

Stephen 2003-0068

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0317	Issue Date: MAY 2003	CBL: 392-A-B 7389-G003001
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Location of Construction: A Hope U#13	Owner Name: Smith, Stephen and Andrea	Owner Address: 142 Lane Ave. CITY OF PORTLAND	Phone: 650-9299
Business Name:	Contractor Name: Stephen L. Smith	Contractor Address: 142 Lane Avenue Portland	Phone: 2076509299
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone:

Past Use: vacant land: Presumpscot River Place III, Lot 13 (CBL: 392 A013)	Proposed Use: Single family dwelling: 3,712 s.f dwelling plus two-car attached garage with unfinished space above	Permit Fee: \$1,087.00	Cost of Work: \$152,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB BOCA 1999	

Proposed Project Description: Single family dwelling: 3,712 s.f dwelling plus two-car attached garage with unfinished space above	Signature: _____	Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____	Date: _____	

Permit Taken By: kwd	Date Applied For: 04/14/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: 4/28/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: S
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PERMIT ISSUED
MAY 09 2003
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 6-13-03
 Permit # 2003-4539
 CBL# 392 A01 3001

LOCATION: 208 Hope Ave METER MAKE & # _____
 CMP ACCOUNT # Lot 13 OWNER Steven Smith
 TENANT _____ PHONE # _____

				TOTAL EACH FEE					
OUTLETS	60	Receptacles	30	Switches	6	Smc ¹	96	.20	19.20
FIXTURES	20	Incandescent	5	Fluorescent			25	.20	5.00
SERVICES		Overhead	✓	Undr				15.00	15.00
		Overhead						25.00	
Temporary Service		Overhead						25.00	
METERS	1	(number of)						5.00	
MOTORS		(number of)						1.00	
RESID/COM		Electric units							
HEATING	✓	oil/gas units		Inte				5.00	
APPLIANCES	✓	Ranges	✓	Cook				4.00	
		Insta-Hot		Water				2.00	2.00
	✓	Dryers	✓	Disposa			2	2.00	6.00
		Compactors	✓	Spa			2	2.00	4.00
		Others (denote)						2.00	
MISC. (number of)		Air Cond/win						3.00	
		Air Cond/cent							
		HVAC		EMS				10.00	
		Signs		Thermostat				5.00	
		Alarms/res						10.00	
		Alarms/com						5.00	
		Heavy Duty(CRKT)						15.00	
		Circus/Carnv						2.00	
		Alterations						25.00	
		Fire Repairs						5.00	
		E Lights						15.00	
		E Generators						1.00	
								20.00	
PANELS	✓	Service		Remote	✓	Main	2	4.00	4.00
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
							TOTAL AMOUNT DUE		65.20
							MINIMUM FEE	35.00	
							MINIMUM FEE/COMMERCIAL	45.00	

Handwritten notes:
 199 Hope
 392 A019
 208 Hope
 392-A-013

CONTRACTORS NAME Warren macdonald MASTER LIC. # MS60019059
 ADDRESS 118 Sandy hill rd So. Port LIMITED LIC. # _____
 TELEPHONE 450-7888

SIGNATURE OF CONTRACTOR Warren macdonald

White Copy - Office • Yellow Copy - Applicant

Handwritten note:
 OWS 20
 \$30

PLUMBING APPLICATION

Department of Human Sciences
Division of Health Engineering

PROPERTY ADDRESS

Town or Plantation: Portland
Street Subdivision Lot #: 208 Hope Ave Lot #13

Portland 20038331
Muland City
1608

PORTLAND
Date Permit Issued: 9/24/03 \$ 112101010 Double Fee Charged
Muland City Local Plumbing Inspector Signature L.P.I. # 76108

390 A.O.B.

PROPERTY OWNERS NAME

Last: Smith First: Steve

Applicant Name: Eric Halse

Mailing Address of Owner/Applicant (If Different): 63 Ocean Hwy Rd Cape Elizabeth ME

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Eric Halse 9-23-03
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application is for	Type of Structure To Be Served:	Plumbing To Be Installed By:
	1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. <input checked="" type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	2	Hosebibb / Sillcock	2	Bathtub (and Shower)
	0	Floor Drain	1	Shower (Separate)
	0	Urinal	7	Sink
	0	Drinking Fountain	2	Wash Basin
	0	Indirect Waste	4	Water Closet (Toilet)
	0	Water Treatment Softener, Filter, etc.	1	Clothes Washer
	0	Grease / Oil Separator	1	Dish Washer
	0	Dental Cuspidor	1	Garbage Disposal
	0	Bidet	0	Laundry Tub
	0	Other: _____	0	Water Heater
<input type="checkbox"/> TRANSFER FEE (\$6.00)	2	Fixtures (Subtotal) Column 2	17	Fixtures (Subtotal) Column 1
			0.2	Fixtures (Subtotal) Column 2
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			19	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

120
130
130

INSTALLATION STANDARDS

The 1996 Edition of NFPA #211 contains provisions for chimney, fireplaces, venting systems, and solid fuel burning appliances including their installations. The standards applies to residential as well as commercial and industrial installations.

PLEASE CHECK THE TYPE OF CONSTRUCTION TO BE BUILT:

Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and installed in accordance with the temperature conditions of the listing, the manufacturer's instructions and all applicable sections of NFPA #211.

Factory-Built Fireplaces.

Factory-built fireplaces shall be listed and shall be installed in accordance with the terms of the listing. Hearth extensions shall be provided in accordance with the manufacturer's instructions or shall be of masonry on non combustible construction in accordance with applicable sections of NFPA #211.

Unlisted Metal Chimney (smokestacks) for Non Residential Applications.

Single wall metal chimneys or unlisted metal chimneys shall not be used inside or outside of one and two family dwellings. Metal chimneys shall be constructed and installed in accordance with the appropriate sections of NFPA #211

Masonry Chimney.

Masonry chimneys shall be constructed by appropriate sections of NFPA #211 for proper design, support, re-enforced, and installation..

Masonry Fireplace.

Masonry fireplaces shall comply with all requirements of NFPA #211 and all other pertinent sections.

CONSUMER CHECKLIST

1. Has the installer provided you with a written contract? 10 M.R.S.A., Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
2. Have you asked the local fire department or code enforcement officials to inspect the installation during and after construction?
3. Is the installer familiar with current NFPA #211 standards and does he have a copy of same?
4. Have you asked for references to be provided by the installer?

STATE OF MAINE
CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION
DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, §2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please to note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year from improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

INSTALLER INFORMATION

Name of Installer FRANK Di DONATO
D.B.A. F. Di DONATO & SON'S MASONRY
Name of Installer (if incorporated) _____
D.B.A. _____
Legal Address 87 SKYLARK Rd PORTLAND, ME
(Street and No.) (City or Town)
MAINE CUMBERLAND 04103
(State) (County) (Zip Code)
Home Telephone 207 1797 13098 Business Telephone SAME 1
Years of experience doing fireplace or chimney installations 50

CONSUMER IDENTIFICATION

Consumer's Name Steve Smith
Mailing Address _____
(Street and No.) (City or Town)

(State) (County) (Zip Code)
Home Telephone 1 1 Business Telephone 1 1

Installer, please give a brief description of installation being offered.

ALL MASONRY fireplace & chimney, using firebrick in fire
box w/ heatstop Refractory cement, clay flue liners, clay brick
AND concrete block.

I, Frank DiDonato, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, and the Oil and Solid Fuel Board Rules.

Signature Frank DiDonato Date 3-2-04

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Steve Smith
Signature of applicant/designee

5/9/03
Date

[Signature]
Signature of Inspections Official

5/9/03
Date

CBL: 392-A-13 Building Permit #: 03-0517

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0317	Date Applied For: 03/31/2003	CBL: 392 a013
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Location of Construction: 0 Hope Ave (lot#13)	Owner Name: Smith, Stephen and Andrea	Owner Address: 142 Lane Ave.	Phone: () 650-9299
Business Name:	Contractor Name: Stephen L. Smith	Contractor Address: 142 Lane Avenue Portland	Phone: (207) 650-9299
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single family dwelling: 3,712 s.f dwelling plus two-car attached garage with unfinished space above	Proposed Project Description: Single family dwelling: 3,712 s.f dwelling plus two-car attached garage with unfinished space above
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/28/2003
Note: **Ok to Issue:**

- 1) No certificate of occupancy shall be issued for any house lot in the subdivision until the base pavement has been completed along the entire length of Hope Avenue in Portland as well as Falmouth.
- 2) "No" parking" street signs shall be installed along the subdivision roadways PRIOR to the issuance of the first house lot certificate of occupancy (whether permanent or temporary) for this subdivision.
- 3) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveway.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 05/08/2003
Note: **Ok to Issue:**

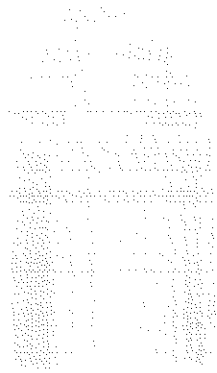
Comments:
4/14/03-kwd: new CBL not in system yet, caused delay in processing.
4/30/03-tmm: plans missing a lot of info - left message w/owner.
5/1/03-tmm: faxed plan review sheets to Steve Smith and spoke w/him about requirements.
4/29/03-mjn: New Site plan delivered by applicant, sent to Tammy & Jay Reynolds
5/7/03-tmm: rec'd new plans - still missing a few items - will go over w/Steve Smith when picking up permit - ok to issue.

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716

650-9299
cell



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Steve Smith</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>874-8410</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: _____
DATE: _____	_____

Comments:

392-A-13 Lot 13 Presumpscot River

874-8410
Fax #

Permit # 03-0317 Stephen Smith 797-9364

Soil type/Presumptive Load Value (Table 401.4.1)	Plan Reviewer	Inspection/Date/Findings
Component		
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK	OK
Foundation Drainage Dampproofing (Section 406)	Not shown	OK 5/5
Ventilation (Section 409.1) Crawls Space ONLY	OK	OK
Anchor/Bolts/Straps (Section 403.1.4)	NOT SHOWN	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	Spacing not shown footing size not shown	Footing size ϕ 30" x 50"
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	Inadequate in some areas	OK - 1 span over
Sill/Band Joist Type & Dimesions First Floor Joist Species	NOT SHOWN	" 2x8 PT
Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12" - OK	OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x12" - OK	OK

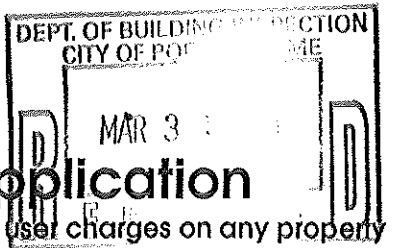
Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8-16'OC OK	OK
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	Need to be 2x12's	OK - 2x12 shown
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	OK
Fastener Schedule (Table 602.3(1) & (2))	NOT SHOWN	OK- BOCA schedule
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)	YES	
Fire separation	→ Not shown	OK 5/5 studs
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	Not shown	OK 5/5 Shows
Egress Windows (Section 310)	Not shown	OK shown
Roof Covering (Chapter 9)	OK	OK
Safety Glazing (Section 308)	Not shown	OK 4/5
Attic Access (BOCA 1211.1)	Not shown	OK
Draft Stopping around chimney	Not shown	OK

Header Schedule	Not shown	OK - SFS
Type of Heating System	Not shown	OK
Stairs		
Number of Stairways	5	
Interior	5	} OK
Exterior	Not shown	
Treads and Risers (Section 314)	OK	
Width	Not shown	
Headroom	OK	
Guardrails and Handrails (Section 315)	OK	
Smoke Detectors Location and type/Interconnected	Not shown	OK
Plan Reviewer Signature		

See Chimney Summary Checklist

All of the decks framing Not shown - OK

03-0317 ~~03-0292~~



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Hope Avenue / Curtis Rd.

Location/Address of Construction: <i>Presumpscof River Place Phase III Lot #13</i>		
Total Square Footage of Proposed Structure <i>3113</i>	Square Footage of Lot <i>28,001 sq ft</i>	
Tax Assessor's Chart, Block & Lot Chart# <i>392</i> Block# <i>A 013</i> Lot# <i>13</i>	Owner: <i>Stephen L. and Andreal Smith</i>	Telephone: <i>797-9364</i>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <i>Stephen L. Smith 142 Lane Ave. Portland 797-9364 / 650-9299</i>	Cost Of Work: \$ <i>152,000</i> Fee: \$ <i>1087.00</i>
Current use: <i>New lot</i>	<i>Site</i>	<i>300.00</i>
If the location is currently vacant, what was prior use:	<i>Garage</i>	<i>75.00</i>
Approximately how long has it been vacant:		<i>\$ 1462.00</i>
Proposed use: <i>Residential - single family home</i>	Project description:	
Contractor's name, address & telephone: <i>Stephen L. Smith 142 Lane Ave. Portland, ME 04103 797-9364</i>		
Who should we contact when the permit is ready: <i>Steve Smith 650-9299 / 797-9364</i>		
Mailing address: <i>142 Lane Ave. Portland, ME 04103</i>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <i>650-9299 / 797-9364</i>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Stephen L. Smith* Date: *3-5-03*

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 04/28/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) No certificate of occupancy shall be issued for any house lot in the subdivision until the base pavement has been completed along the entire length of Hope Avenue in Portland as well as Falmouth.</p> <p>2) "No" parking" street signs shall be installed along the subdivision roadways PRIOR to the issuance of the first house lot certificate of occupancy (whether permanent or temporary) for this subdivision.</p> <p>3) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveway.</p> <p>4) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		

Comments:
04/14/2003-kwd: new CBL not in system yet, caused delay in processing.

Applicant: Stephen Smith Date: 4/28/04
Address: Hope (lot #13 Presumpscot River Place) C-B-L: ~~389-6-003~~
CHECK-LIST AGAINST ZONING ORDINANCE 392-A-13

Date - New development permit # 03-0307

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct new single family

Sewage Disposal - City

Lot Street Frontage - 50' req. \approx 120' shown

Front Yard - 25' req - 74' given

Rear Yard - 25' req - 98' scaled

Side Yard - 14' req - 18.5' & 20.5' shown

Projections - 6x7.5' rear bulkhead - Right side chimney - deck along rear right
2 story front entry 4.75' x 7.5'

Width of Lot - 80' req - 120' scaled

Height - 35' MAX - 32' to absolute lowest point, Average grade would make it less -

Lot Area - 10,000^{sq ft} min - 28,001^{sq ft} shown

Lot Coverage/ Impervious Surface - 20% MAX \approx 5600.2^{sq ft} MAX

Area per Family - 10,000^{sq ft}

Off-street Parking - 2 required - 2 shown

Loading Bays - N/A

Site Plan - minor # 2003-0068

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 zone X

includes Deck
 $44 \times 79 = 3476$
 $3/4 \times 374 = 2805$
 ~~44×48~~
 $4.75 \times 7.5 = 35.625$
 $6 \times 7.5 = 45$
 3556.625


SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JAN 2003
Draft: SGB	Job No.: 712
Checked: AMP	Scale: NTS
File Name: 712-sp.dwg	

 Traffic and Civil Engineering Services
PO Box 1237, 15 Shaker Road Groy, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements
Project: PRESUMPSCOT RIVER PLACE

Figure No. 1

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2003-0068
Application I. D. Number

03/31/2003
Application Date

Lot #13, Presumpscot River Place 3
Project Name/Description

Smith Stephen and Andrea
Applicant
142 Lane Ave, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 650-9299 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

13 - 13 Hope Ave, Portland, Maine
Address of Proposed Site
389 G003001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3,712 s.f. 28,001 s.f.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer Jay Reynolds

- Approved Approved w/Conditions See Attached Denied

Approval Date 04/28/2003 Approval Expiration 04/28/2004 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds signature 04/28/2003 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature _____

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0068
Application I. D. Number

Smith Stephen and Andrea
Applicant

03/31/2003
Application Date

142 Lane Ave, Portland, ME 04103
Applicant's Mailing Address

Lot #13, Presumpscot River Place 3
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 650-9299 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

13 - 13 Hope Ave, Portland, Maine
Address of Proposed Site
389 G003001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 PER SUBDIVISION APPROVAL, NO CERTIFICATE OF OCCUPANCY WILL BE GRANTED UNTIL THE BASE PAVEMENT HAS BEEN INSTALLED ON HOPE AVENUE.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address HAS NOT BEEN ESTABLISHED TO DATE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Inspections,

Revised GRADING Plan for

Lot 13, Hope Ave.

2003-0068

3896003

Charge,

Revised Grading Plan for
Lot 13 Hope Ave.

2003-0068

3896003

Jay

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Falmouth, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

STEPHEN L. SMITH and ANDREA L. SMITH, whose mailing address is 142 Lane Avenue, Portland, Maine 04103, as JOINT TENANTS

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 13 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.

2. Rights and easements granted to Central Maine Power Company in instruments dated February 10, 1954 and recorded at said Registry of Deeds in Book 2167, Pages 432 and 435, subject to restrictions set forth therein.
3. Rights and easements granted to Portland Water District in an instrument dated December 30, 1955 and recorded at said Registry of Deeds in Book 2267, Page 257.
4. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
5. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
6. A ten (10) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650.
7. A thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650.
8. An easement deed from Goldeneye Corp. to the City of Portland of recent date herewith, to be recorded at said Registry of Deeds.
9. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 94 together with the requirement that all future conveyances shall include reference to this permit.
10. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by _____, its _____ thereunto duly authorized this 13th day of November, 2002.

GOLDENEYE CORP.

By: [Signature]
Its Trans.

STATE OF MAINE
CUMBERLAND, SS. _____, 2002

Then personally appeared the above-named _____ of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,
[Signature] NOV 13 2002
Attorney at Law/Notary Public

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 6, 2008

From: Karen Dunfey
To: Don Hall; Gayle Guertin; James Robbins; Jay Rey...
Date: Mon, Apr 14, 2003 12:48 PM
Subject: Presumpscot River Place III

Hi All,

We are in receipt of an application to build a single-family dwelling on Lot #13 of Presumpscot River Place III, which has been assigned a CBL, but that assigned CBL is not yet in the Assessor's database, nor is it in Urban Insight. After discussing this with several folks here in this office, it has been decided to begin to process the application under the previous lead CBL for the parcel, which is 389 G003001, listed as being owned by Robert Adam and AJS Family Partnership, property address "Curtis Rd".

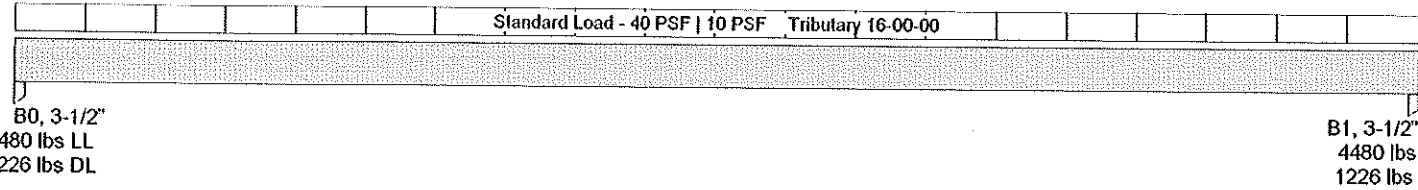
Please note that while I could change the owner in the Building Permit section of Urban Insight, I could not change it under the Design Review section, so that when those of you who receive the Minor Site Plan documents receive them, the owner's name will be under Robert Adam, not Stephen and Andrea Smith, which is correct. When the Assessor's database, and Urban Insight, is updated to include the new CBLs, I will change over the CBLs on the applications to the new, correct one. If you have any questions, please feel free to give me a call at x8701. Thanks!!!

Karen Dunfey
Inspection Services
874-8701

Single 5 1/4" x 11 1/4" VERSA-LAM® 2800 DF

Job Name - Steve Smith
 Address -
 City, State, Zip -
 Customer -
 Code reports - NER 442

File Name - BC CALC Project : FB01
 Description -
 Specifier -
 Designer - Manfred Brause
 Company - Hancock Lumber
 Misc - KITCHEN CEILING - RAFTER BEAM



Total Horizontal Length - 14-00-00

General Data

Version: US Imperial

Member Type: - Floor Beam
 Number of Spans: - 1
 Left Cantilever: - No
 Right Cantilever: - No

Slope: 0/12
 Tributary: 16-00-00
 Repetitive: n/a
 Construction Type: n/a

Live Load: 40 PSF
 Dead Load: 10 PSF
 Part Load: 0 PSF
 Duration: 115

Load Summary

ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
S	Standard	Unf.Area Load	Left	00-00-00	14-00-00	40 PSF	10 PSF	16-00-00	115

Controls Summary

Control Type	Value	% Allowable	Duration	Loadcase	Span Location
Moment	19972 ft-lbs	66.7%	@ 115%	2	1 - Internal
End Shear	4942 lbs	38.3%	@ 115%	2	1 - Left
Total Deflection	L/297 (0.566")	80.8%		2	1
Live Deflection	L/378 (0.444")	95.1%		2	1
Max. Defl.	0.566" (Limit: 1")	56.6%		2	1
Span/Depth	14.9				1

Bearing Supports

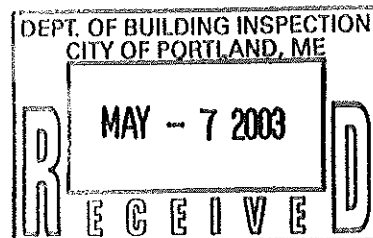
Name	Type	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Post	3-1/2" x 3-1/2"	5706 lbs	64.3%	51.8%	Spruce-Pine-Fir
B1	Post	3-1/2" x 3-1/2"	5706 lbs	64.3%	51.8%	Spruce-Pine-Fir

Disclosure
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

CAUTIONS:
 Member is not fully supported at post B0. A connector is required at this bearing.
 Member is not fully supported at post B1. A connector is required at this bearing.

NOTES:
 Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are registered trademarks of Boise Cascade Corporation.



Steve Smith
Garage

Date: 5/06/03 BeamChek 2.2

Choice W 16x 45 A36 Wide Flange Steel **Lateral Support at: Lc = 7.4 ft max.**

Conditions Actual Size is 7 x 16-1/8 in.,
Min Bearing Length R1= 1.3 in. R2= 1.3 in. DL Defl 0.14 in Suggested Camber 0.21 in

Data

Beam Span	23.0 ft	Reaction 1	12221 #	Reaction 1 LL	8846 #
Beam Wt per ft	45.0 #	Reaction 2	11006 #	Reaction 2 LL	7919 #
Beam Weight	1035 #	Maximum V	12221 #		
Max Moment	91993 #'	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 533		
LL Max Defl	L / 360	LL Actual Defl	L / 726		

Attributes

	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	72.70	5.56	0.52	0.38
Critical	46.46	0.85	1.15	0.77
Status	OK	OK	OK	OK
Ratio	64%	15%	45%	50%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

Adjustments

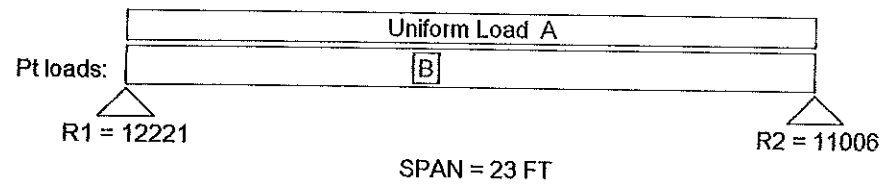
YP Factor, Lc	0.66	0.40
---------------	------	------

At Point Loads : Provide these minimum bearing lengths in inches or provide web stiffeners.
B = 1.3

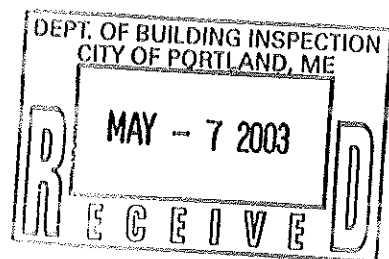
BeamChek has automatically added the beam self-weight into the calculations.

Loads

	Uniform TL: 560 = A	Uniform LL: 420
Point LL	Point TL	Distance
7105	B = 9312	10.0



Uniform and partial uniform loads are lbs per lineal ft.

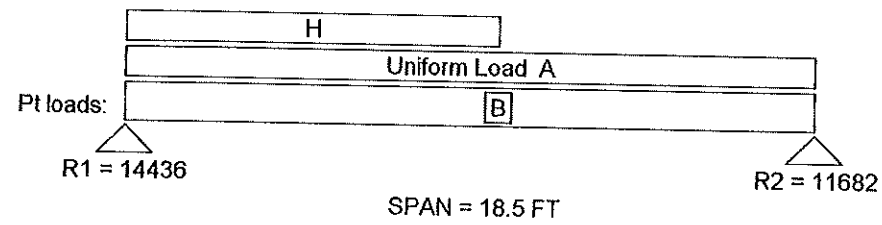


STEVE SMITH
KITCHEN CEILING

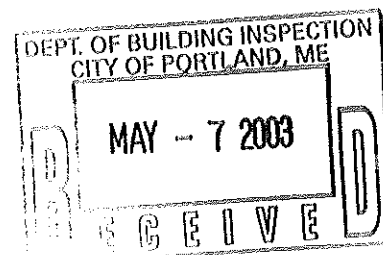
Date: 5/07/03 BeamChek 2.2

<u>Choice</u>	W 12x 45 A36 Wide Flange Steel				Lateral Support at: Lc = 8.5 ft max.	
<u>Conditions</u>	Actual Size is 8 x 12 in.,					
	Min Bearing Length	R1= 1.3 in.	R2= 1.3 in.	DL Defl	0.13 in	Suggested Camber 0.19 in
<u>Data</u>	Beam Span	18.5 ft	Reaction 1	14436 #	Reaction 1 LL	10307 #
	Beam Wt per ft	45.0 #	Reaction 2	11682 #	Reaction 2 LL	8098 #
	Beam Weight	833 #	Maximum V	14436 #		
	Max Moment	73121 #	Max V (Reduced)	N/A		
	TL Max Defl	L / 240	TL Actual Defl	L / 494		
	LL Max Defl	L / 360	LL Actual Defl	L / 687		
<u>Attributes</u>	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl		
Actual	58.10	4.04	0.45	0.32		
Critical	36.93	1.00	0.93	0.62		
Status	OK	OK	OK	OK		
Ratio	64%	25%	49%	52%		
<u>Values</u>		Fb (psi)	Fv (psi)	E (psi x mil)		
	Base Value Fy	36000	36000	29.0		
	Base Adjusted	23760	14400	29.0		
<u>Adjustments</u>	YP Factor, Lc	0.66	0.40			
At Point Loads : Provide these minimum bearing lengths in inches or provide web stiffeners. B = 1.3						
BeamChek has automatically added the beam self-weight into the calculations.						

<u>Loads</u>	Uniform TL:	680 = A	Uniform LL:	450		
Point LL	Point TL	Distance	Par Unif LL	Par Unif TL	Start	End
4480	B = 5706	10.0	560	H = 700	0	10.0



Uniform and partial uniform loads are lbs per lineal ft.



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2003-0068
Application I. D. Number
3/31/2003
Application Date
Lot #13, Presumpscot River Place 3
Project Name/Description

Smith Stephen and Andrea
Applicant
142 Lane Ave, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 650-9299 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

13 - 13 Hope Ave, Portland, Maine
Address of Proposed Site
389 G003001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

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- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

From: Karen Dunfey
To: Don Hall; Gayle Guertin; James Robbins; Jay Rey...
Date: Mon, Apr 14, 2003 12:48 PM
Subject: Presumpscot River Place III

Hi All,

We are in receipt of an application to build a single-family dwelling on Lot #13 of Presumpscot River Place III, which has been assigned a CBL, but that assigned CBL is not yet in the Assessor's database, nor is it in Urban Insight. After discussing this with several folks here in this office, it has been decided to begin to process the application under the previous lead CBL for the parcel, which is 389 G003001, listed as being owned by Robert Adam and AJS Family Partnership, property address "Curtis Rd".

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Karen Dunfey
Inspection Services
874-8701

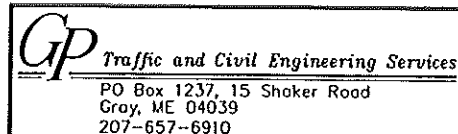
SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JAN 2003
Draft: SGB	Job No.: 712
Checked: AMP	Scale: NTS
File Name: 712-sp.dwg	



Drawing Name: Space & Bulk Requirements
Project: PRESUMPCOT RIVER PLACE

Figure No.

1



02/22/03
 5/16"=1'
 JCT
 CL3279A1

HANCOCK LUMBER

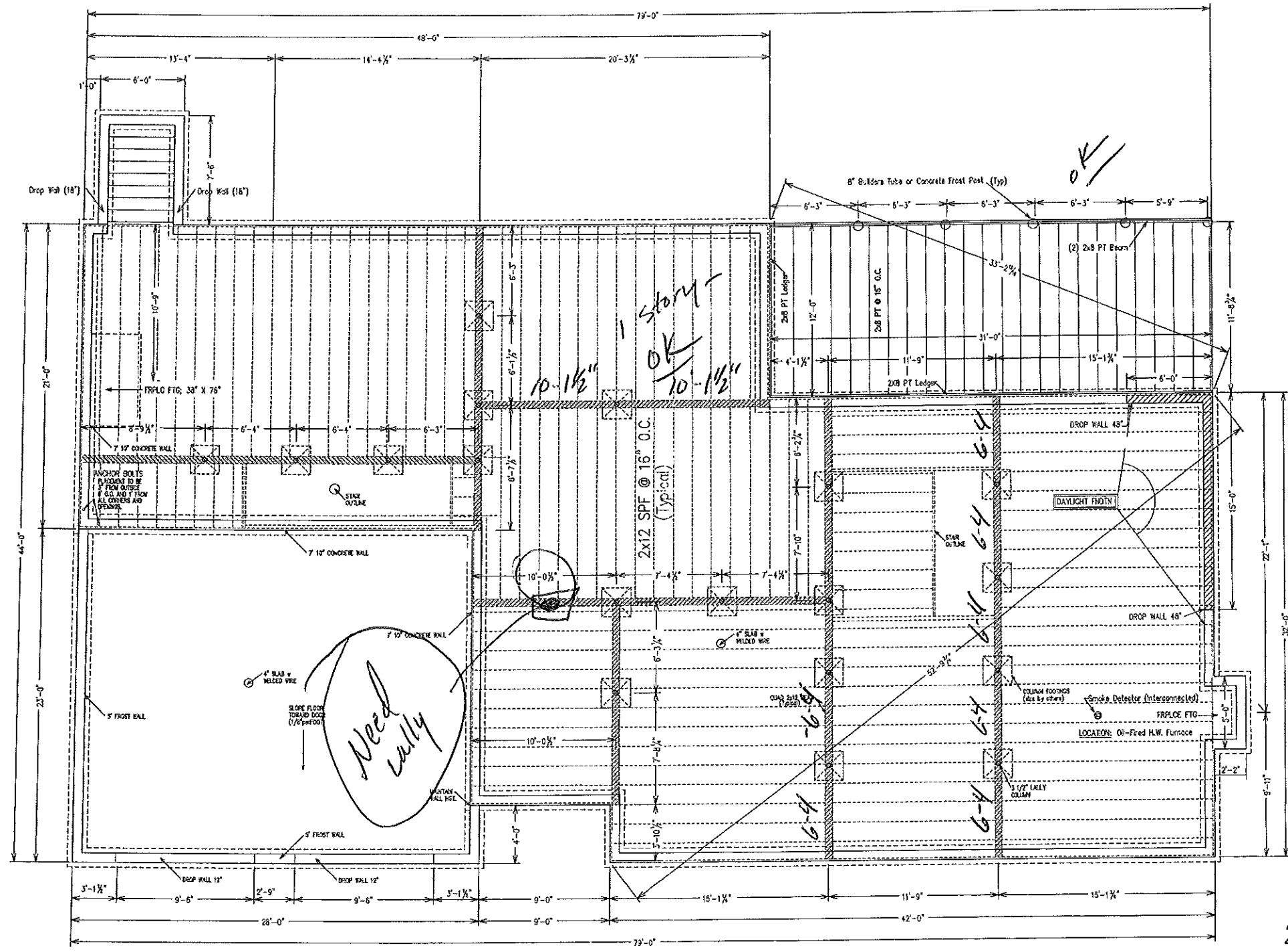
REVISIONS: 6/23/02, 2/22/03
 REVISIONS:

HANCOCK LUMBER DRAFTING SOLUTIONS
 COLONIAL for STEVE & ANDREA SMITH
 PRESUMPCOT RIVER PLACE (III) PORTLAND, ME.

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAY - 7 2003
 RECEIVED

DO NOT SCALE PRINTS
 THESE DOCUMENTS HAVE BEEN PREPARED BY AN ARCHITECTURAL DRAFTSMAN. THEY HAVE NOT BEEN REVIEWED BY AN ARCHITECT OR ENGINEER. THEREFORE, THE DRAFTSMAN ASSUMES NO RESPONSIBILITY FOR ANY DESIGN OR ENGINEERING. ALL DIMENSIONS, CODE COMPLIANCE AND SPECIFICATIONS SHOULD BE REVIEWED BY THE OWNER AND CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.

1/5



*2x12-16" OC
 19-11" span*

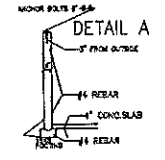
*1 story
 OK
 10-1 1/2"*

*Need
 wally*

*2x6 PT sill
 30"x30" Posts*

7'-10" x 8" CONCRETE WALL
 POURED BASEMENT SLAB 4" THICK
 ALL CONC. TO BE 3000 PSI
 SEE DETAIL FOR REBAR PLACEMENT
 IN WALLS AND FOOTINGS

NOTE:
 INCLUDE (2)
 TW28210 WINDOWS
 TO BE INSTALLED
 IN DAYLIGHT WALL

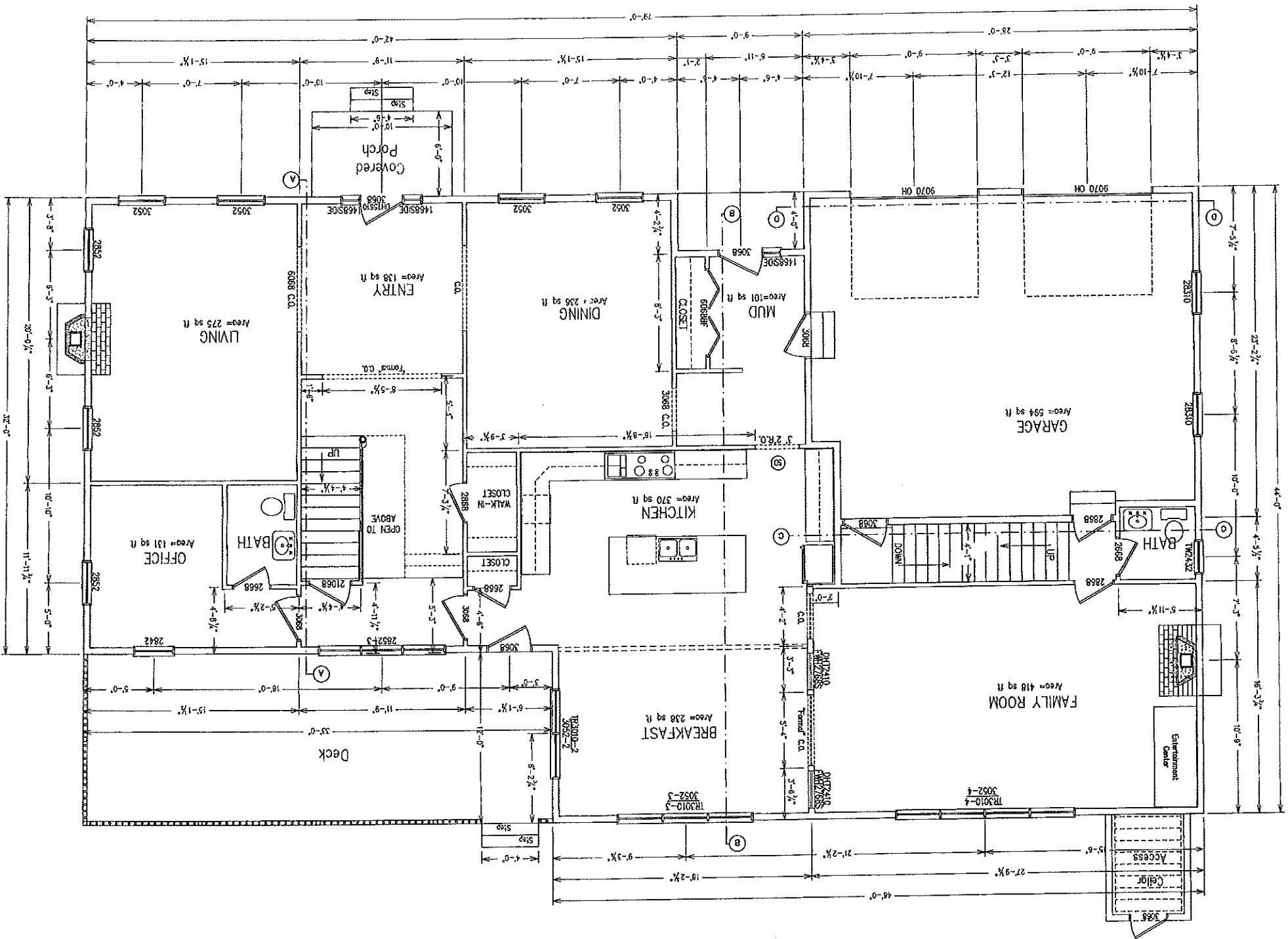


VERIFY LOCATIONS OF ALL UTILITIES
 AND EQUIPMENT WITH HOMEOWNER
 OR SUPERVISOR PRIOR TO INSTALLATION.

NOTICE
 AND LOCATION OF OPENINGS IN FOUNDATION WALL
 FOR CELLAR SASH WINDOWS, WATER LINE ACCESS,
 SEWER LINE EXIT, AND ANY OTHER NECESSARY OPEN-
 INGS IN FOUNDATION. MASON TO CHECK WITH OWNER
 AND/OR BUILDER TO ENSURE EXACT POSITION.

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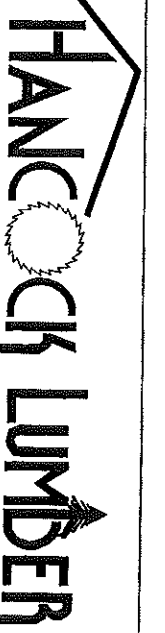


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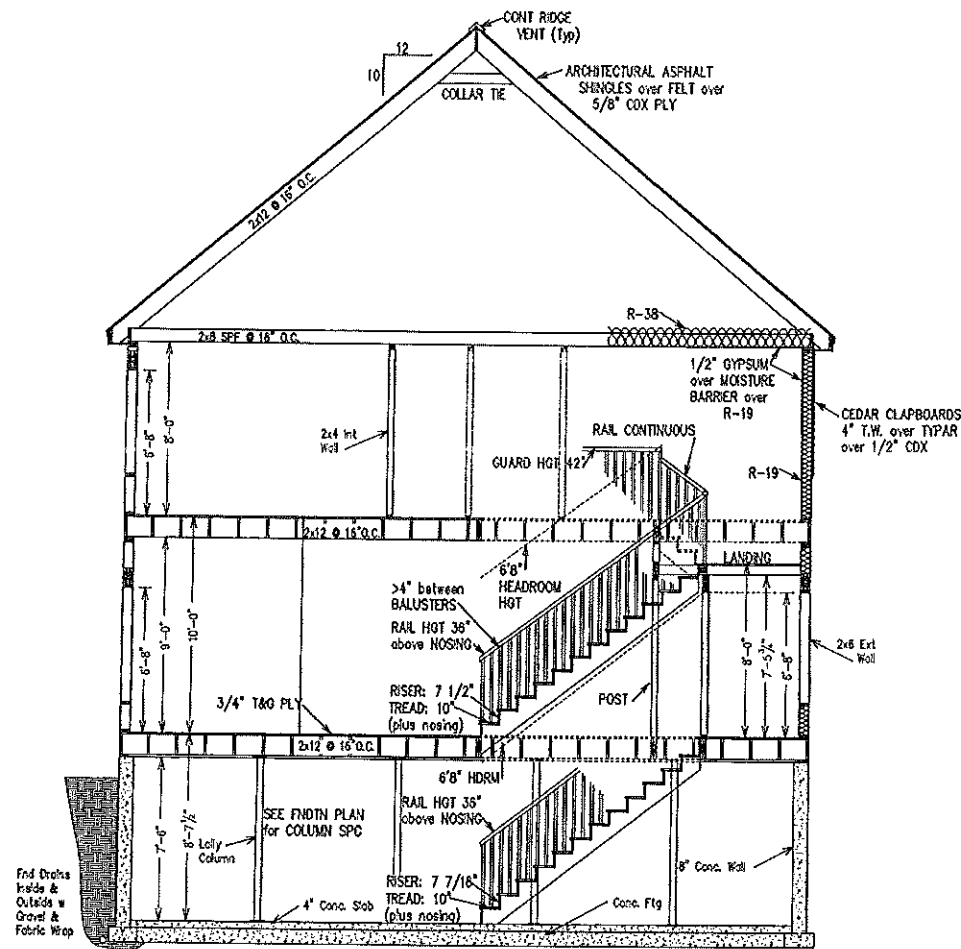
CT
 3

HANCOCK LUMBER DRAFTING SOLUTIONS
 COLONIAL for STEVE & ANDREA SMITH
 PRESUMPSCOT RIVER PLACE (III) PORTLAND, ME.

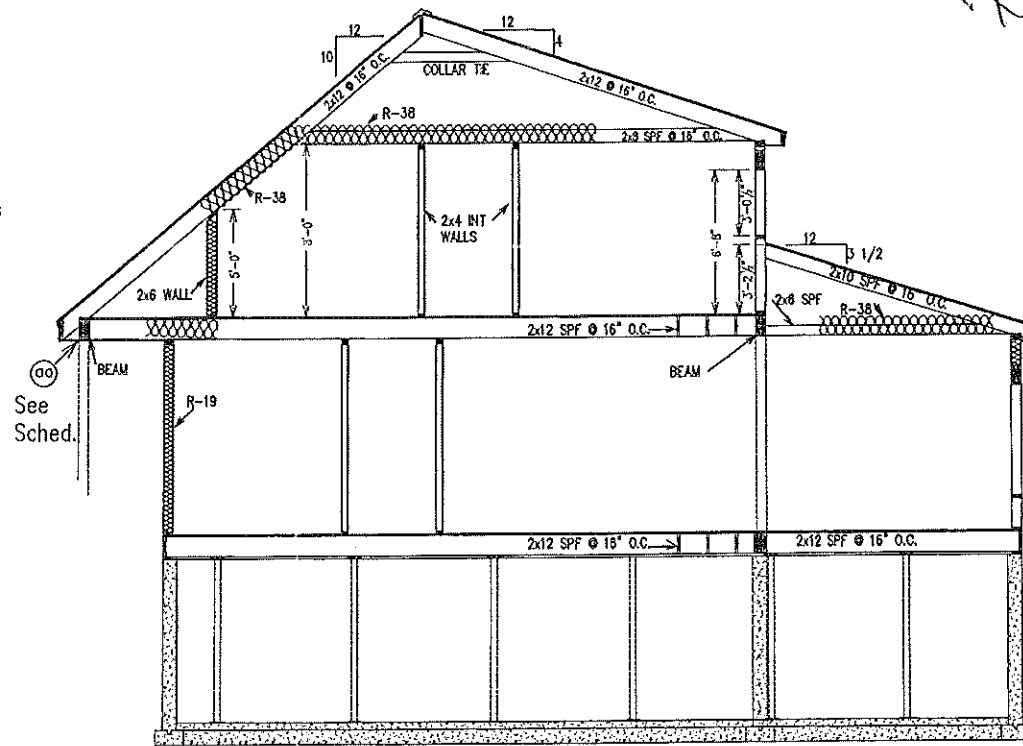
REVISIONS: 8/29/02, 1/22/03



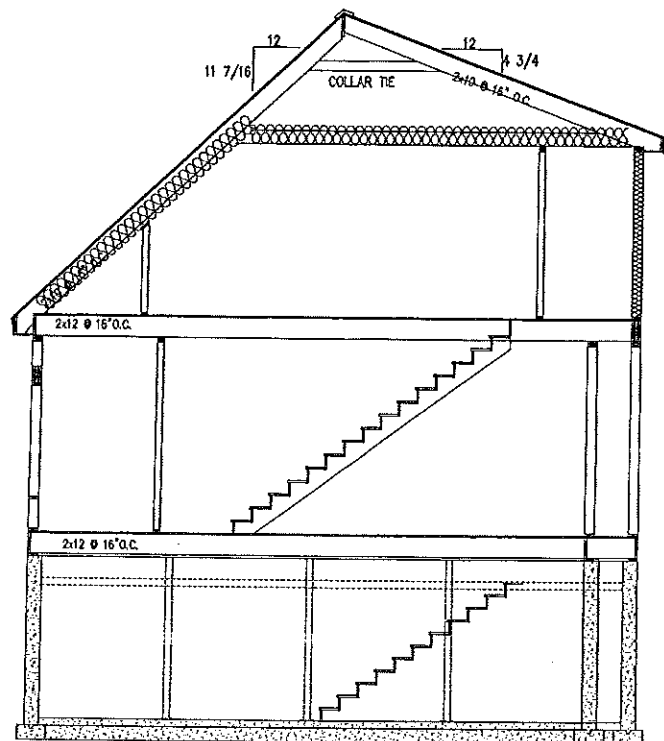
02/22/03
 1/4" = 1"
 JCT
 Q.3279A1



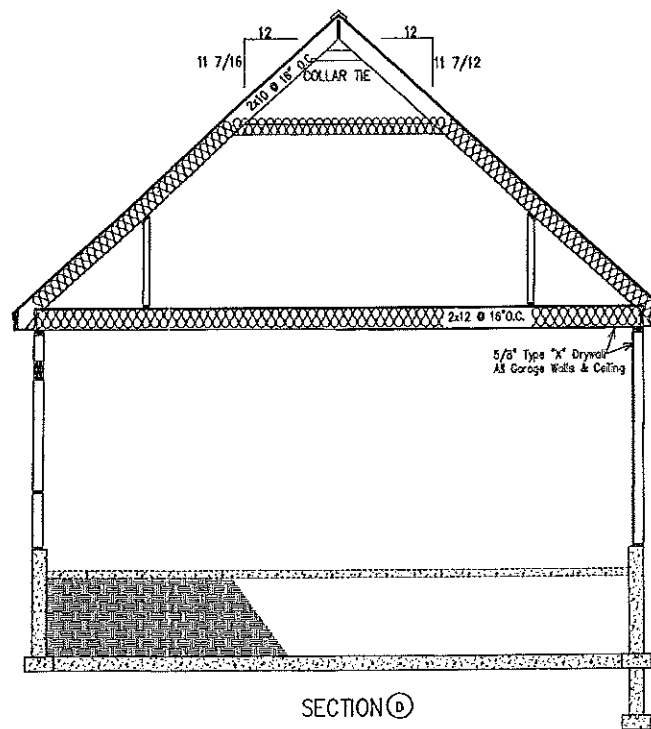
SECTION A



SECTION B



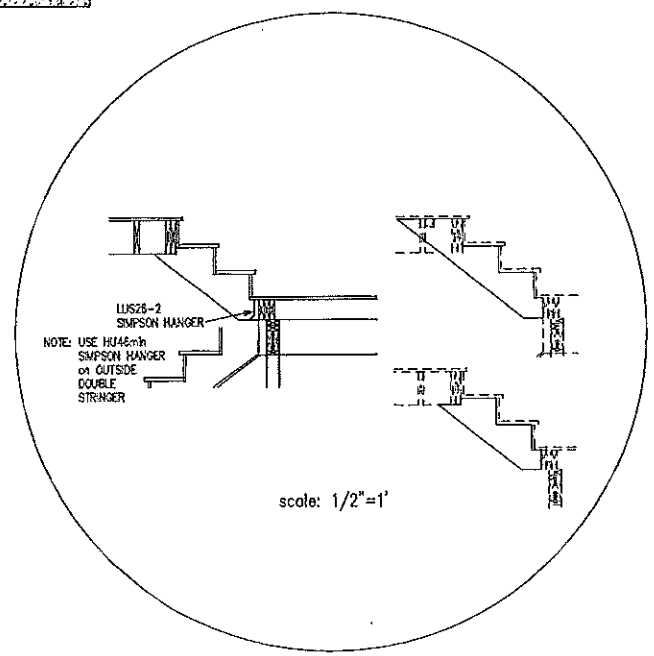
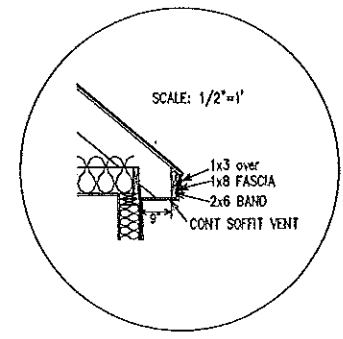
SECTION C



SECTION D

Needs to be 3-2x12

Header Schedule		
Floor	Opening Size	Header
1st	12' 0" +-	5 1/4 x 9 1/2 LVL
1st	9' 0" +-	5 1/4 x 9 1/2 LVL
1st	8' 0" +-	5 1/4 x 7 1/4 LVL
1st	5' 6" +-	Triple 2X10 SPF w/ Plywood
1st	3' 0" +-	Triple 2X8 SPF w/ Plywood
1st	9' 0" +- (Roof Only)	3 1/2 x 11 7/8 LVL
2nd	8' 0" +-	5 1/4 x 9 1/2 LVL
2nd	4' 0" +-	Triple 2X8 SPF w/ Plywood
2nd	3' 0" +-	Triple 2X8 SPF w/ Plywood



DO NOT SCALE PRINTS

THESE DOCUMENTS HAVE BEEN PREPARED BY AN ARCHITECTURAL DRAFTSMAN. THEY HAVE NOT BEEN REVIEWED BY AN ARCHITECT OR ENGINEER. THEREFORE, THE DRAFTSMAN ASSUMES NO RESPONSIBILITY FOR ANY DESIGN OR ENGINEERING. ALL DIMENSIONS, CODE COMPLIANCE AND SPECIFICATIONS SHOULD BE REVIEWED BY THE OWNER AND CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.

02/22/03
1/4"=1'
JCT
CL3279A1

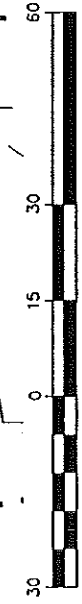
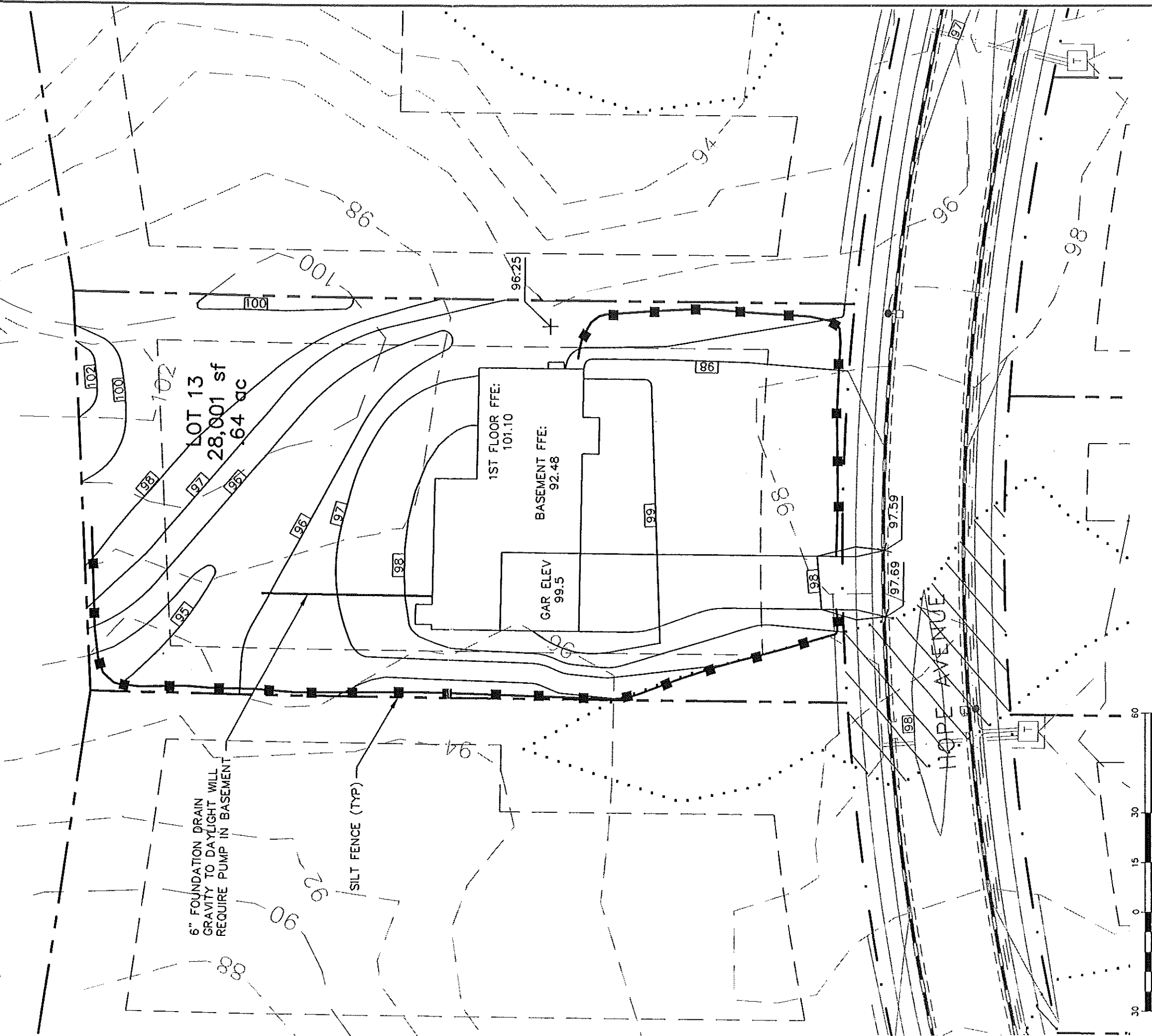
HANCOCK LUMBER

REVISIONS: 0/28/02, 1/22/03
REVISIONS:

HANCOCK LUMBER DRAFTING SOLUTIONS
COLONIAL for STEVE & ANDREA SMITH
PRESUMPSHOT RIVER PLACE (III) PORTLAND, ME.

5/5

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 4-28-03



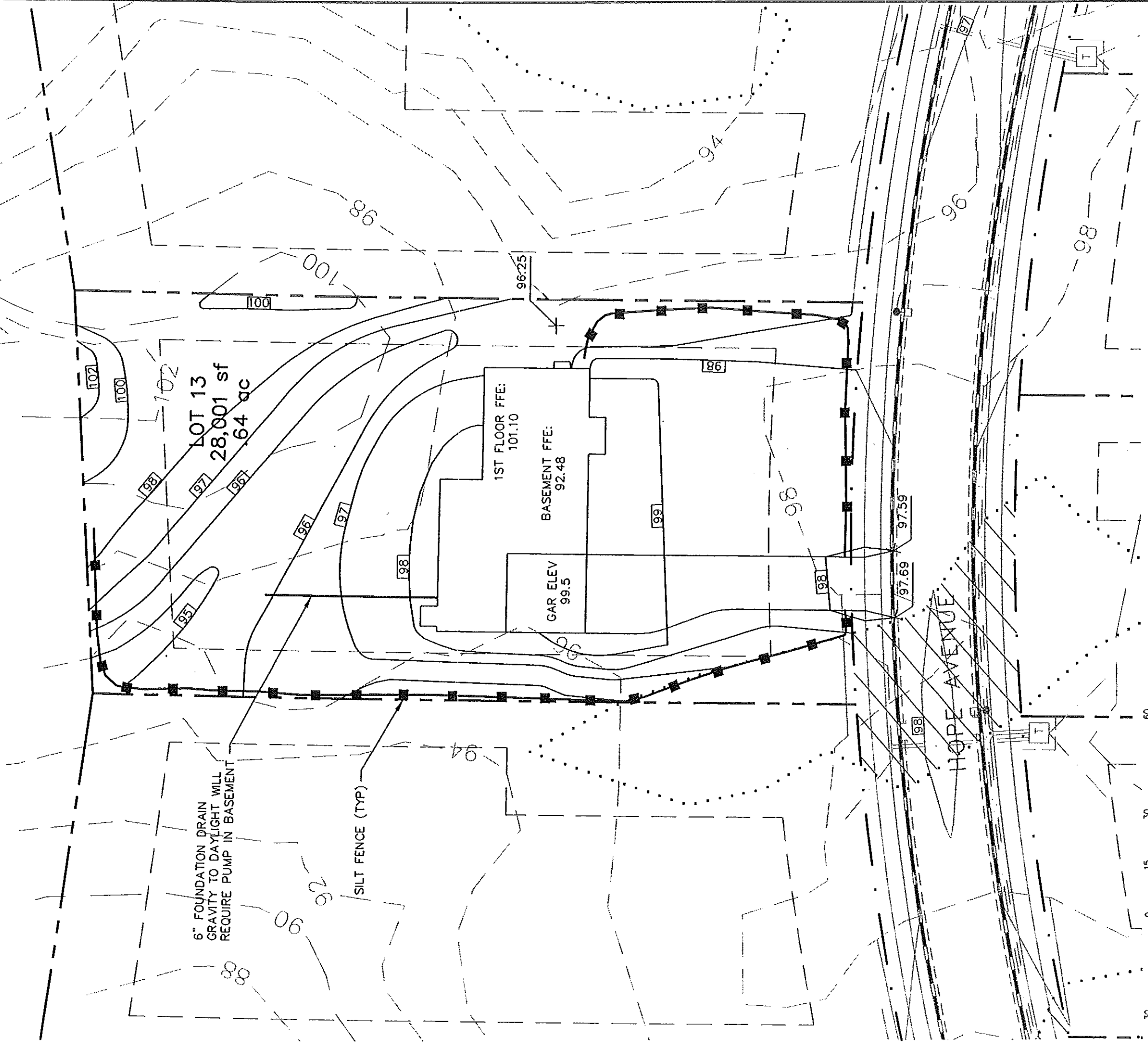
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Draft:	CUL	Job No.:	760
Checked:	AMP	Scale:	1"=30'
File Name:	760-SP		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 York, ME 04039
 207-337-0910
 E-Mail: mail@gorrillpalmer.com

Drawing Name: **Lot 13 Grading & Drainage Plan**
 Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 4-28-03



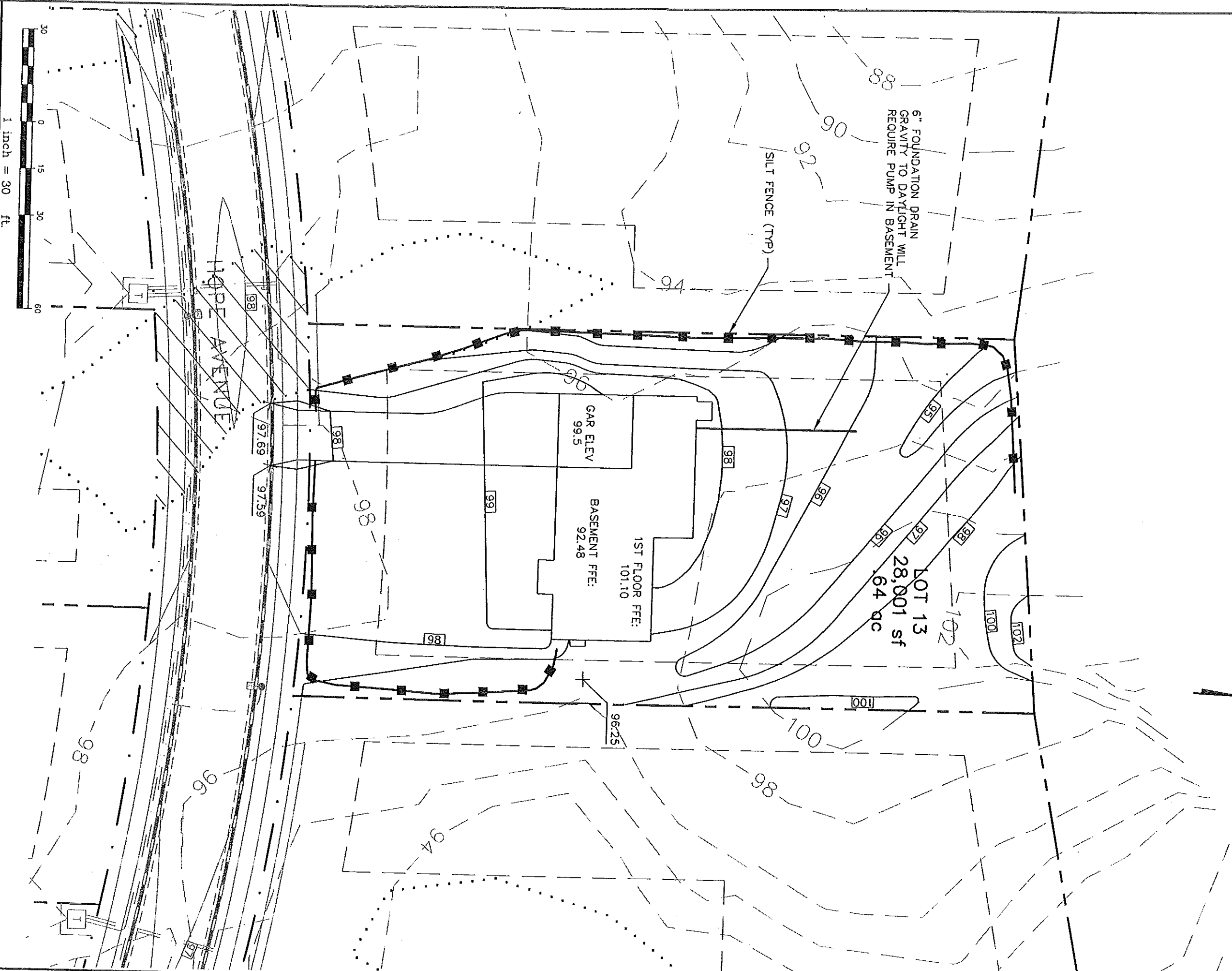
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Draft:	CJL	Job No.:	760
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File Name:	760-SP		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 15 Sower Road
 Grey, ME 04039
 207-657-6910
 Fax: 207-657-6912
 E-Mail: malbois@gorrillpalmer.com

Drawing Name: **Lot 13 Grading & Drainage Plan**
 Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**

APR 29 2003
 RECEIVED
 CIVIL ENGINEERING



1 inch = 30 ft.



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Draft: C.L.	Job No.: 760
Checked: AMP	Scale: 1"=30'
File Name: 760-SP	

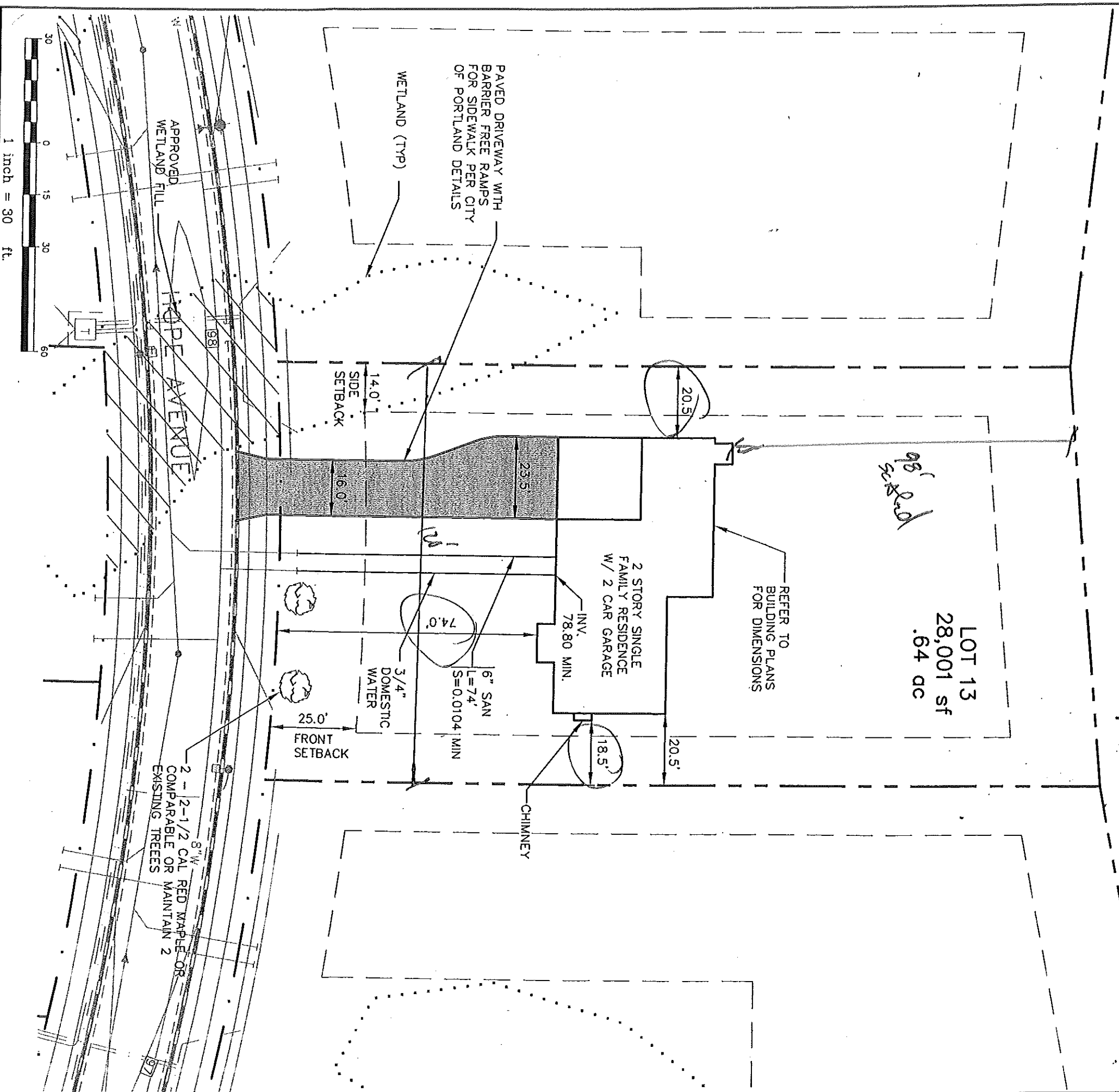
GP Gorrell-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1317
 13 Sewer Road
 Orono, ME 04839
 Tel: 207-467-6910
 Fax: 207-467-6912
 E-Mail: me@gpengineers.com

Drawing Name: Lot 13 Grading & Drainage Plan
 Project: PRESUMPSCOT RIVER PLACE

Figure No. 3

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



Design: DER	Date: MAR 03
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File Name: 760-SP	

GP Gorrell-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 State Road
Orono, ME 04959

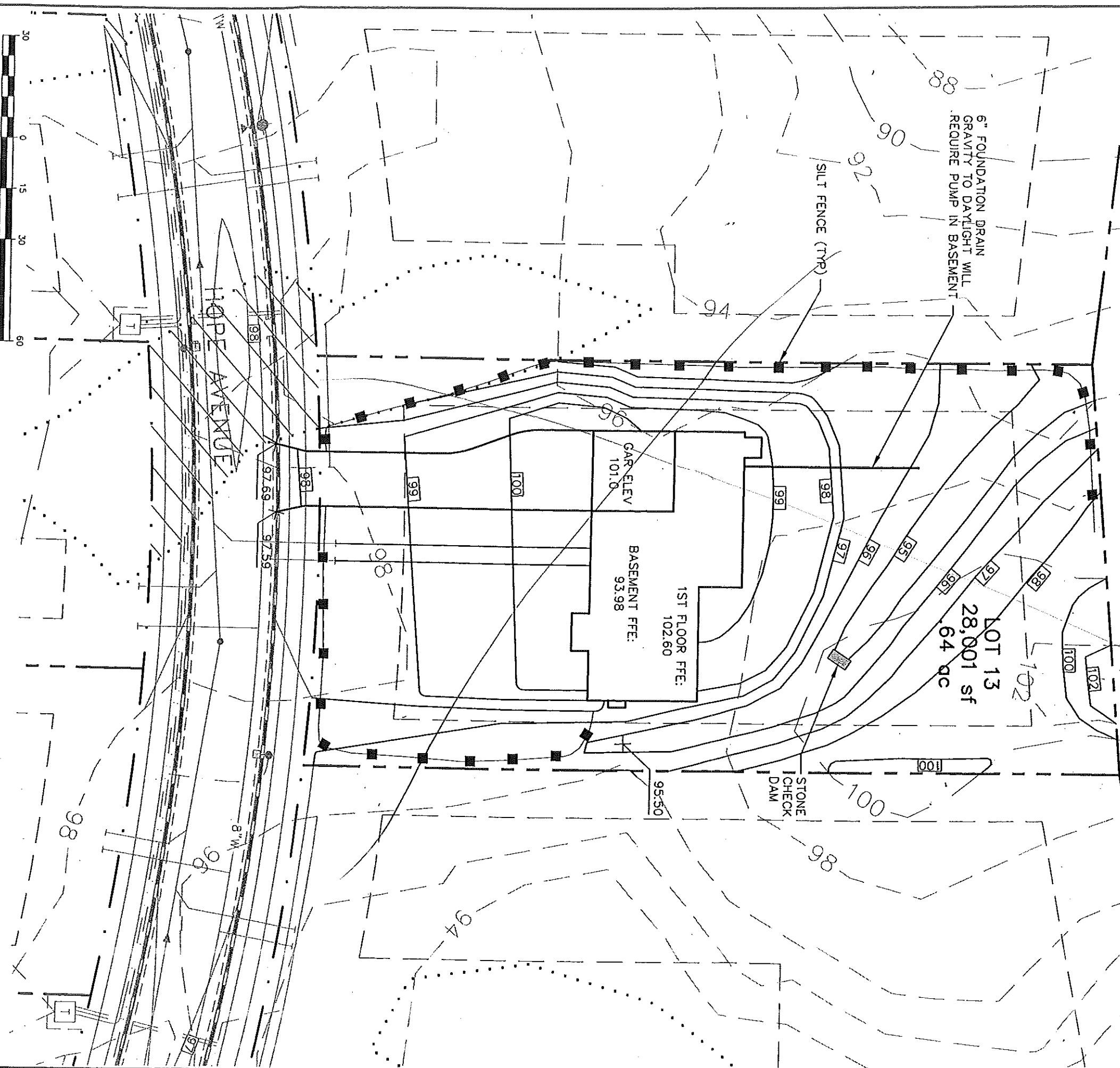
207-657-6910
Fax: 207-657-6912
E-mail: melp@gorrellpalmer.com

Drawing Name: Lot 13 Site Layout and Utility Plan

Project: PRESUMPSCOT RIVER PLACE

Figure No. 2

see revised per



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Drawn:	CAL	Job No.:	760
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File Name:	760-SP		

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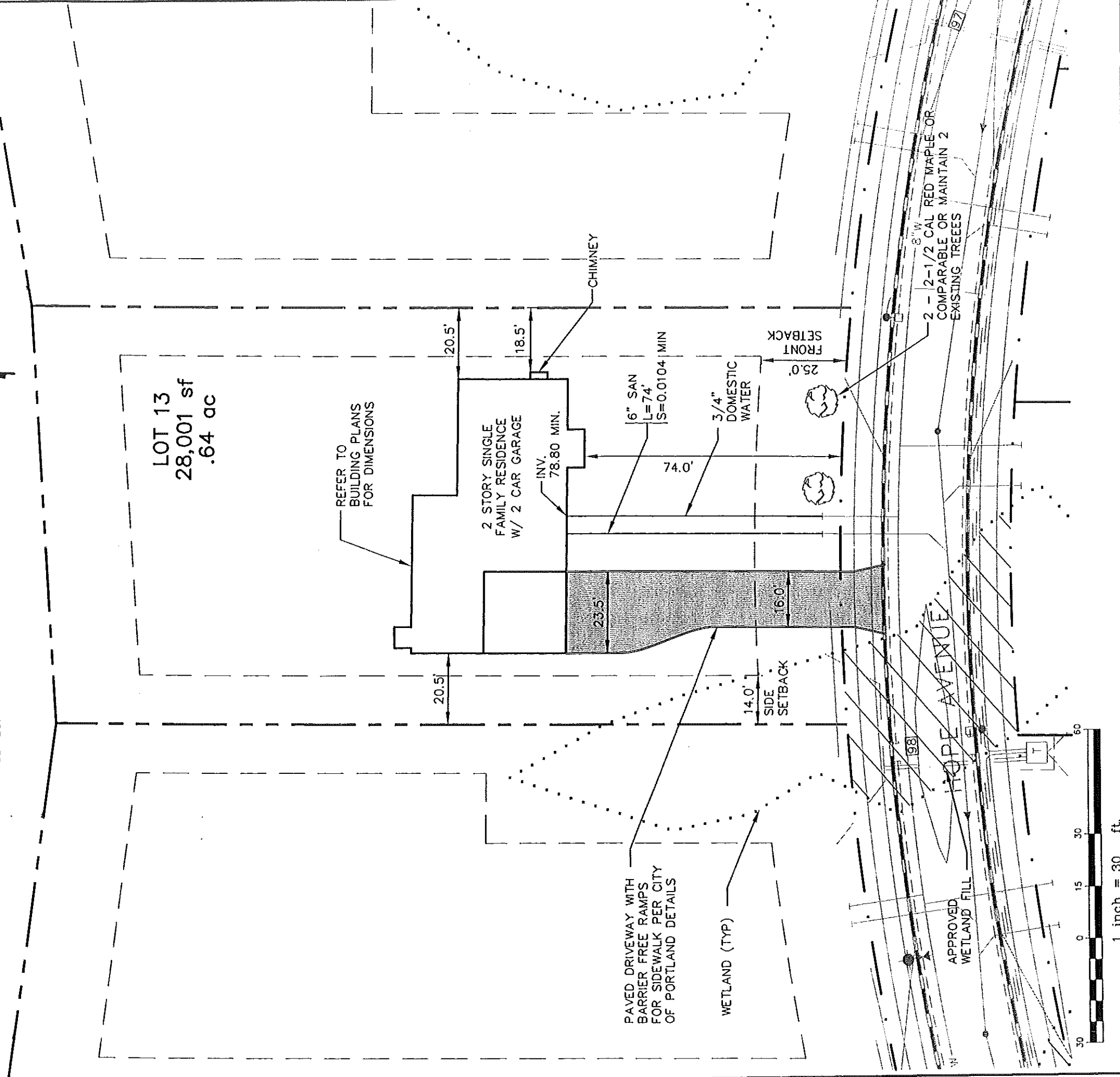
Drawing Name:
Lot 13 Grading & Drainage Plan

Project:
PRESUMPCOT RIVER PLACE

Figure No.
3

GENERAL NOTES

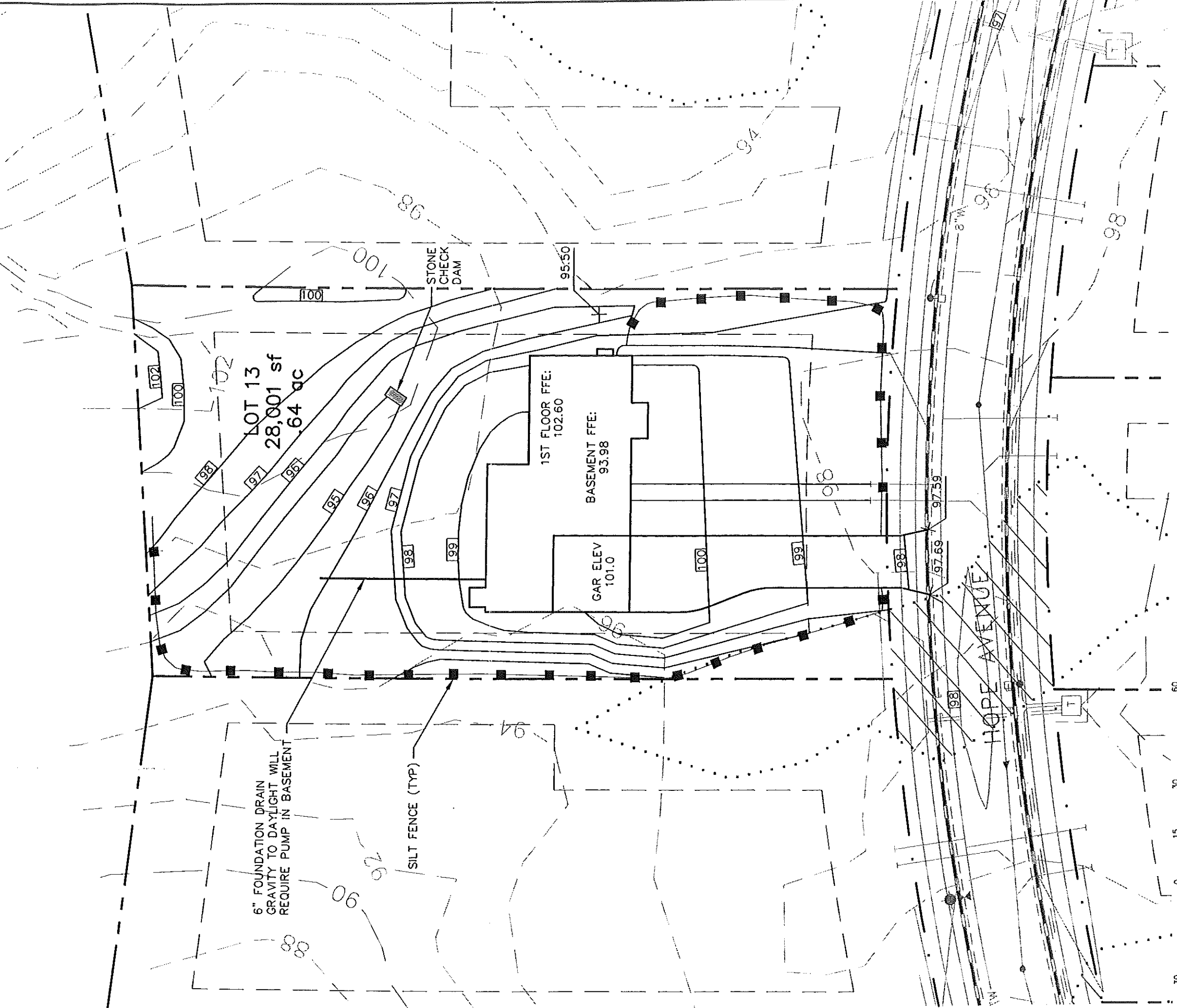
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Design:	DER	Date:	MAR 03
Draft:	C-JL	Job No.:	760
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 E-mail: mlp@gorrillpalmer.com

Drawing Name: **Lot 13 Site Layout and Utility Plan**
 Project: **PRESUMPSCOT RIVER PLACE**



LOT 13
28,001 sf
.64 ac

1ST FLOOR FFE:
102.60

BASEMENT FFE:
93.98

GAR ELEV
101.0

STONE
CHECK
DAM

SILT FENCE (TYP)

6" FOUNDATION DRAIN
GRAVITY TO DAYLIGHT WILL
REQUIRE PUMP IN BASEMENT

HOPE AVENUE



1 inch = 30 ft.

Design:	DER	Date:	MAR 03
Draft:	CU	Job No.:	760
Checked:	AMP	Scale:	1"=30'
File Name:	760-SP		

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207-657-6910
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E-mail: malbo@gorrillpalmer.com

Drawing Name: **Lot 13 Grading & Drainage Plan**

Project: **PRESUMPCOT RIVER PLACE**