

DATE: Oct. 19, 2003
SHEET NO. A-2

DANIEL J. PARKER, A.I.A.
REGISTERED ARCHITECT
115 COLBY STREET
BRADFORD, MA 01835
978-373-2446

TITLE: **STACEY RESIDENCE**
PORTLAND, ME

SHEET: **SIDE ELEVATIONS & GARAGE SECTION**

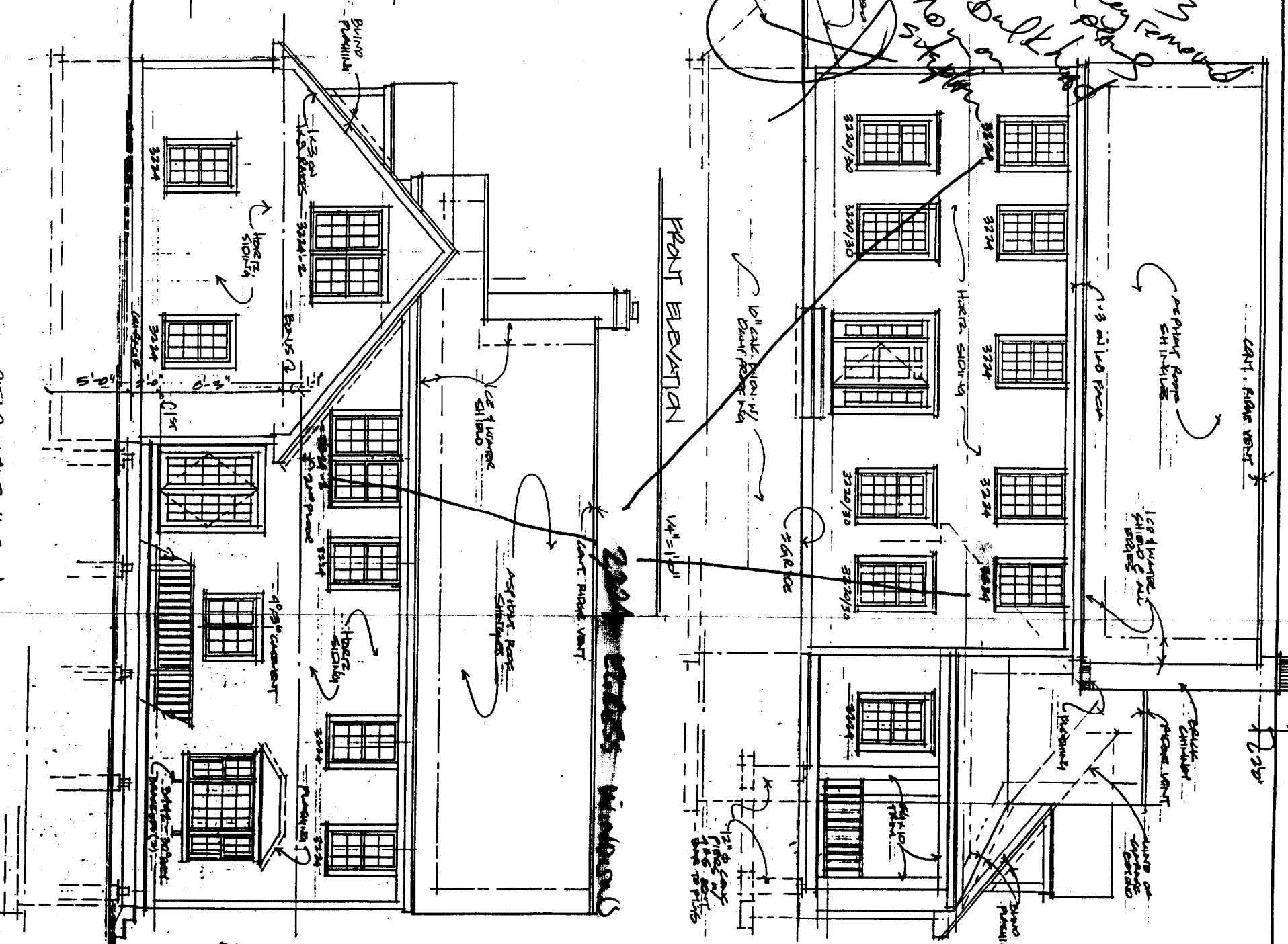
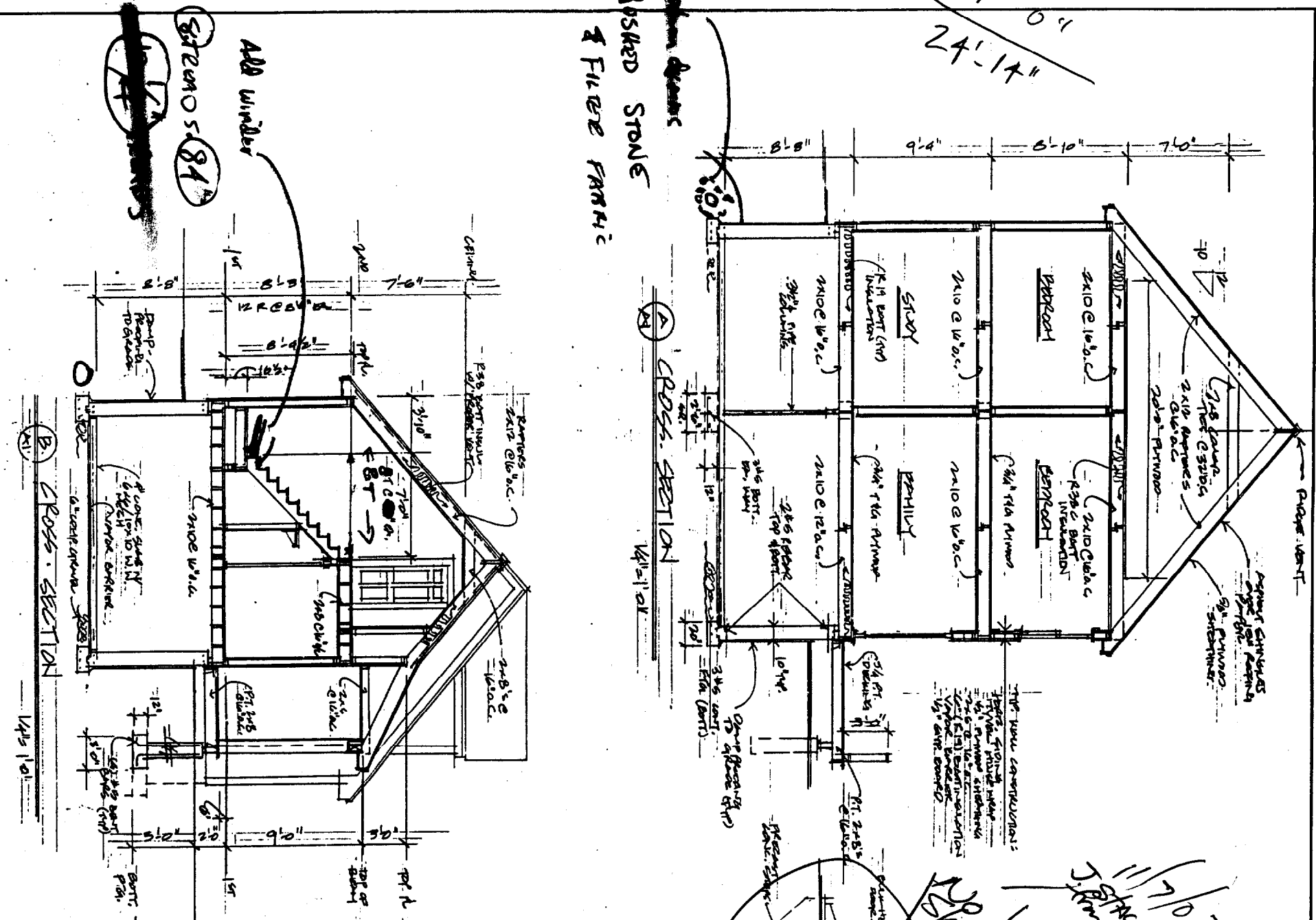
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Architecture ~ Planning ~ Project Development

24'-11"
 7' 8" 9" 4"
 24'-11"

~~Exterior elevations~~
 w/ CRASHED STONE
 & FIBRE FRAMIC

ADD WINDLER
 812005 (81)

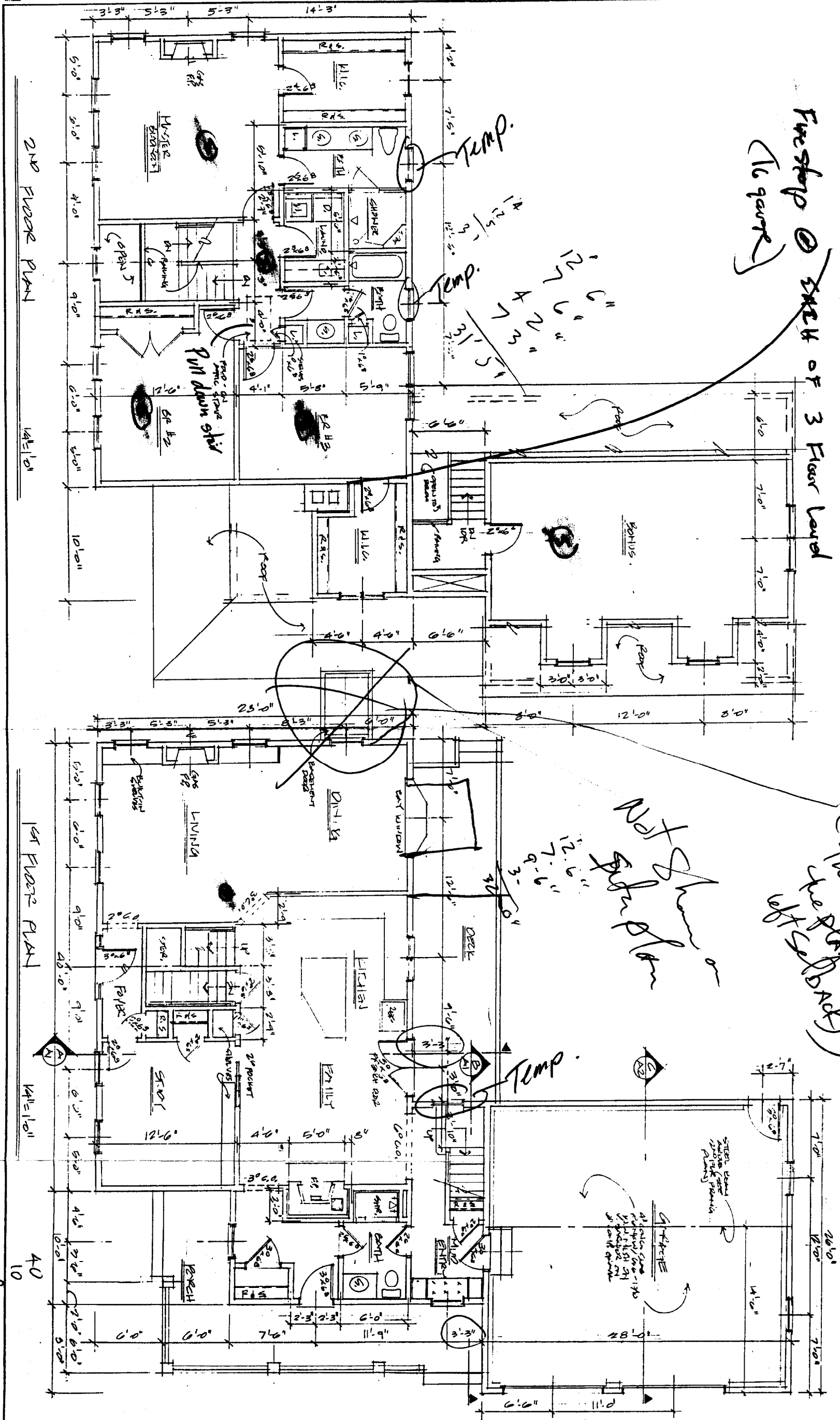


11/7/03
 J. Parker removed
 1/2\"/>

SHEET NO. A-1	DATE 02/13/2003		TITLE: STACEY RESIDENCE PORTLAND, ME	THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT DESCRIBED HEREIN. NO PART OF THESE DOCUMENTS IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DOCUMENTS. THE CLIENT SHALL HOLD HARMLESS AND INDEMNIFY THE ARCHITECT FROM ALL SUCH AND OTHER DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE ARCHITECT AS A RESULT OF THE CLIENT'S NEGLIGENCE OR MISFEASANCE. THE CLIENT AND ARCHITECT SHALL ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR WORK NOT IN THE SCOPE OF THESE DOCUMENTS.	DANIEL J. PARKER, A.I.A. ARCHITECT 115 Colby Street ~ Bradford, MA 01835 978-373-2446 Architecture ~ Planning ~ Project Development
			SHEET: EXTERIOR ELEVATIONS & SECTIONS		

2" AIR SPACE AROUND MURRAY
 Firestop @ SHEET OF 3 Floor Level
 (16 gaurd)

11763 Re-poured concrete
 (See notes on p. 1033)
 off of (see back)



TEMP.
 TEMP.

not shown
 on floor plan

TEMP.

40
 10

SHEET NO: A-3

DATE: OCT. 13, 2003



TITLE: STACEY RESIDENCE
 PORTLAND, ME
 SHEET: FLOOR PLANS

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE BUILDING DESCRIBED IN THE DOCUMENTS. THE ARCHITECT HAS ATTEMPTED TO ESTABLISH AN ACCURATE SET OF CONSTRUCTION DOCUMENTS FOR THE CONSTRUCTION OF THE BUILDING WITHIN THE CLIENT'S REQUIREMENTS AND LOCAL CODES. IT SHALL BE THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND RESOLVE ANY CONFLICTS OR UNRESOLVED ISSUES BEFORE CONSTRUCTION. THE CLIENT'S FAILURE TO DO SO SHALL BE AT THE CLIENT'S RISK AND SHALL NOT BE A BASIS FOR A CLAIM AGAINST THE ARCHITECT. THE ARCHITECT SHALL HOLD HIMSELF AND HIS FIRM FREE FROM ALL LIABILITY AND OBLIGATION ARISING FROM THE PLANS AND DOCUMENTS RELATED TO THE PROJECT AND OTHER RELATED WORK AS REPRESENTED BY THE ARCHITECT TO THE CLIENT, UNLESS THE CLIENT AND ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR THE CONSTRUCTION OF THE BUILDING AND FIELD OBSERVATION SERVICES DURING CONSTRUCTION.

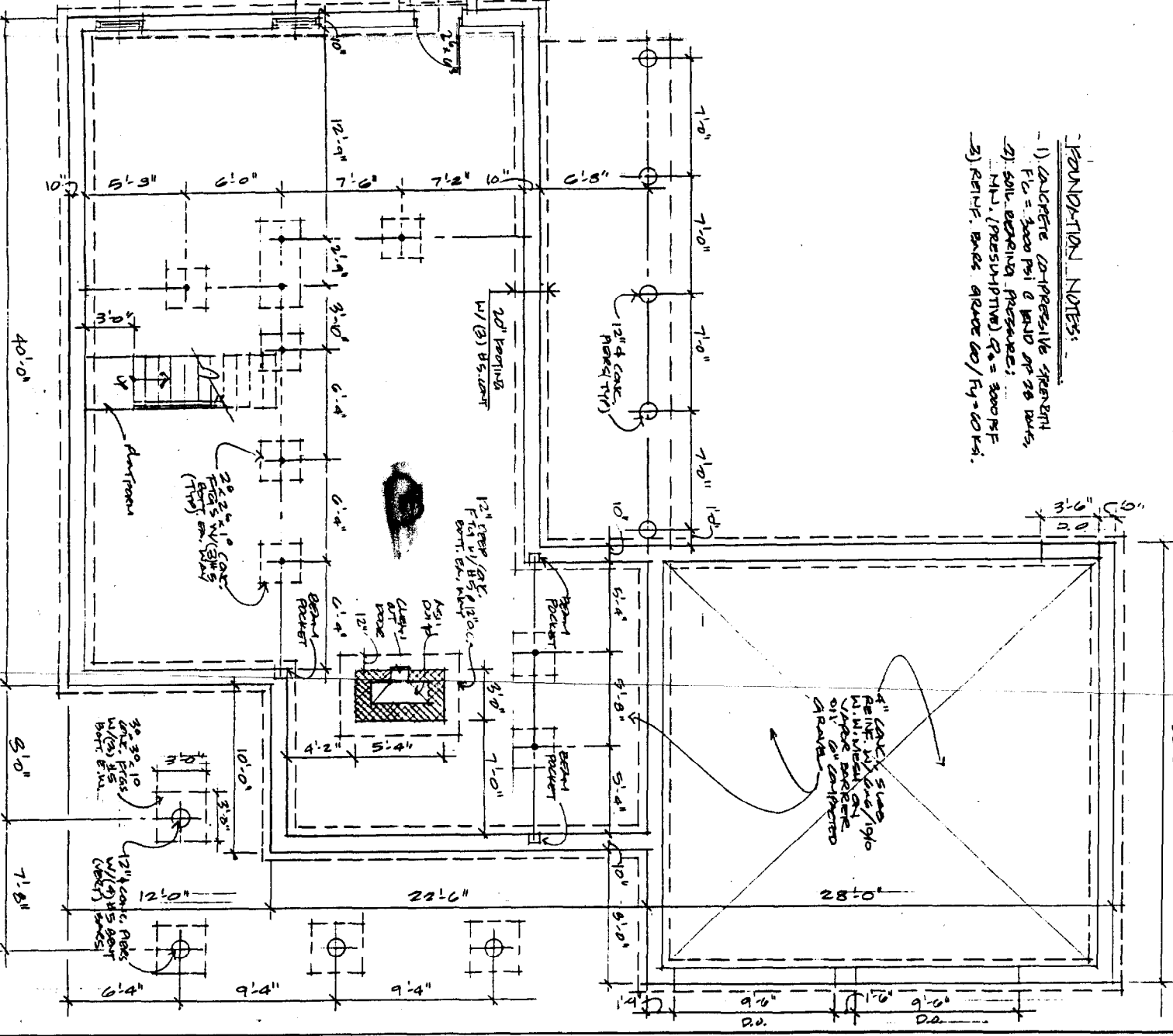
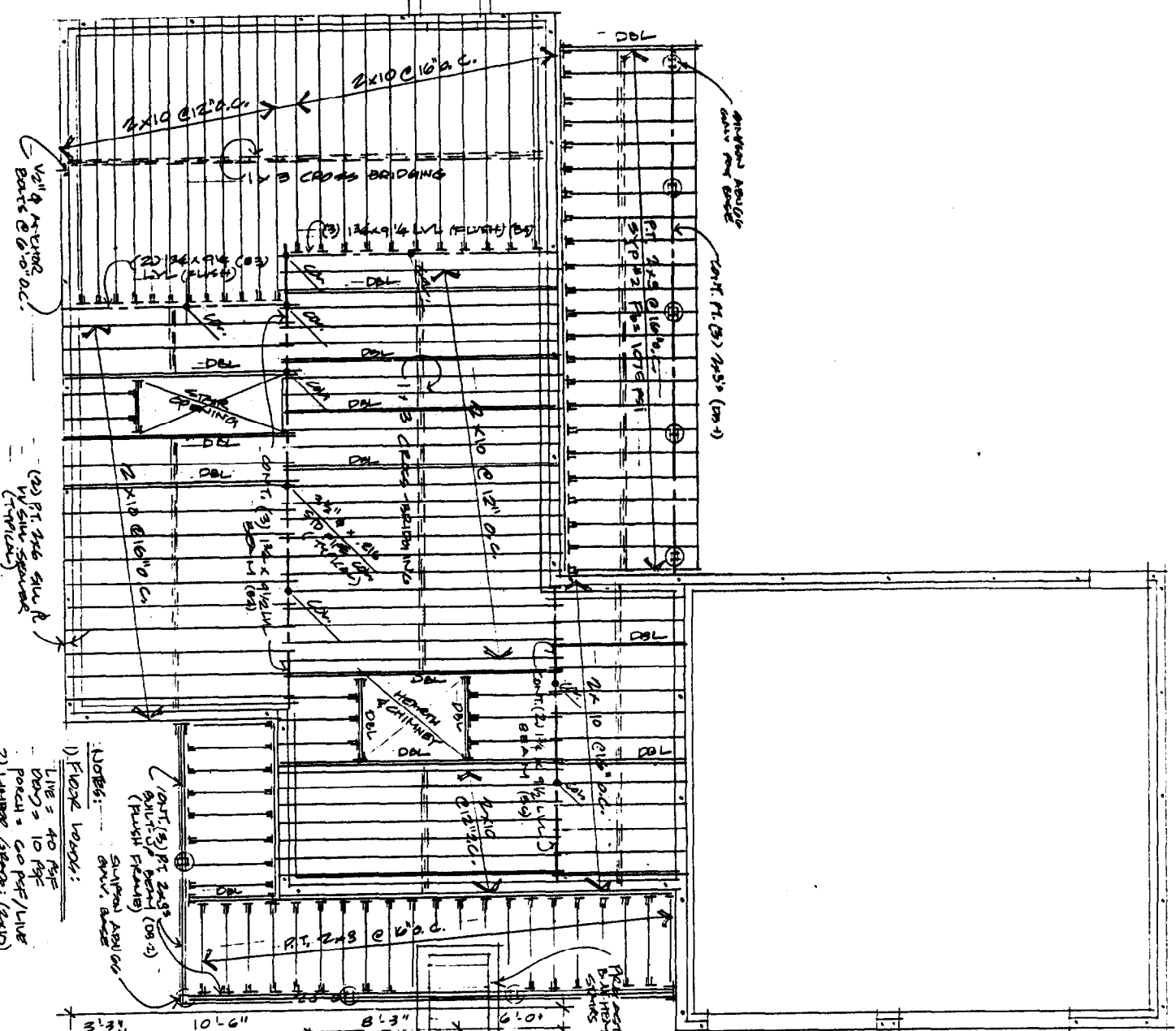
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1ST FLOOR FRAMING PLAN

14'11" = 1'0"

FOUNDATION/BASEMENT PLAN

14'11" = 1'0"



- FOUNDATION NOTES:
- 1) CONCRETE COMPRESSIVE STRENGTH $F_c = 3000$ PSI & BOLD $f_y = 60$ KSI.
 - 2) SOIL-BEARING CAPACITY: $q_u = 3000$ PSF.
 - 3) RET'G. BASES: $q_{ult} = 60$ / $f_y = 60$ KSI.

4" GRC SLAB 150/100
 1" MIN. OVER
 1" ABOVE
 0"1" CONCRETE
 ABOVE

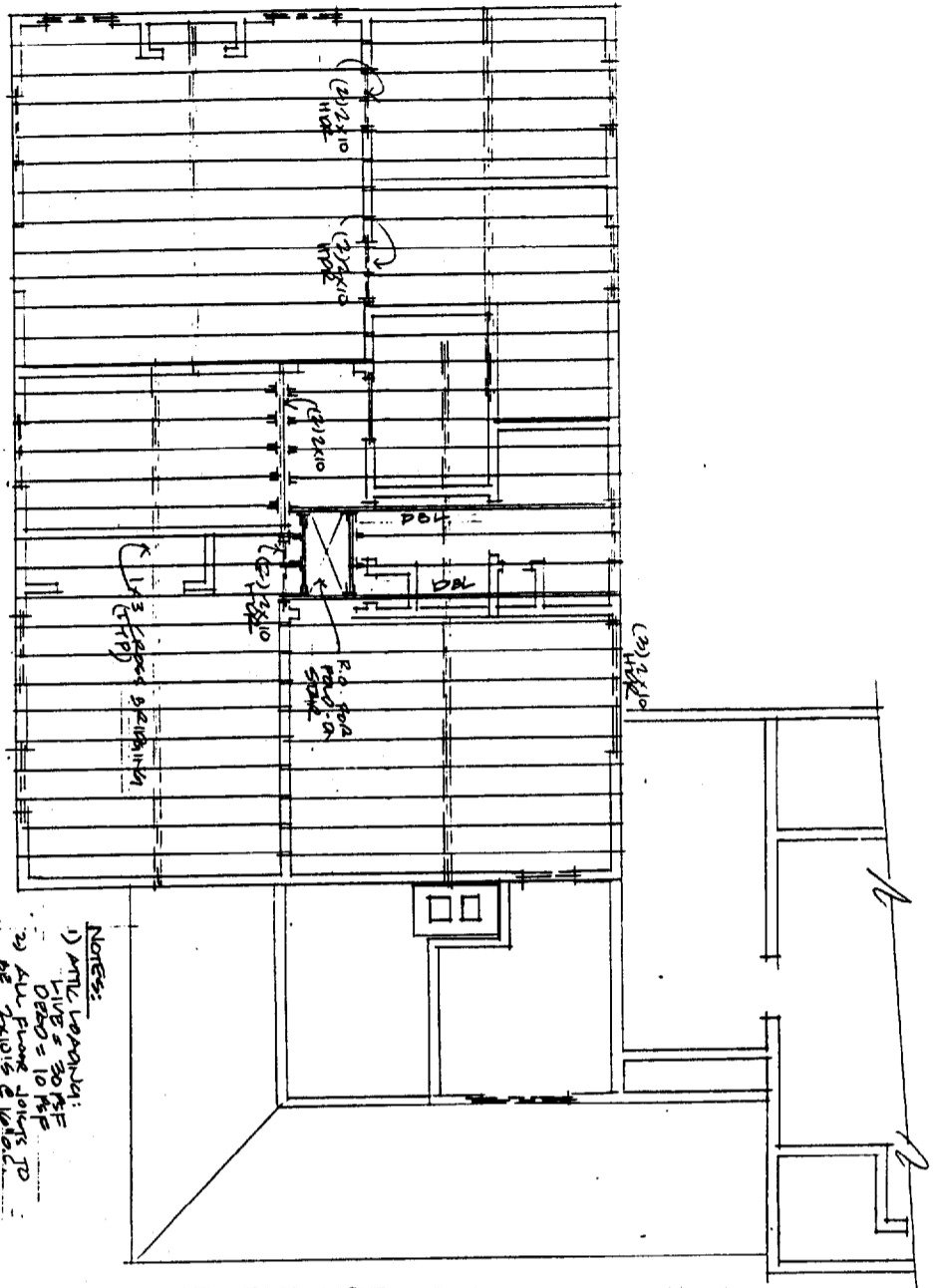
SHEET NO. A-4
 DATE: Oct. 13, 2003
 REGISTERED ARCHITECT
 DANIEL J. PARKER
 No. 10000
 State of Massachusetts

TITLE: STACEY RESIDENCE
 PORTLAND, ME.
 SHEET: FOUNDATION & 1ST FLOOR FRAMING PLANS

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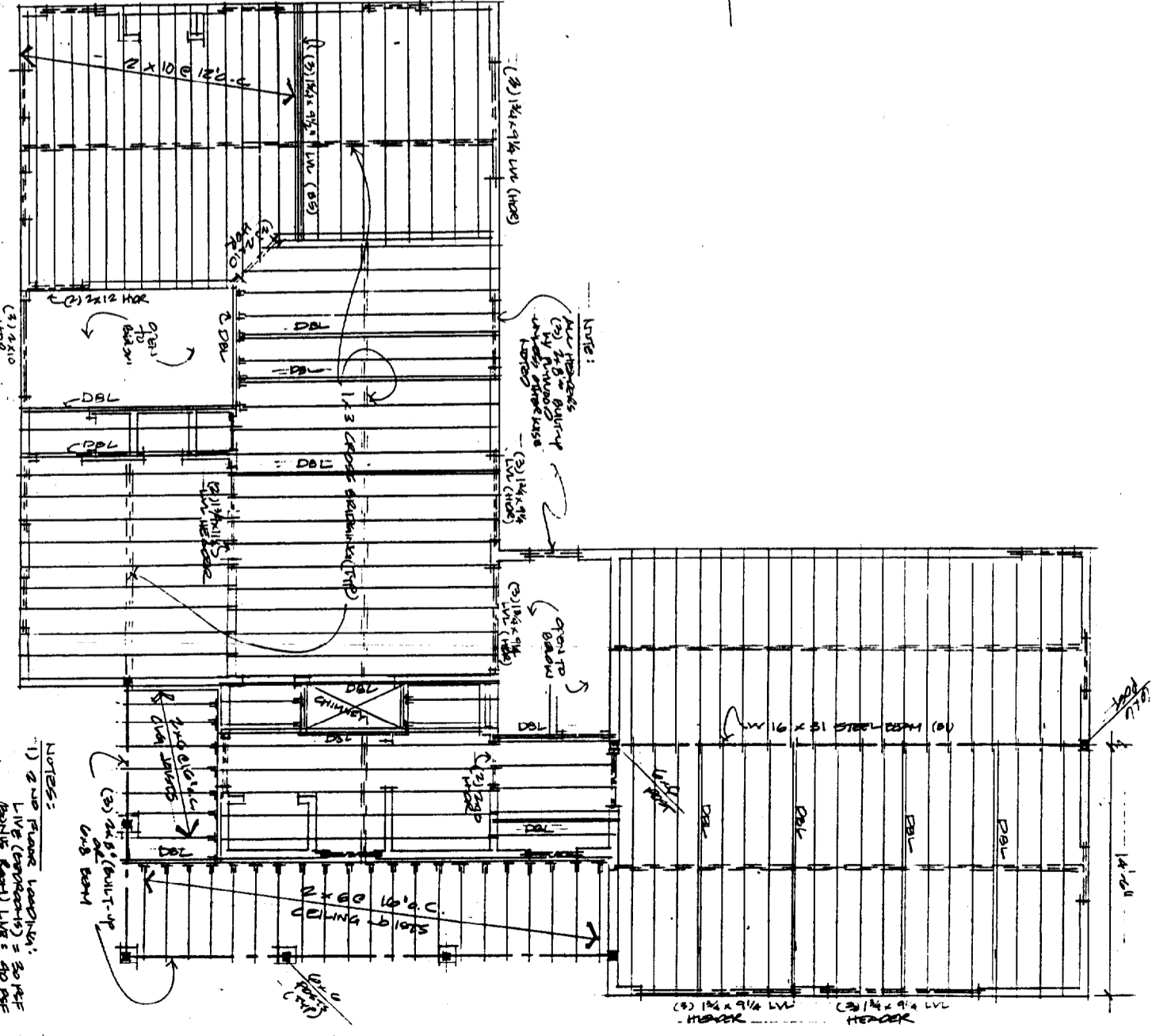
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KITL FLOOR FRAMING PLAN



NOTES:
 1) KITL LAYOUT:
 LIVES = 30 FT
 DEAD = 10 FT
 2) ALL FRAMING JOISTS TO BE
 2x10 SIZED.

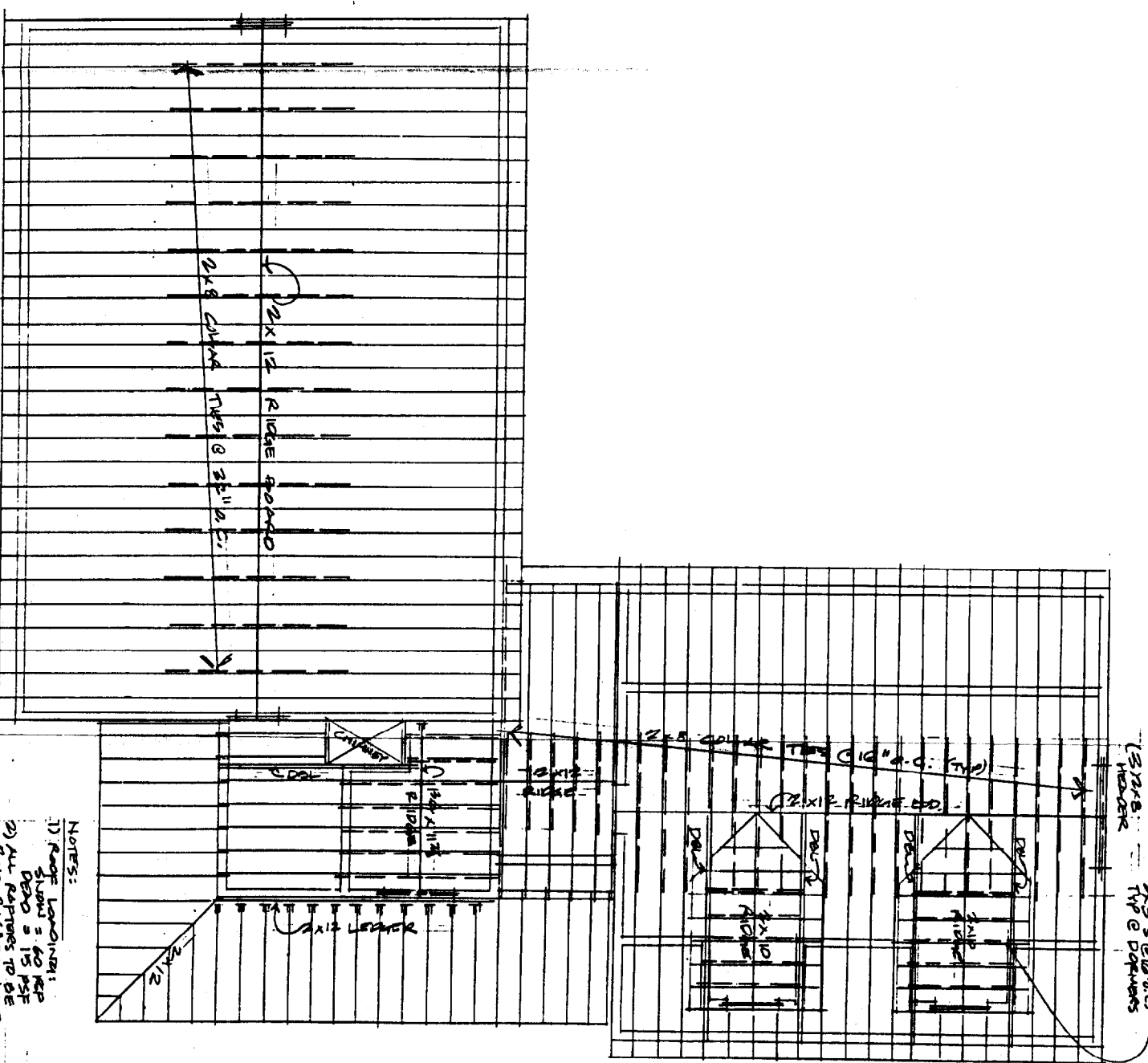
2ND FLOOR FRAMING PLAN



NOTES:
 1) 2ND FLOOR LAYOUT:
 LIVES (CONCRETE) = 30 FT
 DEAD = 10 FT
 2) ALL FRAMING JOISTS TO BE
 2x10'S @ 16\"/>

OF 6 SHEETS A-5	DATE: 05/15, 2005 SHEET NO:		TITLE: STACEY RESIDENCE PORTLAND, ME SHEET: 2ND FLOOR & ATTIC FRAMING PLANS	THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT DESCRIBED IN THE FOREGOING. THE ARCHITECT HAS ATTEMPTED TO ESTABLISH AN ACCURATE SET OF CONSTRUCTION DOCUMENTS FOR THE CONSTRUCTION OF THE BUILDING SHOWN UPON THE CLIENT'S REQUIREMENTS AND LOCAL CODES. IT SHALL BE THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND INSURE THE PROJECT. THE CLIENT SHALL HOLD THE ARCHITECT HARMLESS FROM ALL ERRORS AND OMISSIONS PERTAINING TO THE PLANS AND DOCUMENTS RELATED TO THE PROJECT AND WHICH RELY UPON INFORMATION NOT SHOWN OR REPRESENTED BY THE ARCHITECT. THE CLIENT AND ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND FIELD OBSERVATION SERVICES DURING CONSTRUCTION.	DANIEL J. PARKER, A.I.A. ARCHITECT 115 Colby Street ~ Bradford, MA 01835 978-373-2446 Architecture ~ Planning ~ Project Development
	1) 2ND FLOOR LAYOUT: LIVES (CONCRETE) = 30 FT DEAD = 10 FT 2) ALL FRAMING JOISTS TO BE 2x10'S @ 16" O.C. UNLESS OTHERWISE NOTED (W.A.N.).				

ROOF FRAMING PLAN



NOTES:
 1) ROOF LAYOUT:
 SLOPE = 60 DEG
 DENO = 15 PSF
 ALL RAFTERS TO BE
 2x12 @ 16" O.C. UNLESS
 OTHERWISE NOTED.
 2) LUMBER SPECIES: (S.P.12)
 (S.P.12, Fb = 1150 PSI)
 (S.P.12, Lb = 1150 PSI)
 (S.P.12, Lb = 1150 PSI)

1/4" = 1'-0"

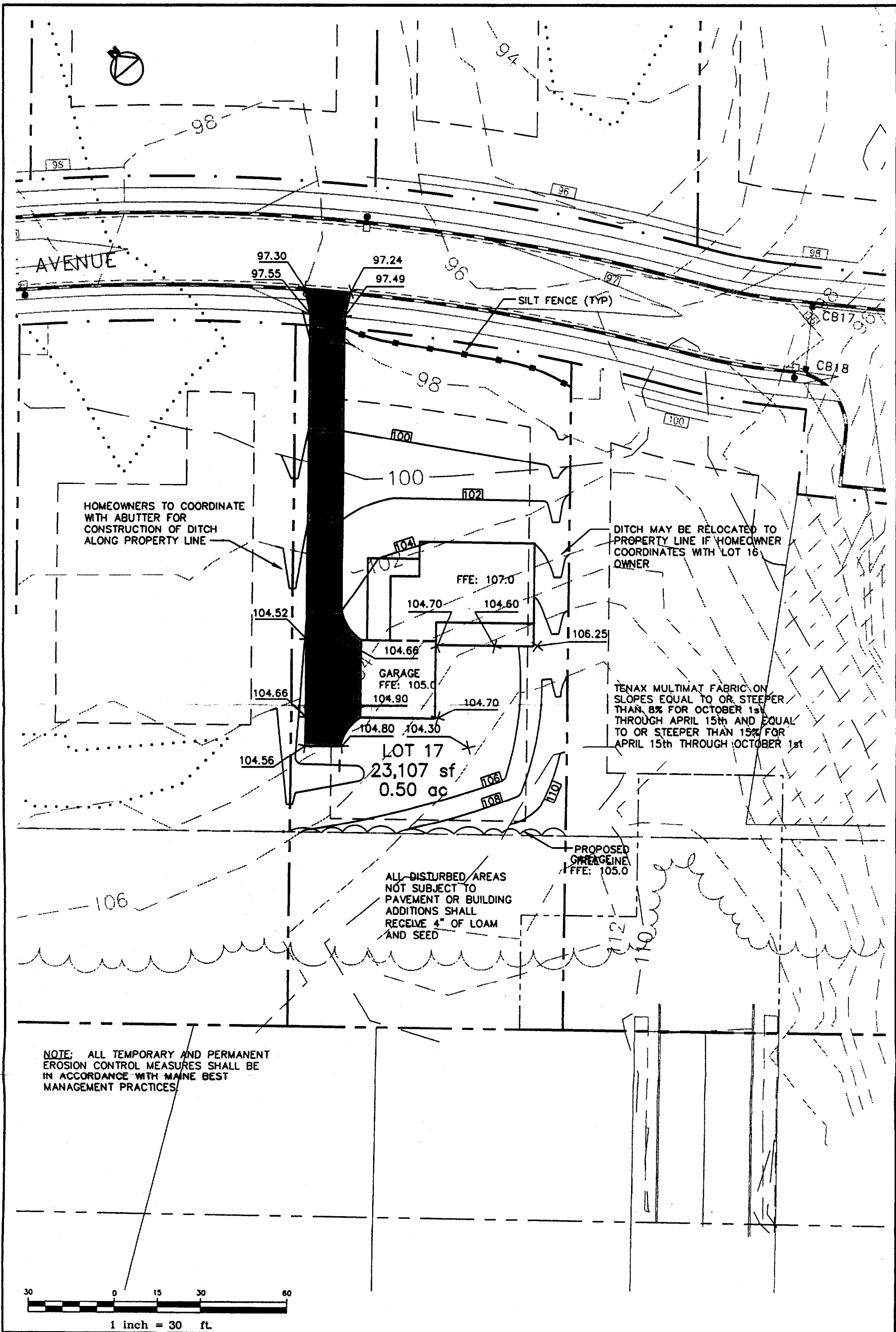
2x8 @ 16" O.C.
 HEADERS
 TRUS @ 24" O.C.

DATE: OCT. 13, 2003
 SHEET NO. A-6
 07 of sheets

TITLE: STACEY RESIDENCE
 PORTLAND, ME.
 SHEET: ROOF FRAMING PLAN

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT HAS ATTEMPTED TO ESTABLISH AN ACCURATE SET OF CONSTRUCTION DOCUMENTS FOR THE CONSTRUCTION OF THE BUILDING SHOWN UPON THE CLIENT'S REQUIREMENTS AND LOCAL CODES. HOWEVER, THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT IS EMPHASIZED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS OR ERRORS IN THESE DOCUMENTS, UNLESS SUCH OMISSIONS OR ERRORS ARE THE RESULT OF NEGLIGENCE OR WILLFUL MISFEASANCE. THE CLIENT SHALL HOLD HARMLESS AND INDEMNIFY THE ARCHITECT FROM ALL CLAIMS AND DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE PROJECT AND RELATED TO THE PLANS AND SPECIFICATIONS ISSUED TO THE CLIENT AND ARCHITECT UNDER THIS AGREEMENT, UNLESS SUCH CLAIMS AND DAMAGES ARE THE RESULT OF THE ARCHITECT'S NEGLIGENCE OR WILLFUL MISFEASANCE.

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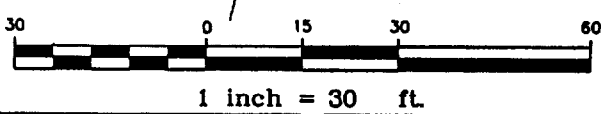
HOMEOWNERS TO COORDINATE WITH ABUTTER FOR CONSTRUCTION OF DITCH ALONG PROPERTY LINE

DITCH MAY BE RELOCATED TO PROPERTY LINE IF HOMEOWNER COORDINATES WITH LOT 16 OWNER

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st

ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING ADDITIONS SHALL RECEIVE 4" OF LOAM AND SEED

NOTE: ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES

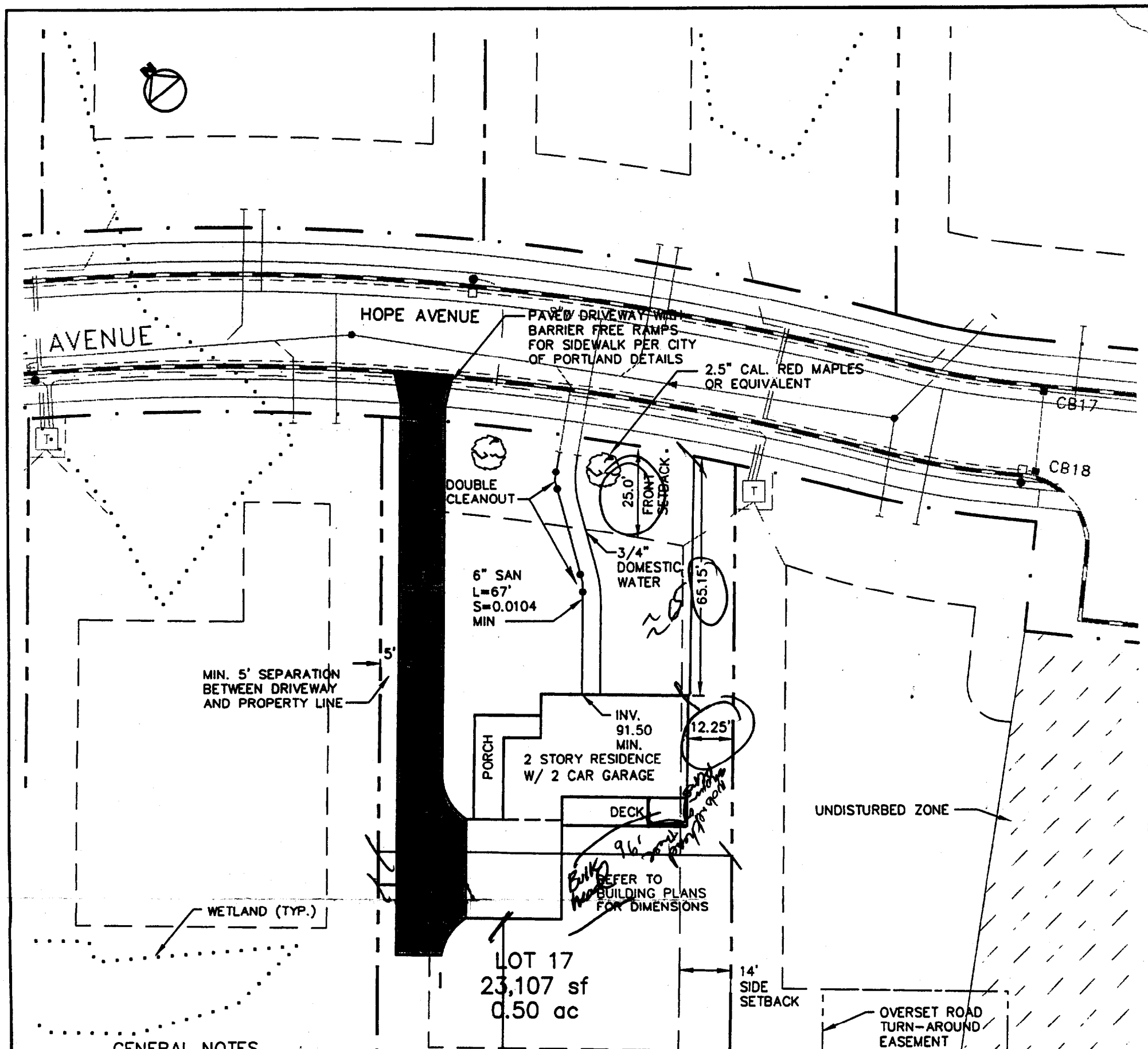


Design: DER	Date: OCT 03
Draft: CAH	Job No.: 879
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

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 Traffic and Civil Engineering Services
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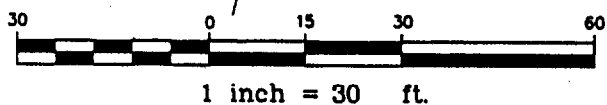
Drawing Name:	Lot 17 Grading Plan
Project:	PRESUMPCOT RIVER PLACE

Figure No.
3



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001. *106' scaled*
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



Design: DER	Date: OCT 03
Draft: CAH	Job No.: 879
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

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Drawing Name:	Lot 17 Site Layout Plan
Project:	PRESUMPCOT RIVER PLACE

Figure No.
2