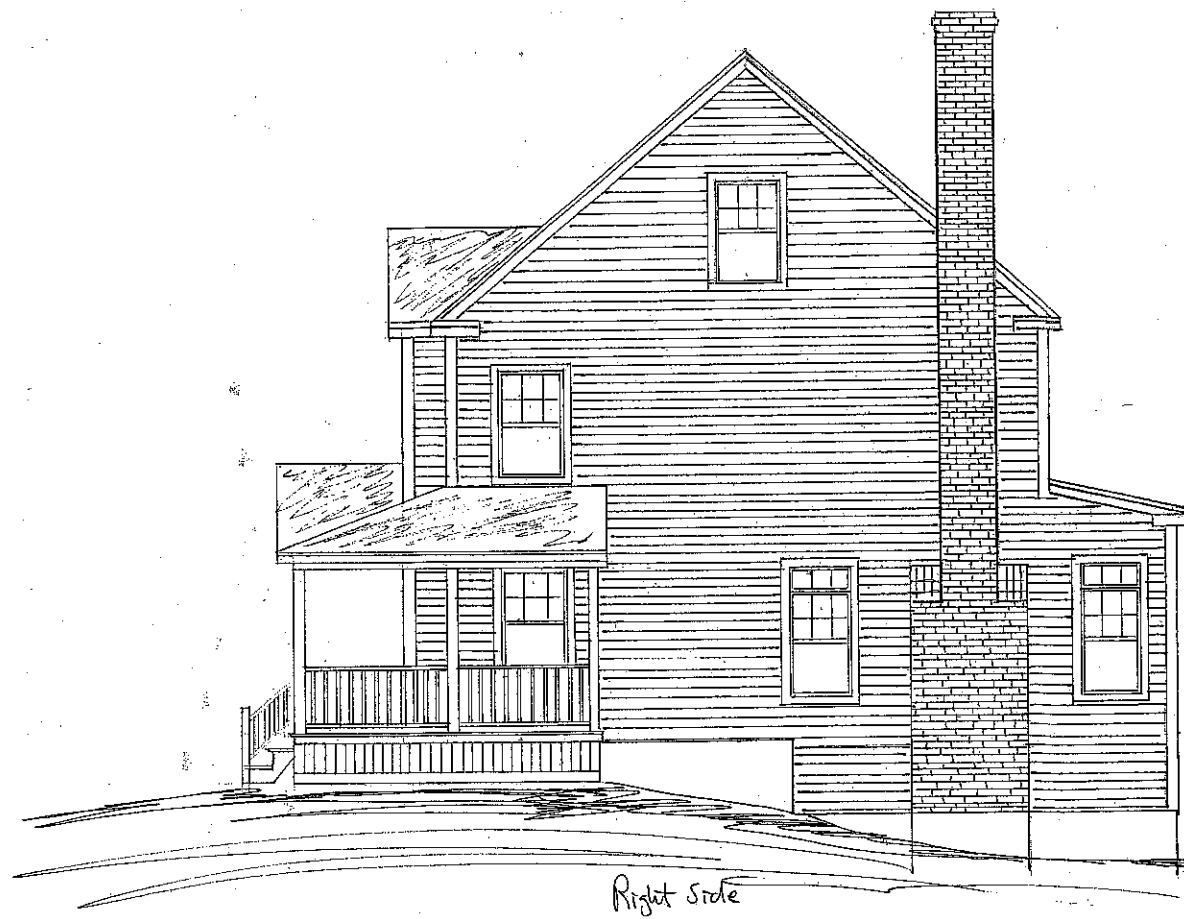
RECEIVED

OCT 1 2004

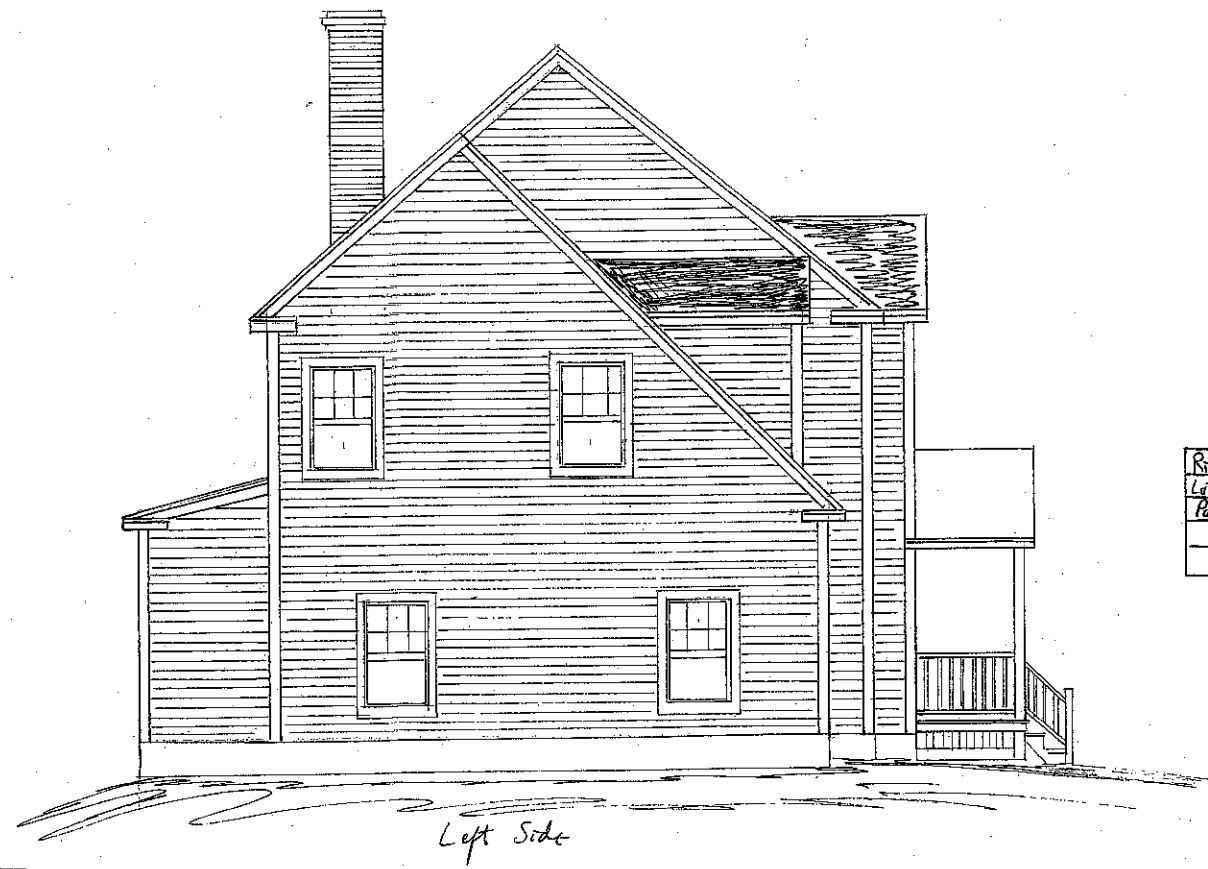
Owner: Mary Rigney	J. S. WYSE Builders Inc.
LOT # 12 HOPE AVE.	
Portland, ME.	
Page 1 of 7	
Owner:	page 1-7 date:
Owner:	page 1-7 date:
Contractor: J.S. Wyse	page 1-7 date: 9-9-04



Rigney Residence	J.S. WYSE Builders Inc.
LOT # 12 HOPE AVE	
Portland, ME	
	Page 2 of 7

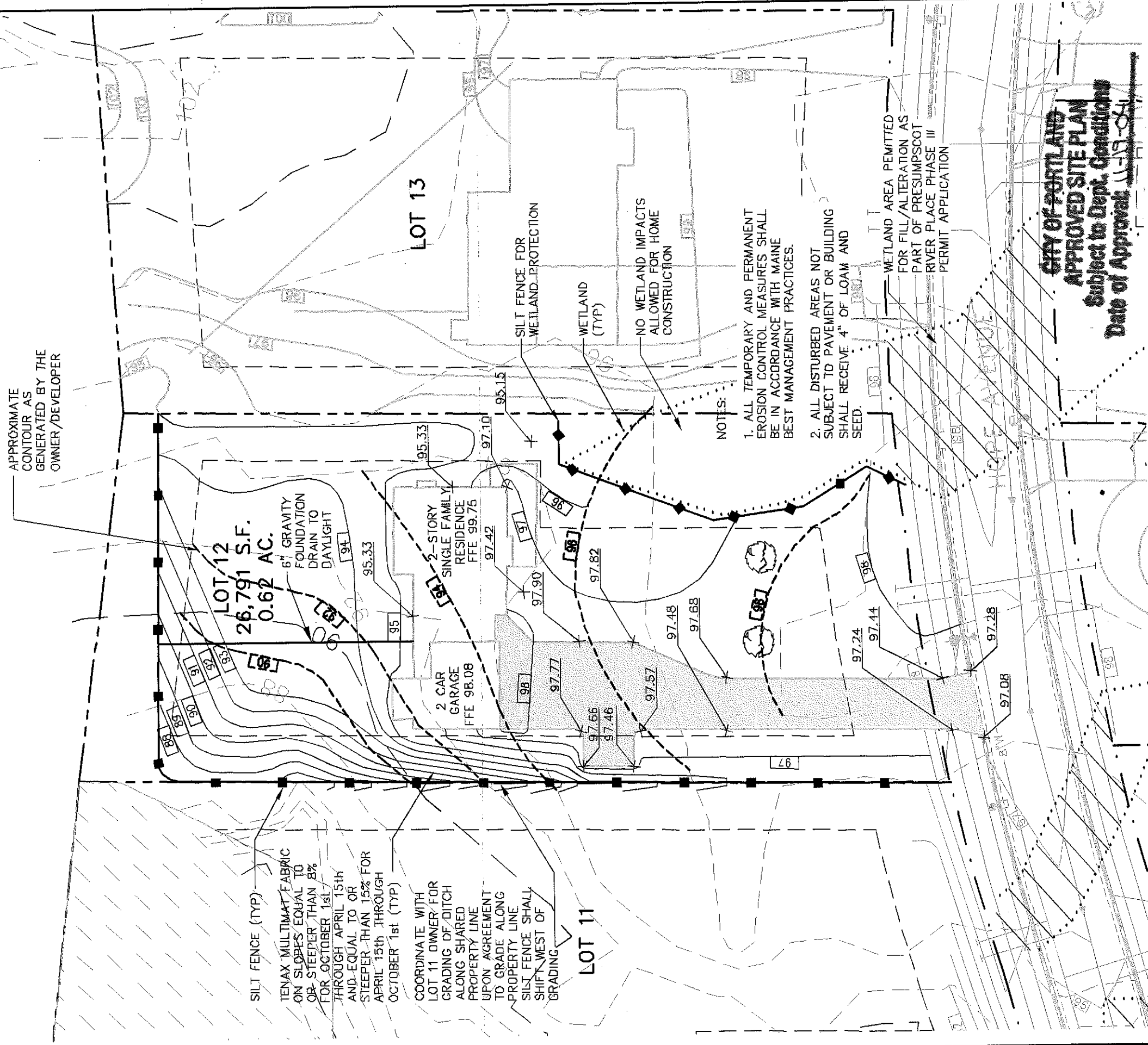


Right Side



Left Side

Rigney Residence	J.S. WYSE BUILDER INC.
LOT # 12 HOPE AVE	
PORTLAND, ME.	
Page 3 of 7	



SILT FENCE (TYP)

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

COORDINATE WITH LOT 11 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE UPON AGREEMENT TO GRADE ALONG PROPERTY LINE SILT FENCE SHALL SHIFT WEST OF GRADING

Figure No. **3**

Drawing Name: **Lot 12 Grading Plan**

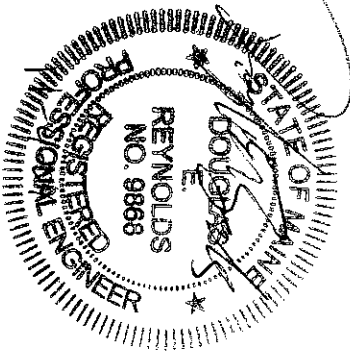
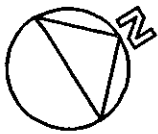
Project: **PRESUMPSCOT RIVER PLACE**

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1227
155 S. W. ME 04069
207-857-4810
E-Mail: info@gpengineers.com

Design:	WHS	Date:	11/04
Draft:	DAH	Job No.:	1097
Checked:	DER	Scale:	1"=30'

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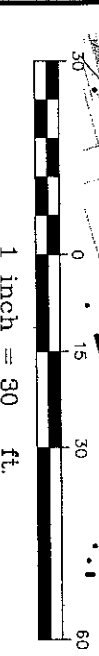
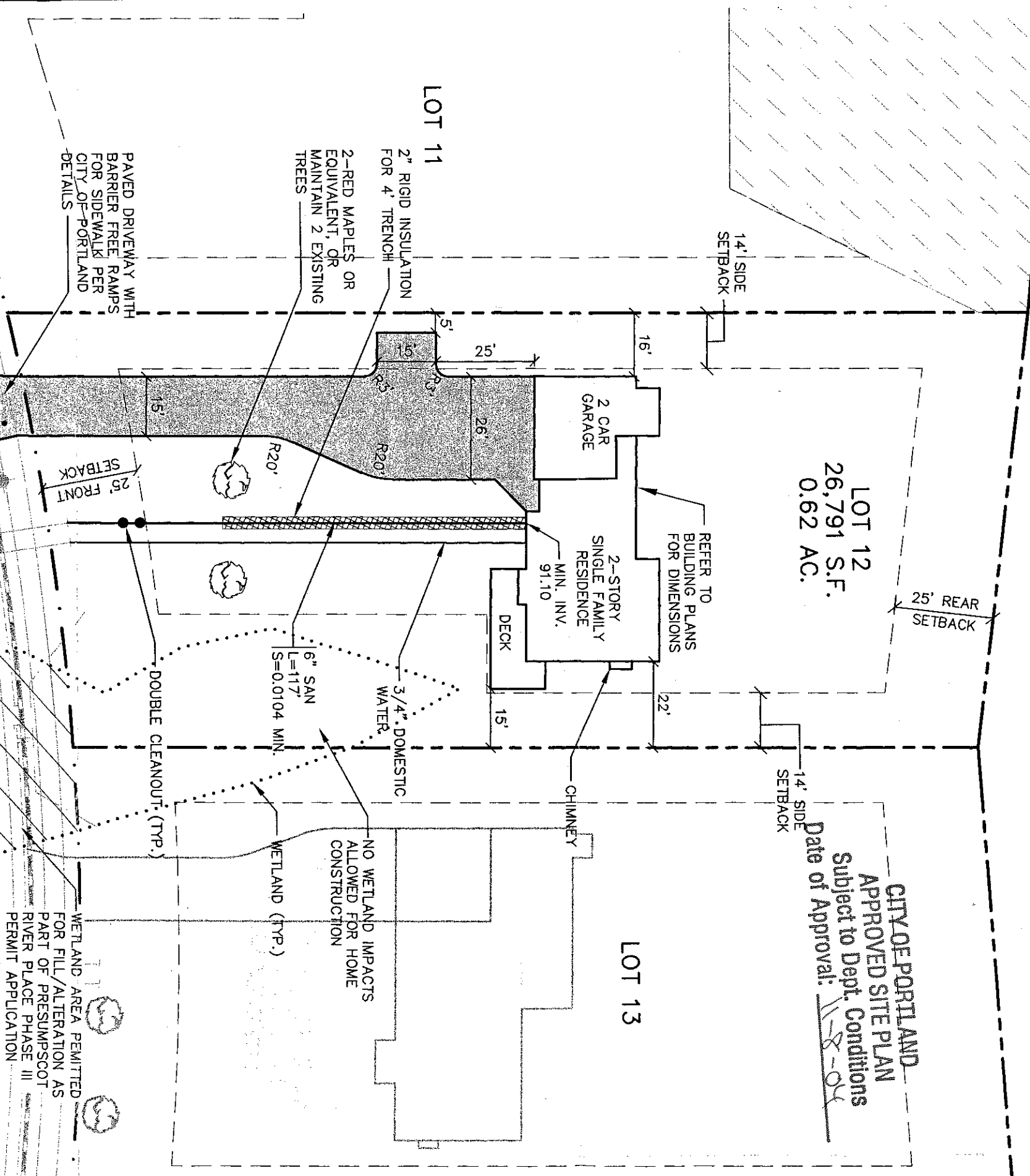


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LOT 12
26,791 S.F.
0.62 AC.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-8-04

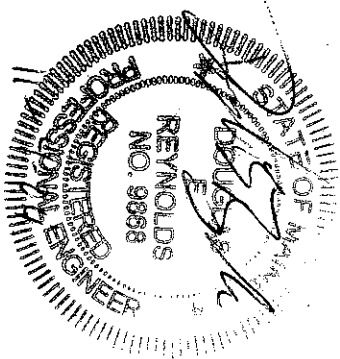
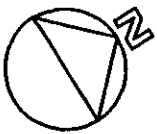


Design: WHS	Date: 11/04
Draft: CAH	Job No.: 1097
Checked: DER	Scale: 1"=30'
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GP Gorrell-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
90 Box 1287
19 State Road
Croy, ME 04339
207-657-6810
FAX 207-657-8912
E-Mail: melba@gorrellpalmer.com

Drawing Name:
Lot 12 Site Layout & Utility Plan
Project:
PRESUMPCOT RIVER PLACE

Figure No.
2



SILT FENCE (TYP)
 TENAX MULTIMAT FABRIC
 ON SLOPES EQUAL TO
 OR STEEPER THAN 8%
 FOR OCTOBER 1st
 THROUGH APRIL 15th
 AND EQUAL TO OR
 STEEPER THAN 15% FOR
 APRIL 15th THROUGH
 OCTOBER 1st (TYP)

COORDINATE WITH
 LOT 11 OWNER FOR
 GRADING OF DITCH
 ALONG SHARED
 PROPERTY LINE
 UPON AGREEMENT
 TO GRADE ALONG
 PROPERTY LINE
 SILT FENCE SHALL
 SHIFT WEST OF
 GRADING

LOT 11

LOT 12
 26,791 S.F.
 0.62 AC.
 6" GRAVITY
 FOUNDATION DRAIN
 TO DAYLIGHT

2 CAR
 GARAGE
 FFE 94.5
 94.50

2-STORY
 FAMILY
 RESIDENCE
 FFE 96.25
 93.50

94.04
 93.14
 93.84
 93.44
 93.54
 93.74

94.26
 93.40
 93.20

WETLAND
 (TYP)

SILT FENCE FOR
 WETLAND PROTECTION

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WETLAND AREA - PERMITTED
 FOR FILL/ALTERATION AS
 PART OF PRESUMPCOT
 RIVER PLACE PHASE III
 PERMIT APPLICATION

HORT AVENUE

1 inch = 30 ft.

Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1097
Checked:	DER	Scale:	1"=30'
File Name:	98089-1-98089-ALL-LOTS.DWG		

GP Gorrell-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 207-537-8910
 207-537-8912
 Fax: 207-537-8912
 Email: info@gpfirm.com

Drawing Name: **Lot 12 Grading Plan**
 Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**