

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

75' SETBACK FROM DRAINAGE COURSE

100' SETBACK FROM DRAINAGE COURSE

LOT 10
58,903 sf
1.35 ac

231'

LIMIT OF UNDISTURBED ZONE. NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

12'x14' DECK/SCREENED PORCH

REFER TO BUILDING PLANS FOR DIMENSIONS

2 STORY SINGLE FAMILY RESIDENCE

2 CAR GARAGE

MIN. INV. 84.51

3/4" DOMESTIC WATER

DOUBLE CLEANOUT (TYP)

6" SAN
L=51'
S=0.0104

14' SIDE SETBACK

17'

22'

20'R

20'R

16'

FRONT SETBACK 25'

WQOU2

DMH8A

MH8

DMH9

DMH10

CB14

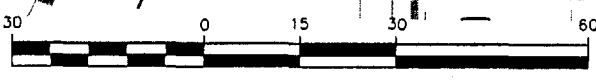
CB15

CB16

DMH1

PAVED DRIVEWAY WITH BARRIER FREE RAMPS FOR SIDEWALK PER CITY OF PORTLAND DETAILS

2.5" CAL. RED MAPLES OR EQUIVALENT



1 inch = 30 ft.

Design: P00	Date: FEB 04
Draft: LAN	Job No.: 933
Checked: AMP	Scale: 1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG	

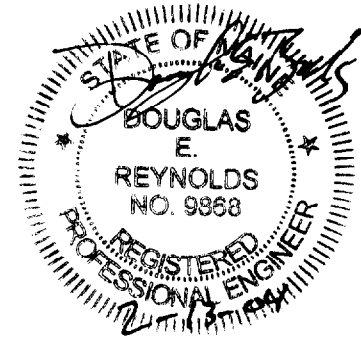
GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Saker Road
Gray, ME 04039

207-657-8910
FAX: 207-657-8912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: Lot 10 Site Layout & Utility Plan
Project: PRESUMPCOT RIVER PLACE

Figure No.
2



NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. IT IS THE HOME OWNER'S RESPONSIBILITY TO NOTIFY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT A MINIMUM OF 24 HOURS PRIOR TO COMPLETION OF EACH MILESTONE LISTED ABOVE.

75' SETBACK FROM DRAINAGE COURSE

100' SETBACK FROM DRAINAGE COURSE

LOT 10
58,903 sf
1.35 ac

LOT OWNER SHALL HAVE SURVEYOR LOCATE UNDISTURBED ZONE IN THE FIELD AND ARRANGE FOR INSPECTION OF CLEARING LIMITS BY THE ENGINEER PRIOR TO CLEARING

NOTE: ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

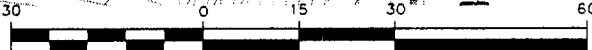
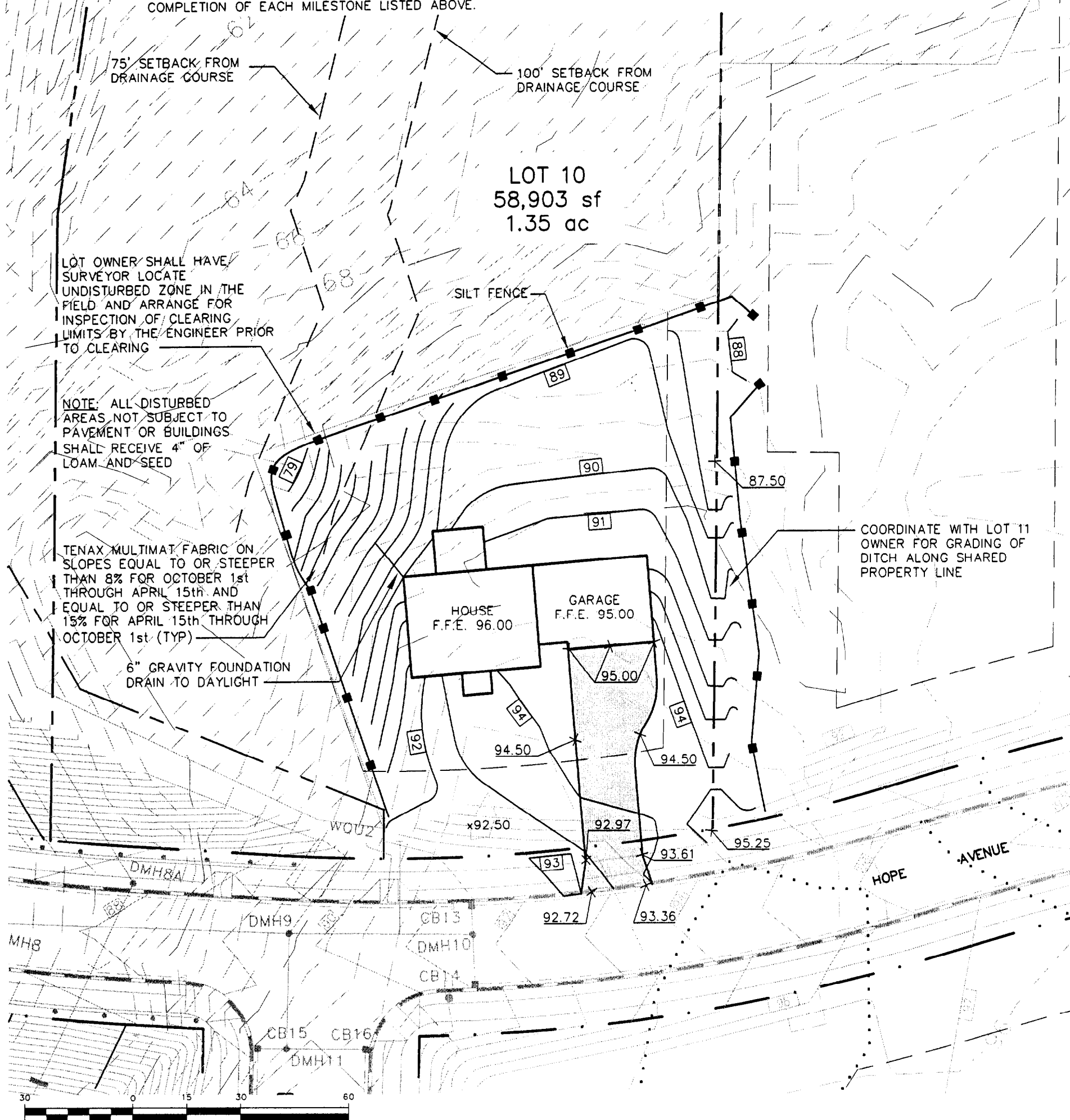
6" GRAVITY FOUNDATION DRAIN TO DAYLIGHT

SILT FENCE

COORDINATE WITH LOT 11 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE

HOUSE
F.F.E. 96.00

GARAGE
F.F.E. 95.00



1 inch = 30 ft.

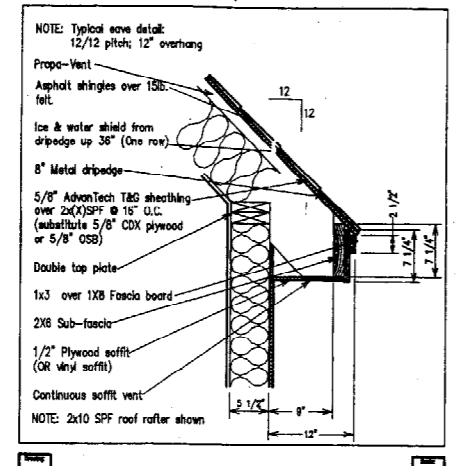
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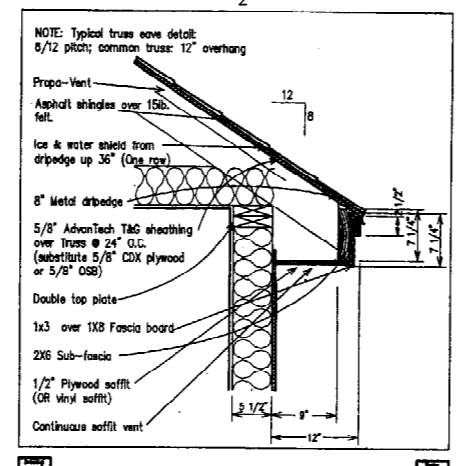
PO Box 1237
15 Saker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Lot 10 Grading Plan
Project:	PRESUMPCOT RIVER PLACE

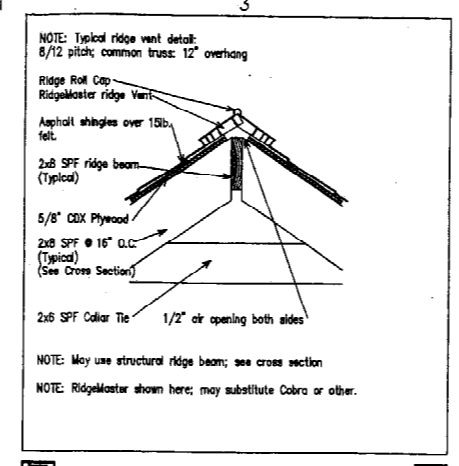
Figure No.
3



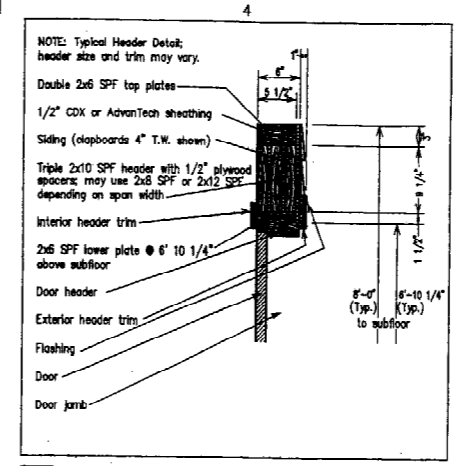
D1



D2

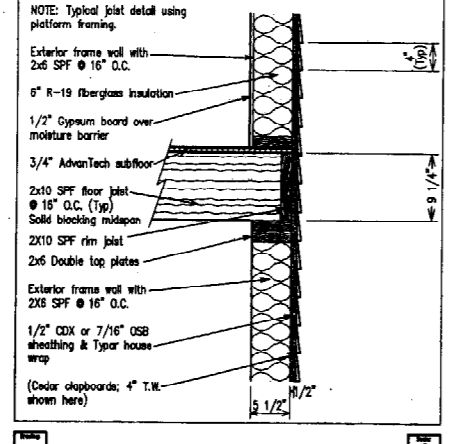


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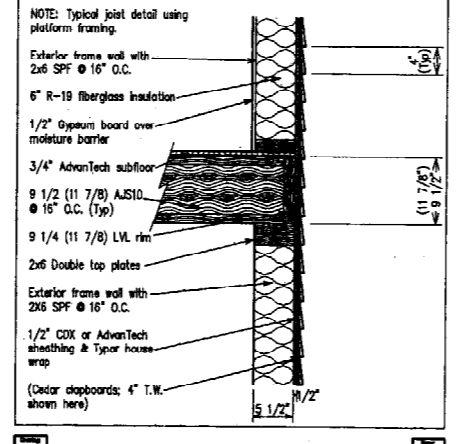


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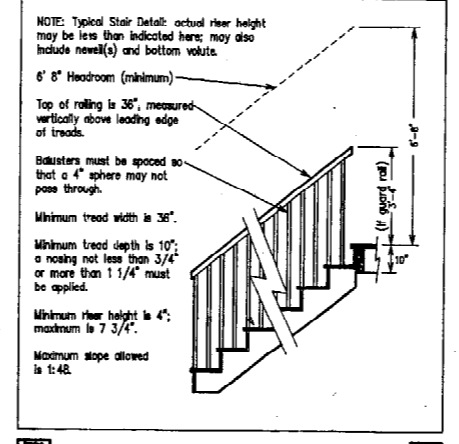
A1	Standard Foundation	Applies
A2	Frost Wall 60"	Applies
A3	Foundation Drop 94"	Applies
A4	Flush Floor	Applies
A5	Built-Up Beam	Applies
B1	2x(X) Sill/Joist	Applies
B2	AJS Sill/Joist	Applies
B3	Floor Truss	Applies
B4	Steel Beam	Applies
B5	LVL Beam	Applies
C1	2x(X) 2nd Fir Joist	Applies
C2	BCI 2nd Fir Joist	Applies
C3	Stair Detail	Applies
C4	Reserved	
C5	Reserved	
D1	12/12 Rafter	Applies
D2	8/12 Common Truss	Applies
D3	Ridge Vent/Beam	Applies
D4	Header Detail	Applies
D5	LEGEND	



C1



C2



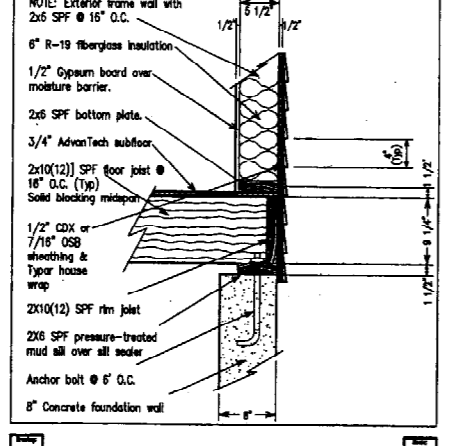
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Reserved for Special Details

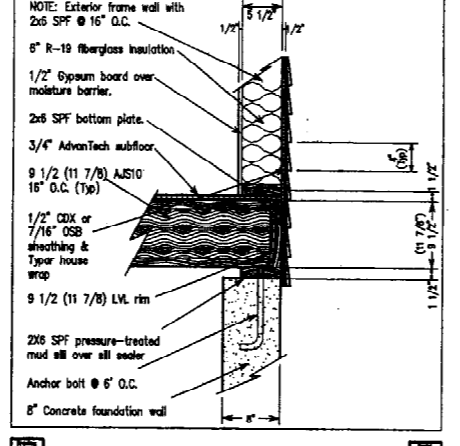
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Reserved for Special Details

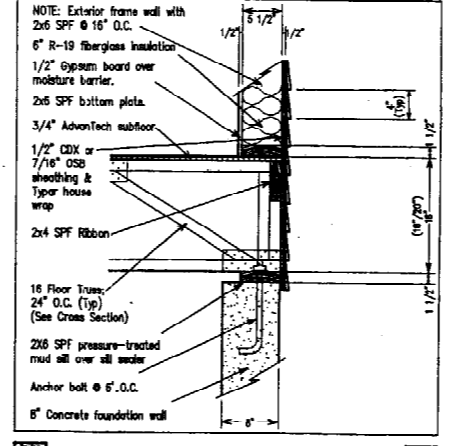
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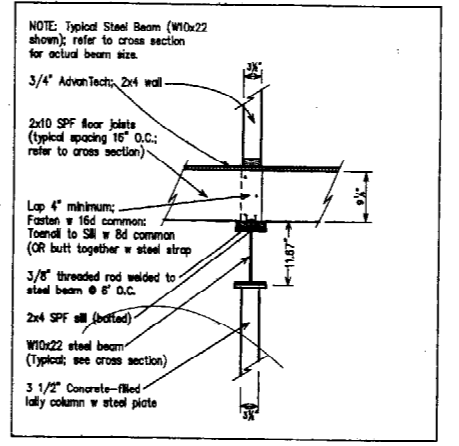
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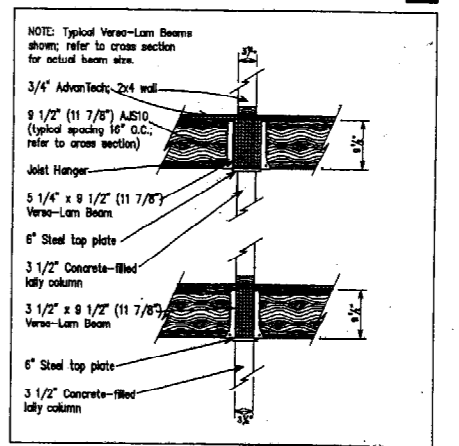
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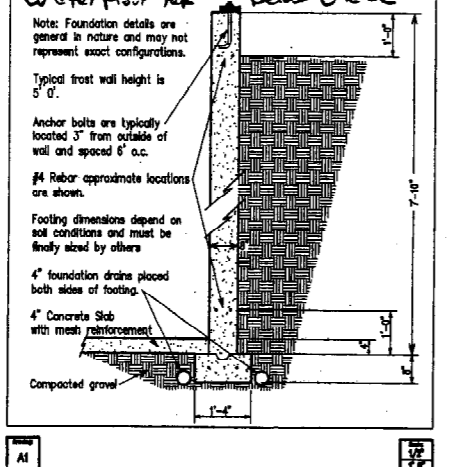
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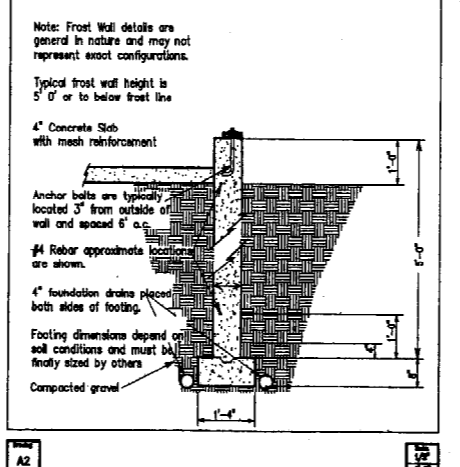
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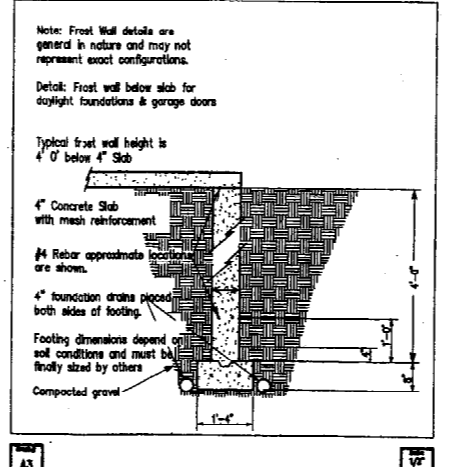
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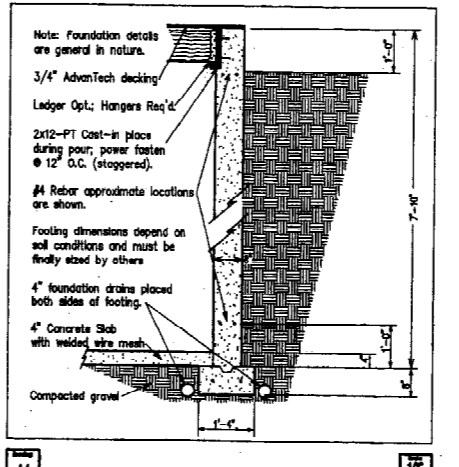
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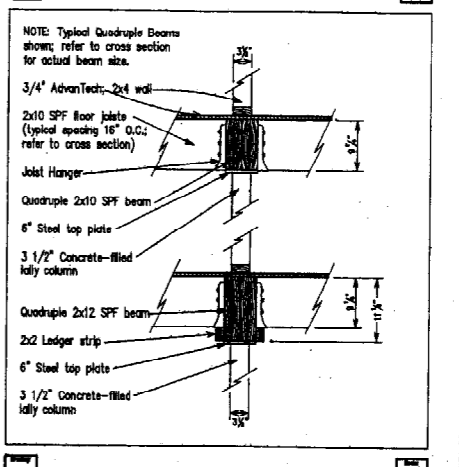
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A3



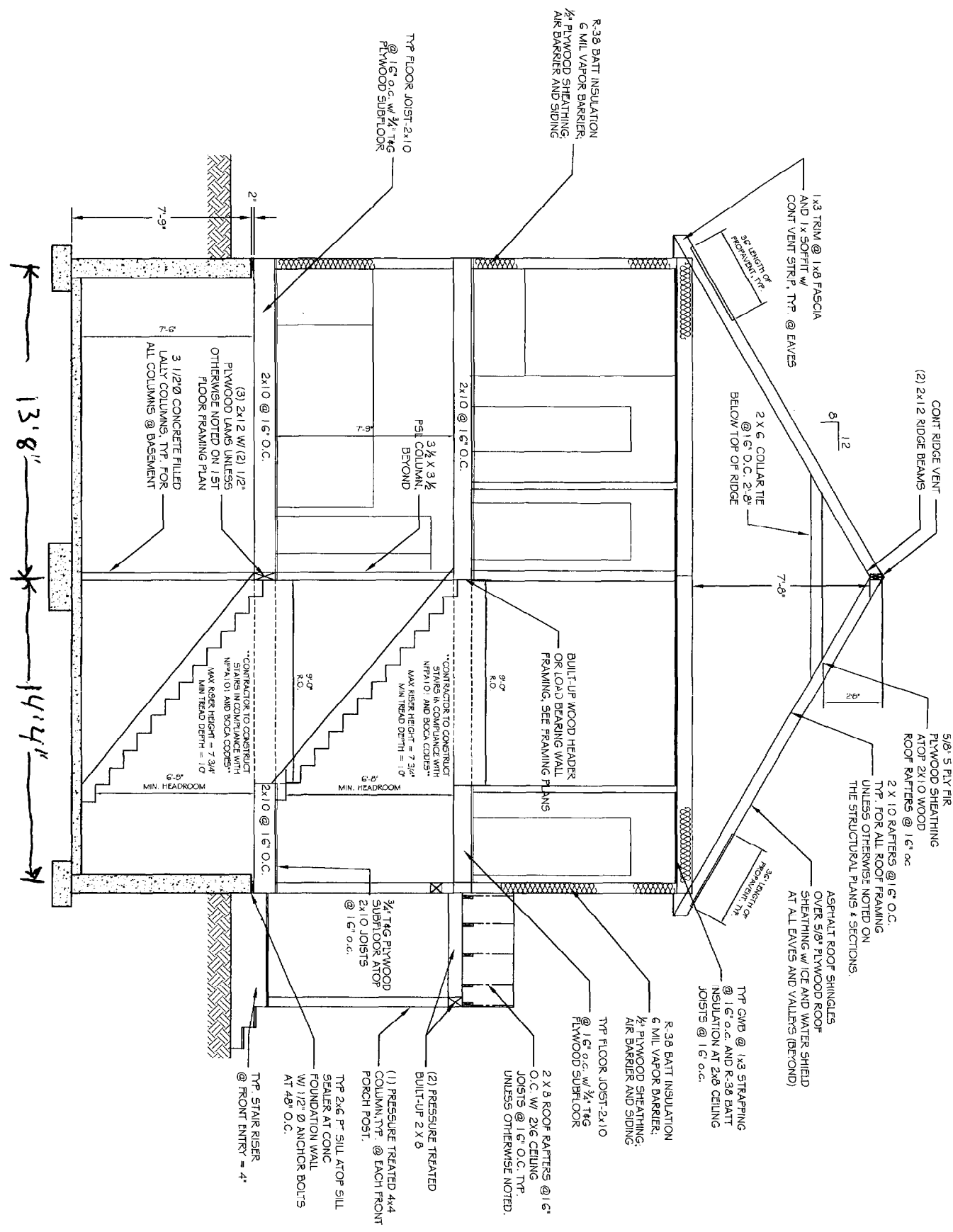
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A5

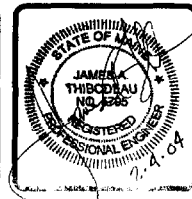
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 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

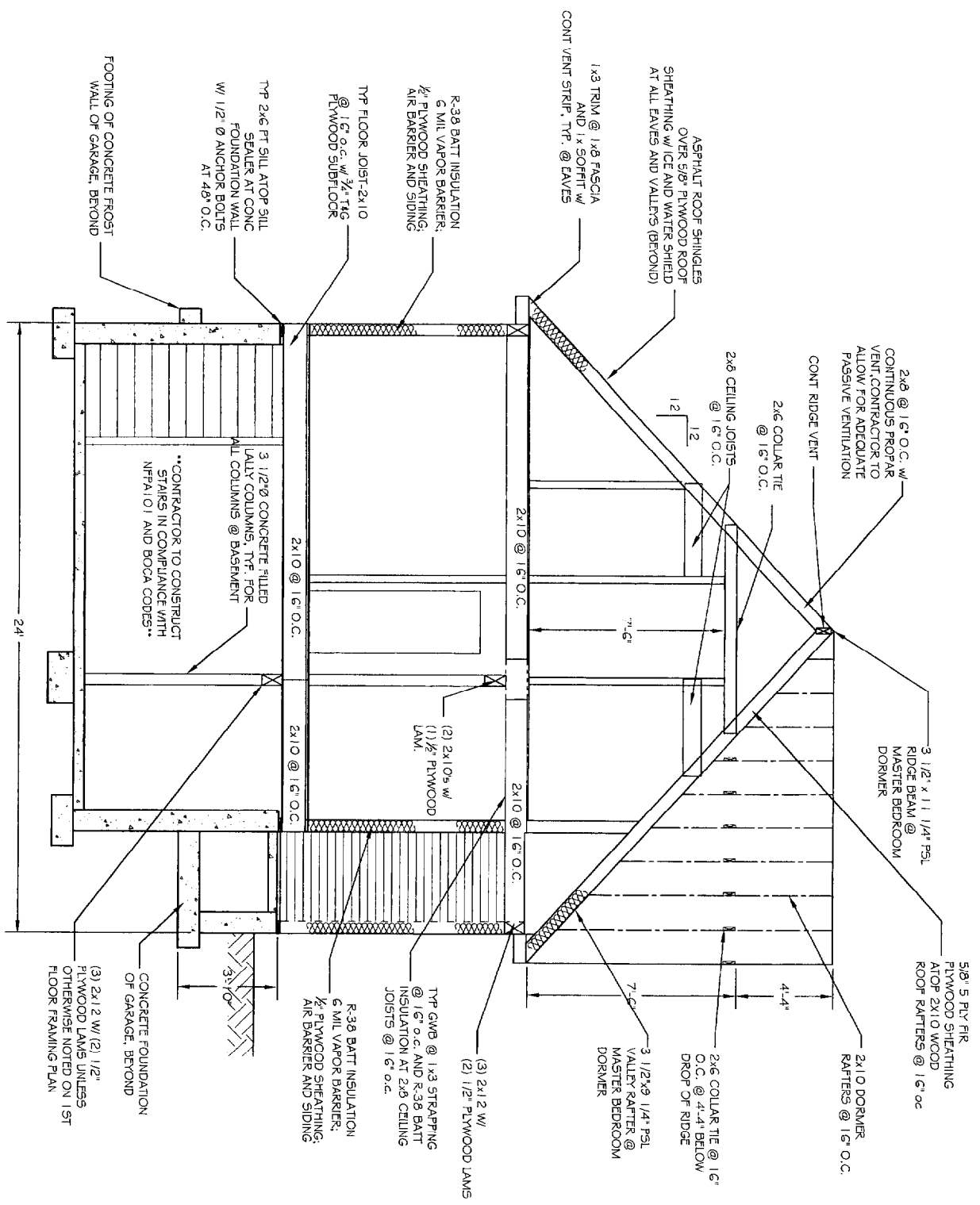


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HOPE AVE.
 FOR: VESTA. CORP.
 SHEET TITLE: **BUILDING SECTIONS**

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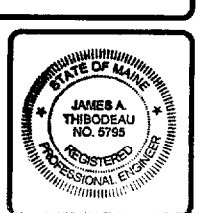
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 FOR: VESTA. CORP.

SHEET TITLE: **BUILDING SECTION 2**

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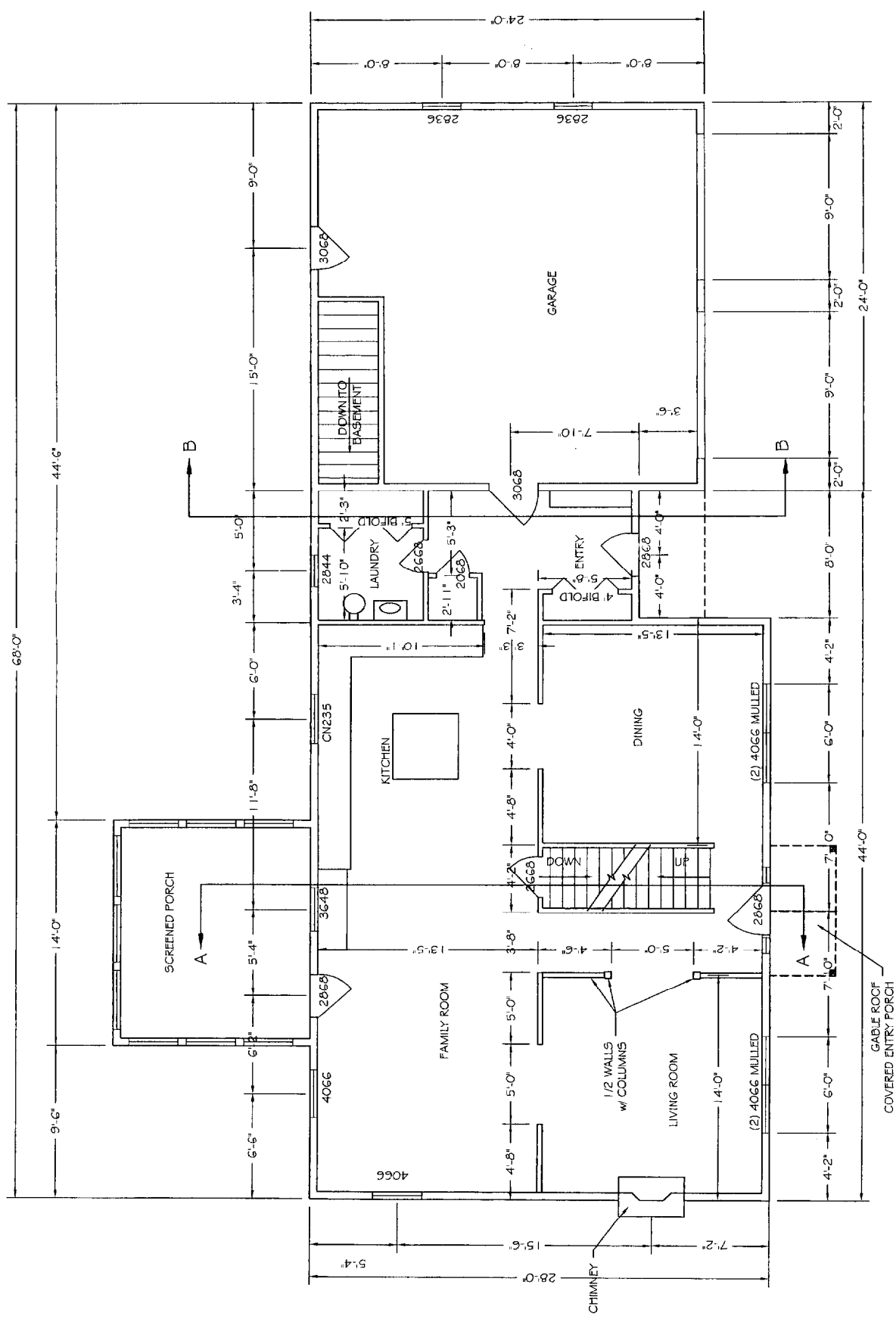
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 HOPE AVE.
 FOR: VESTA, CORP.

SHEET TITLE:

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 PROJECT NUMBER:
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 SHEET NO.
A101



FIRST FLOOR PLAN
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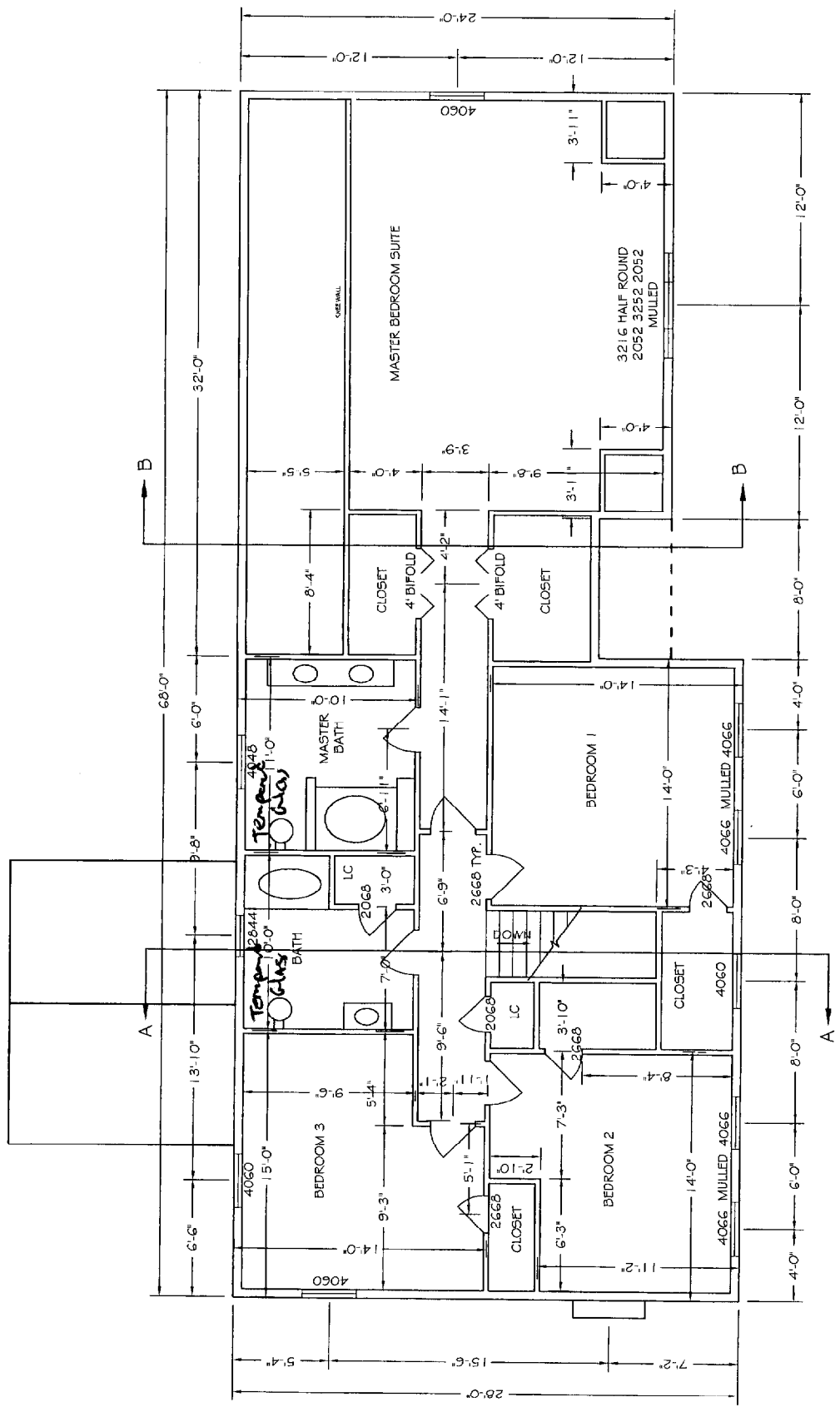
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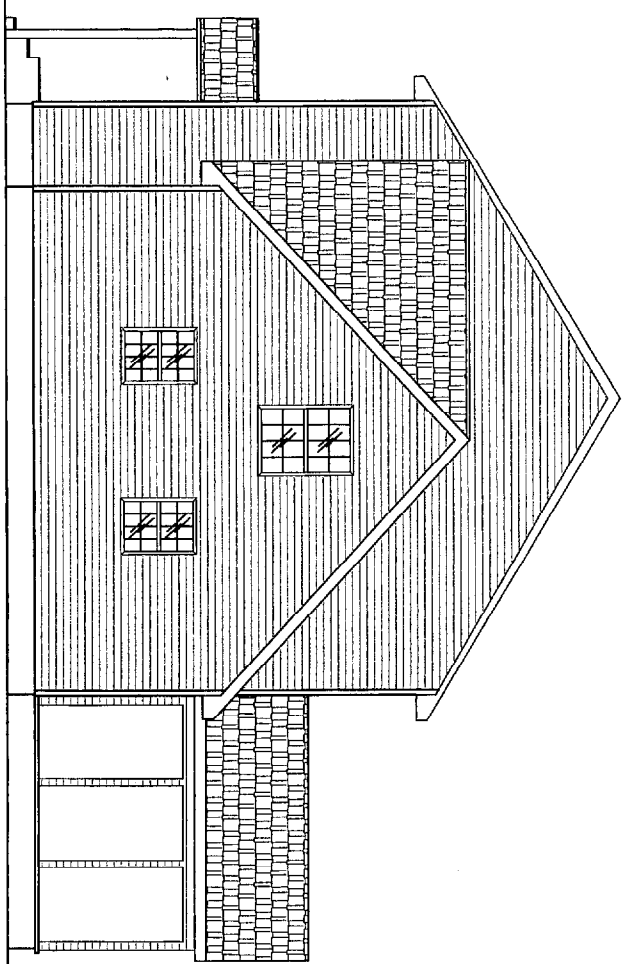
PROJECT: HOPE AVE. II
 HOPE AVE
 FOR: VESTA, CORP.
 SHEET TITLE: SECOND FLOOR PLAN

NO.	BY	DESCRIPTION	DATE

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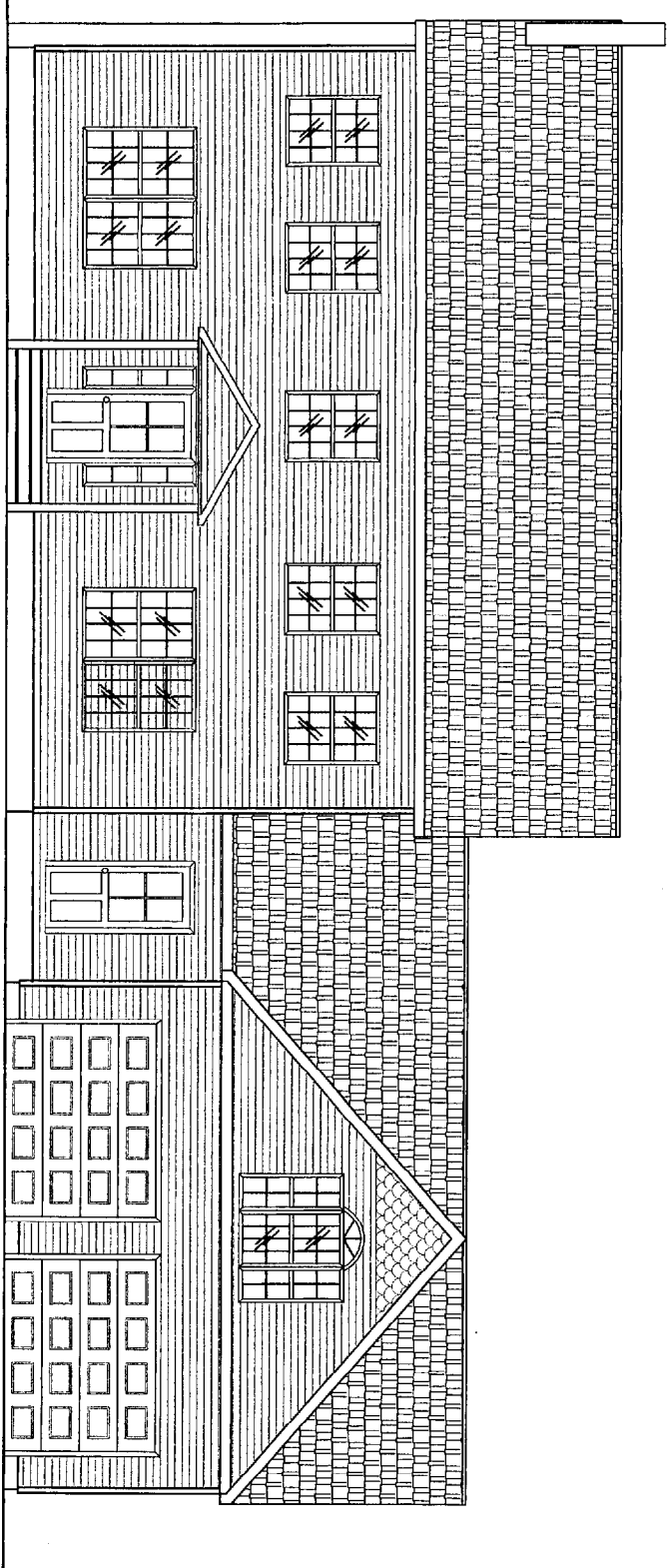


SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



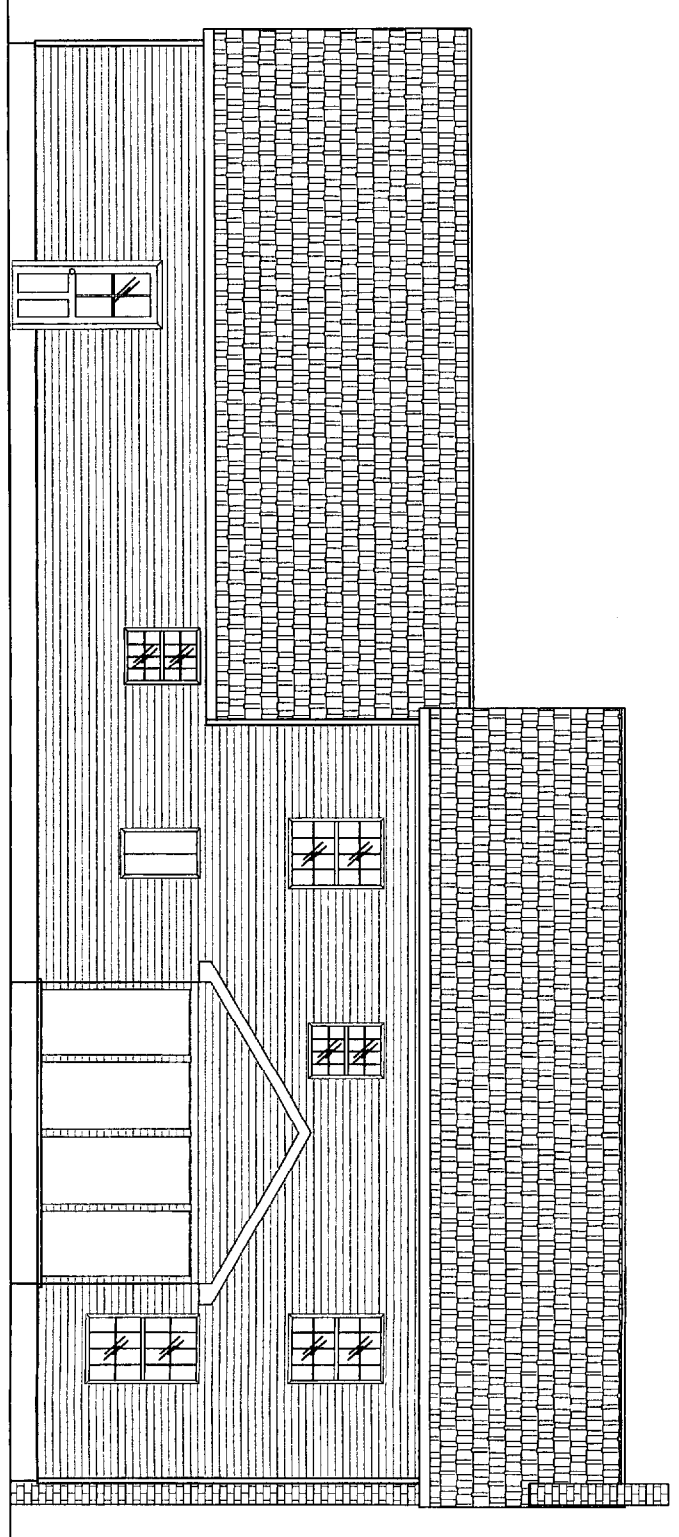
LEFT ELEVATION

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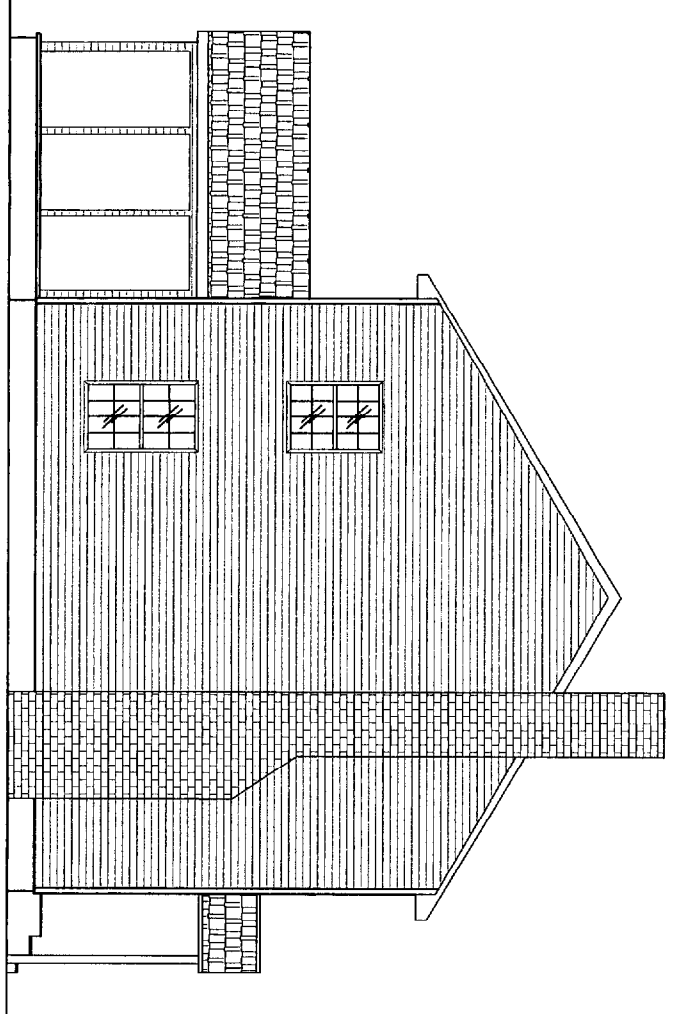
FRONT ELEVATION

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/2" = 1'-0"



RIGHT ELEVATION

SCALE: 1/2" = 1'-0"

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No.	BY	DESCRIPTION

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HOPE AVE.
 FOR: VESTA. CORP.
 SHEET TITLE: **ELEVATIONS**

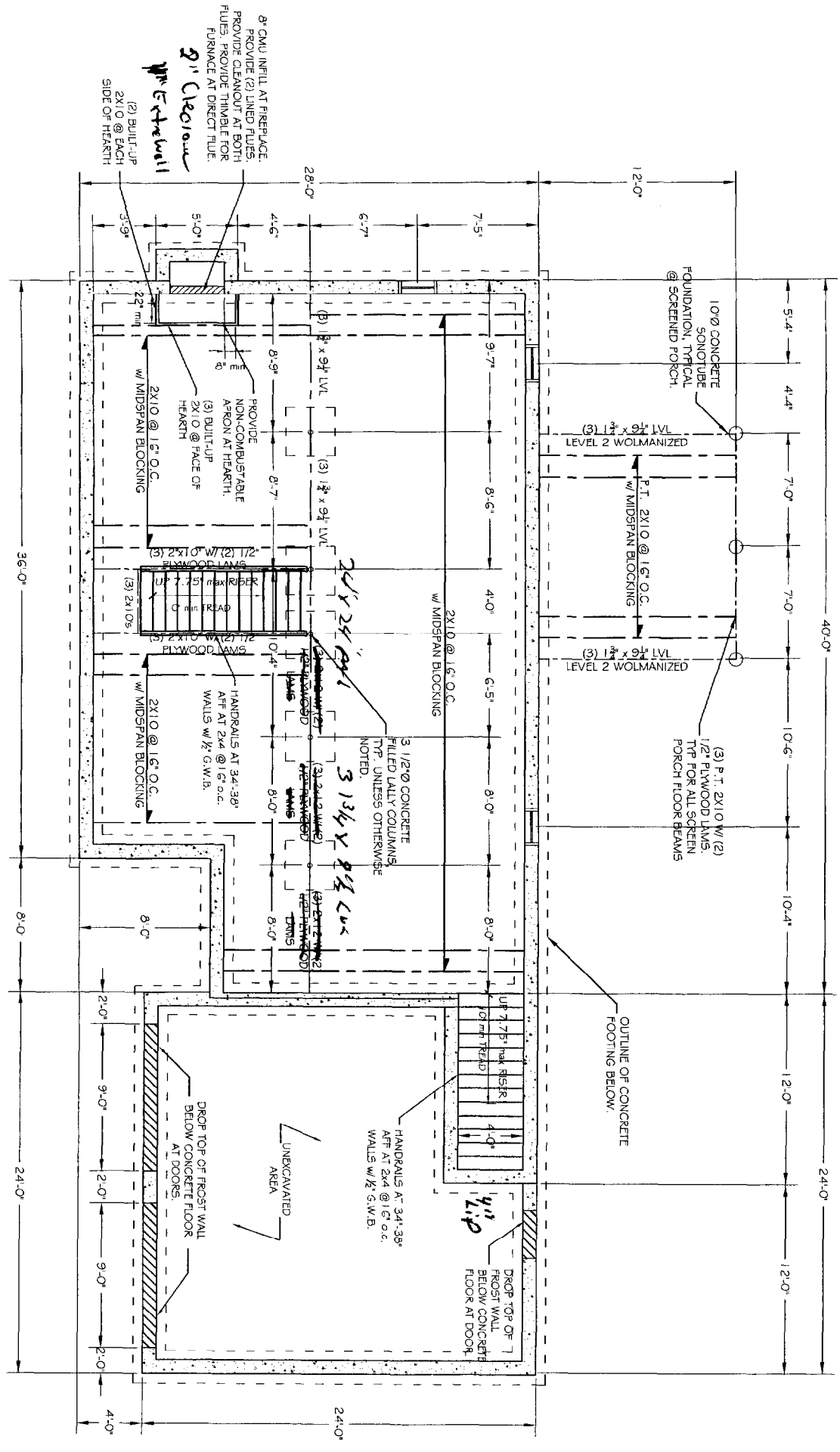
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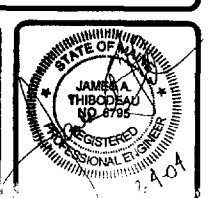
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04009
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FIRST FLOOR FRAMING PLAN

- NOTES:
1. ALL P.S.'S ARE 2.0 E. PARALLUM UNLESS OTHERWISE NOTED.
 2. ALL LVL'S ARE 1.9E MICROLAM LVL'S UNLESS OTHERWISE NOTED.
 3. ALL SPECIFIED HEADER POSTS ARE JACK STUDS. * SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD, QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER RECD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 4. GENERAL CONTRACTOR TO COMPLY WITH BOCA 1999 TABLE 2305.2 FASTENING SCHEDULE.
 5. PROVIDE 2x6 CONTINUOUS PRESSURE TREATED WOOD SILL ATOP CONTINUOUS SILL SEAL AND ANCHORED TO THE FOUNDATION W/ 1/2"Ø x 12" LONG ANCHOR BOLTS @ 48" C.C. AND WITHIN 12" OF FOUNDATION CORNERS.



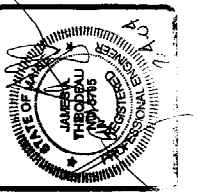
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 80 Leighton Road, Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpen.jengineering.com

PROJECT: **HOPE AVE. II**
HOPE AVE.
 FOR: VESTA. CORP.
 SHEET TITLE: **FOUNDATION PLAN**

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No.	BY	DESCRIPTION

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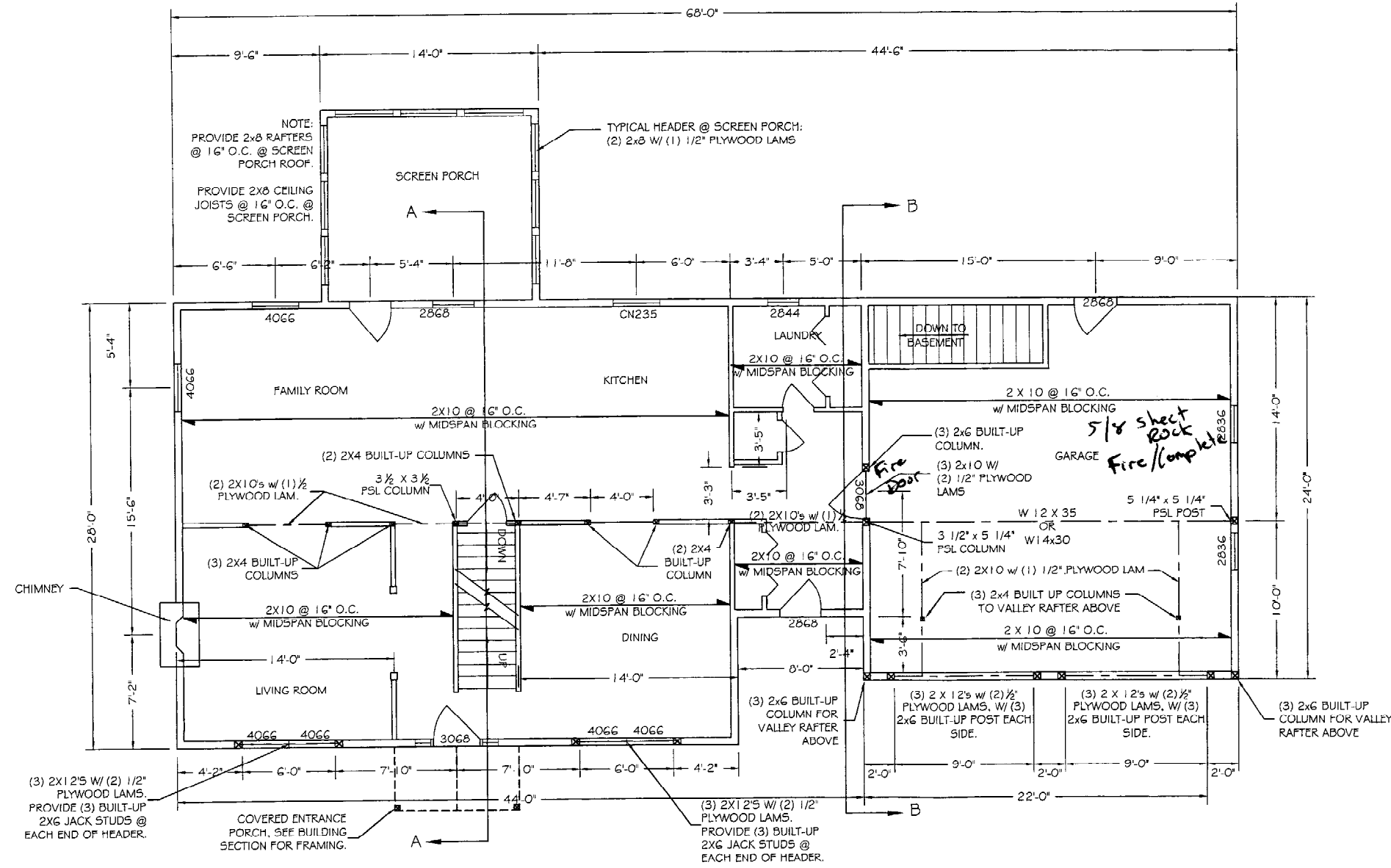
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ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 876-1788
 E-Mail: adp@cdengineering.com

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PROJECT: HOPE AVE. II
 HOPE AVE.
 FOR: VESTA, CORP.
 SHEET TITLE: SECOND FLOOR FRAMING PLAN



NOTES:

1. ALL PSL'S ARE 2.0.E. PARALLAM UNLESS OTHERWISE NOTED.
2. ALL LVL'S ARE 1.9E MICROLAM LVL'S UNLESS OTHERWISE NOTED.
3. ALL SPECIFIED HEADER POSTS ARE 'JACK STUDS' & SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER REQD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
4. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
5. GENERAL CONTRACTOR TO COMPLY WITH BOCA 1999 TABLE 2305.2 FASTENING SCHEDULE.

NOTE:
 INTERIOR HEADERS @ FIRST FLOOR TO BE:
 (2) 2x10 W/ (1) 1/2" PLYWOOD LAM UNLESS OTHERWISE NOTED.

EXTERIOR HEADERS @ FIRST FLOOR TO BE:
 (3) 2x10 W/ (2) 1/2" PLYWOOD LAMS UNLESS OTHERWISE NOTED

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	DESCRIPTION	DATE
No. BY		
1		
2		
3		
4		

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S201

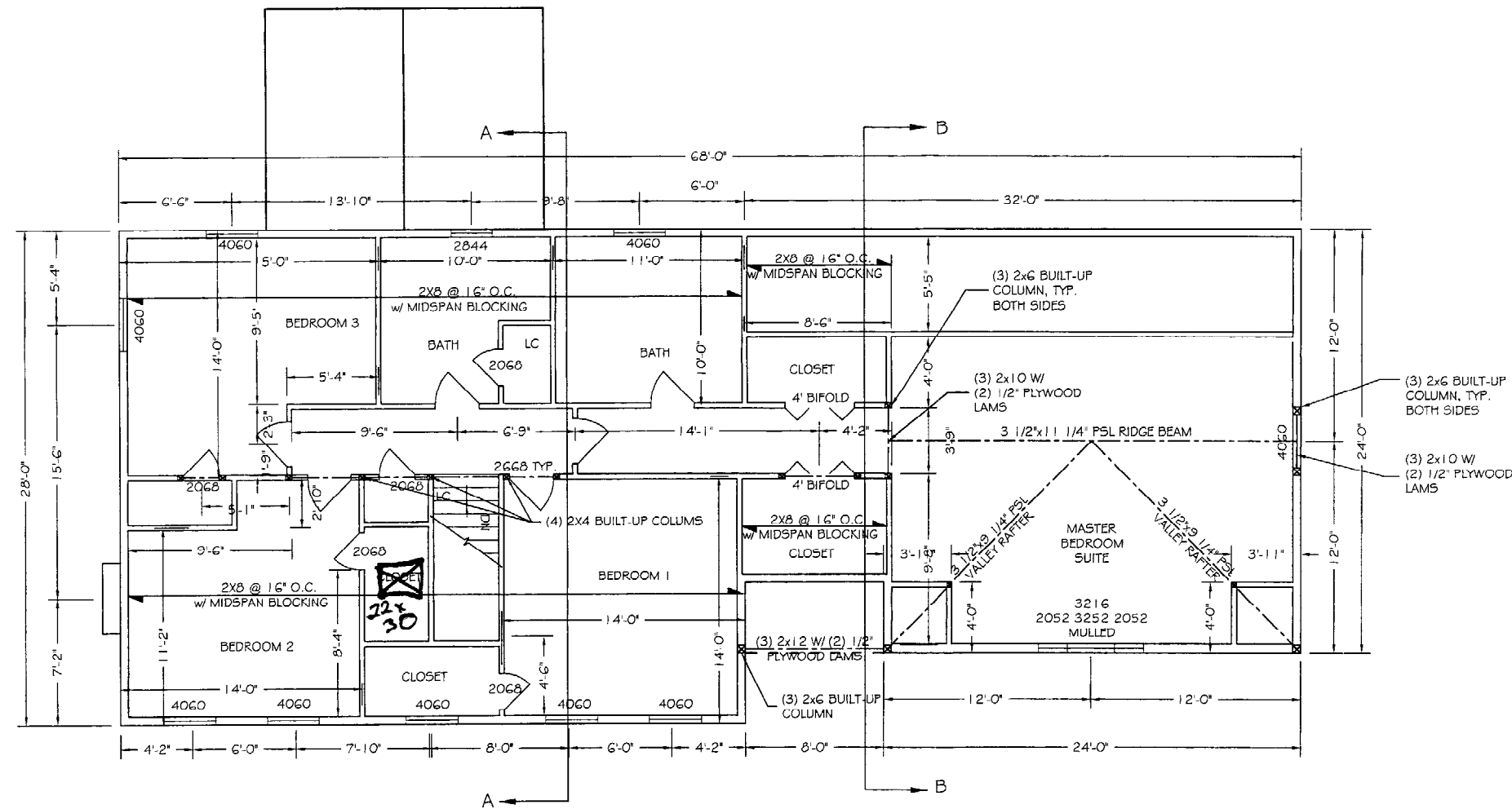
THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS SIZES FOR NEW OR MODIFIED STRUCTURE ONLY. DESIGN AND DETAIL FOR FOUNDATION ELEMENTS, FRAMING CONNECTIONS (UNLESS OTHERWISE NOTED), COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL.



ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpinc-engineering.com

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PROJECT: **HOPE AVE. II**
HOPE AVE.
 FOR: VESTA, CORP.
 SHEET TITLE: **CEILING FRAMING PLAN**



- NOTES:
1. ALL PSL'S ARE 2.0 E. PARALLAM UNLESS OTHERWISE NOTED.
 2. ALL LVL'S ARE 1.9E MICROLAM LVL'S UNLESS OTHERWISE NOTED.
 3. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS" † SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD.
 4. QUANTITY OF 2x BUILT-UP POSTS ARE NUMBER REQ'D @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
 5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
 6. GENERAL CONTRACTOR TO COMPLY WITH BOCA 1999 TABLE 2305.2 FASTENING SCHEDULE.

NOTE:
 INTERIOR HEADER @ SECOND FLOOR TO BE:
 (2) 2x8 W/ (1) 1/2" PLYWOOD LAM UNLESS OTHERWISE NOTED.
 EXTERIOR HEADERS @ SECOND FLOOR TO BE:
 (3) 2x10 W/ (2) 1/2" PLYWOOD LAMS UNLESS OTHERWISE NOTED

CEILING FRAMING PLAN
 SCALE: 1/4" = 1'-0"

NO.	BY	REVISIONS DESCRIPTION	DATE

DATE: 02/02/04
 SCALE: 1/4" = 1'-0"
 DESIGN BY: CMB
 DRAWN BY: AL
 FILE #: 04009-FLOORPLANFRAMING.dwg
 PROJECT NUMBER:
04009
 SHEET NO:
S301