

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2004-0193

DRC Copy

Application I. D. Number

9/10/2004

Application Date

Hope Ave (lot #8)

Project Name/Description

Goldeneye Corp

Applicant

662 East Bridge St, Westbrook, ME 04092

Applicant's Mailing Address

*Rec'd
9-16*

148 - 148 Hope Ave , Portland, Maine

Address of Proposed Site

392 A008001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ **Agent Fax:** _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

32963 sq ft

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Pla **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **9/15/2004**

DRC Approval Status:

Reviewer *Jay Royall*

- Approved
- Approved w/Conditions**
See Attached
- Denied

Approval Date **9-17-04** Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance **9-17-04** *Jay Royall* signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
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SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH:

OTHER USES: 80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.



Design: WHS	Date: JULY 04
Draft: CAH	Job No.: 1043
Checked: AMP	Scale: NTS
File Name: 98089-ALL-LOTS	

GP	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 15 Shaker Road Gray, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements
Project: PRESUMPCOT RIVER PLACE

Figure No. 1



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

LOT 7

LOT 8
32,963 S.F.
0.76 AC.

14' SIDE
SETBACK

14' SIDE
SETBACK

LOT 9

LOT OWNER SHALL HAVE
SURVEYOR LOCATE UNDISTURBED
ZONE IN THE FIELD AND
ARRANGE FOR INSPECTION OF
CLEARING LIMITS BY ENGINEER
PRIOR TO CLEARING

REFER TO
BUILDING PLANS
FOR DIMENSIONS

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 9-17-04

INV. 86.5 MIN.
2-STORY
SINGLE FAMILY
RESIDENCE
FFE 93.00

2 CAR
GARAGE
FFE 91.75

CHIMNEY

3/4" DOMESTIC
WATER

6" SAN
L= 57'
S= 0.0104 MIN

DOUBLE CLEANOUT

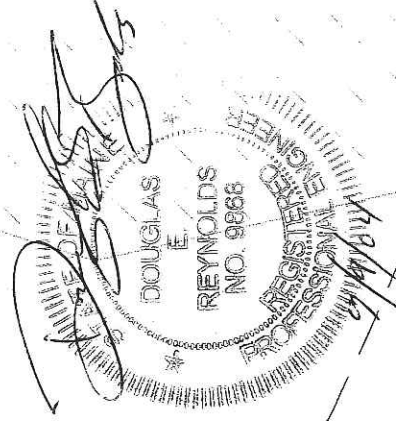
2 - 2.5" CAL.
RED MAPLES OR
EQUIVALENT

25' FRONT
SETBACK

PAVED DRIVEWAY WITH BARRIER
FREE RAMP FOR SIDEWALK PER
CITY OF PORTLAND DETAILS

HOPE AVENUE

LOCATION OF
INSTALLED LIGHT
POLE



1 inch = 30 ft.

Design:	WHS	Date:	JULY 04
Draft:	CAH	Job No.:	1043
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP
Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
207-657-6810
207-657-6577
E-Mail: mail@gorrillpalmer.com

P.O. Box 1237
15 Sater Road
Orono, ME 04469

Drawing Name:

Lot 8 Site and Utility Plan

Project:

PRESUMPCOT RIVER PLACE

Figure No.

2



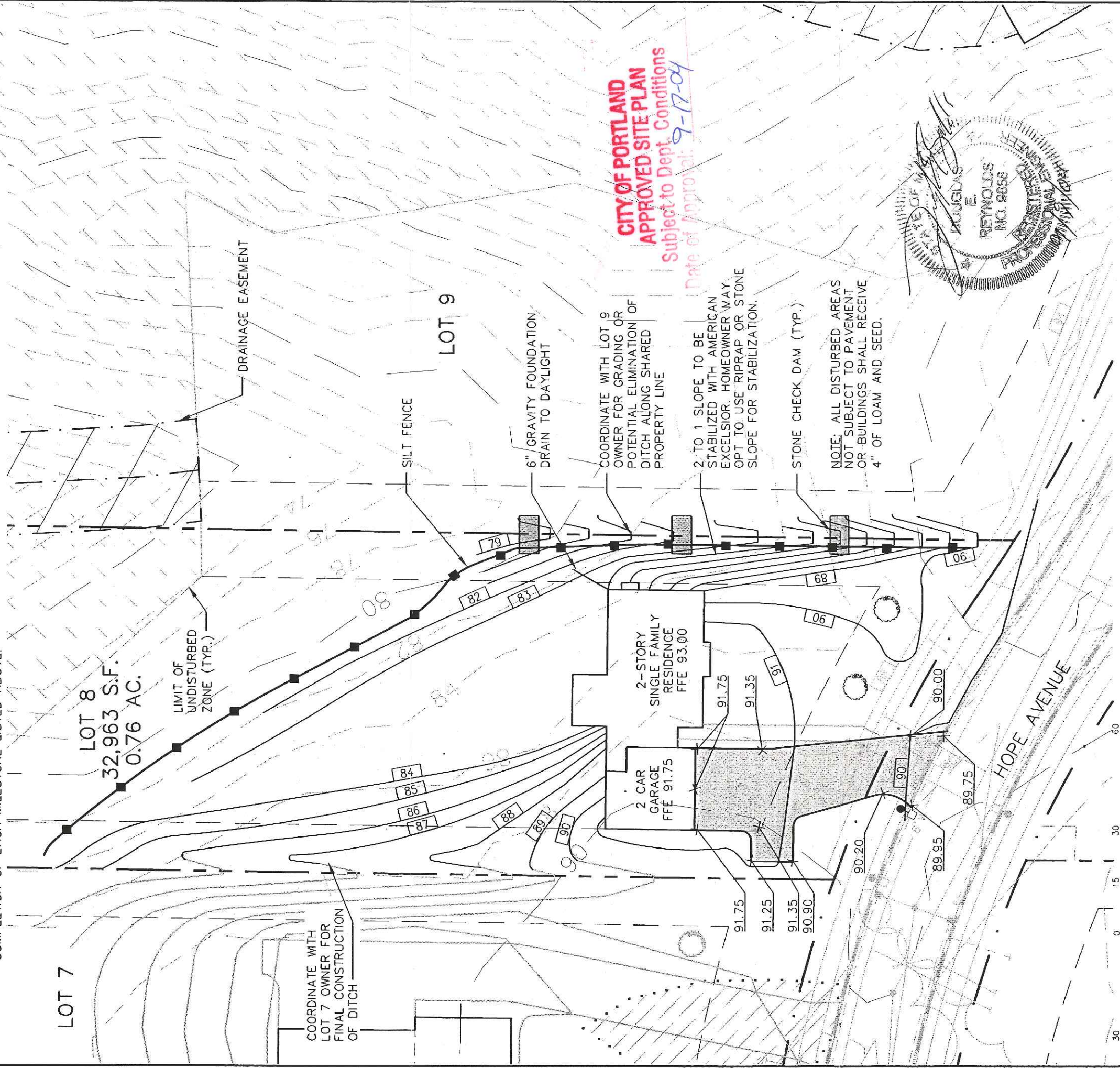
NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

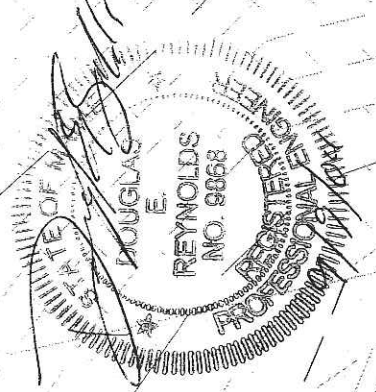
- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION

-PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. IT IS THE HOME OWNER'S RESPONSIBILITY TO NOTIFY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT A MINIMUM OF 24 HOURS PRIOR TO COMPLETION OF EACH MILESTONE LISTED ABOVE.



CITY OF PORTLAND
APPROVED SITE PLAN
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2. TO 1 SLOPE TO BE STABILIZED WITH AMERICAN EXCELSIOR. HOMEOWNER MAY OPT TO USE RIPRAP OR STONE SLOPE FOR STABILIZATION.

NOTE: ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.



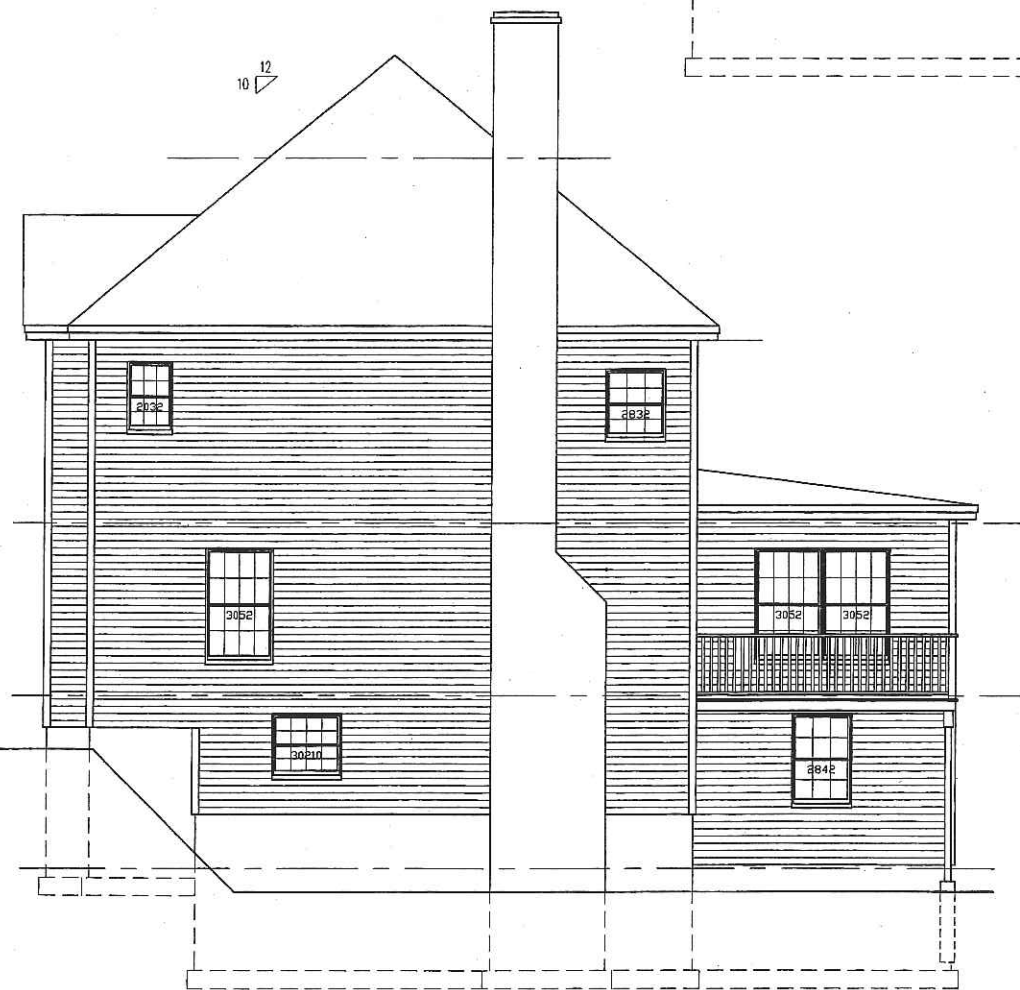
Design:	WHS	Date:	JULY 04
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Checked:	AMP	Scale:	1"=30'
File Name:	98099-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Saker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mail@gorrillpalmer.com

Drawing Name: **Lot 8 Grading and Drainage Plan**
 Project: **PRESUMPCOT RIVER PLACE**



FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

2.)

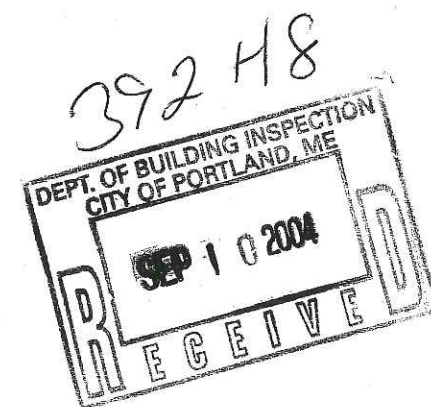
No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

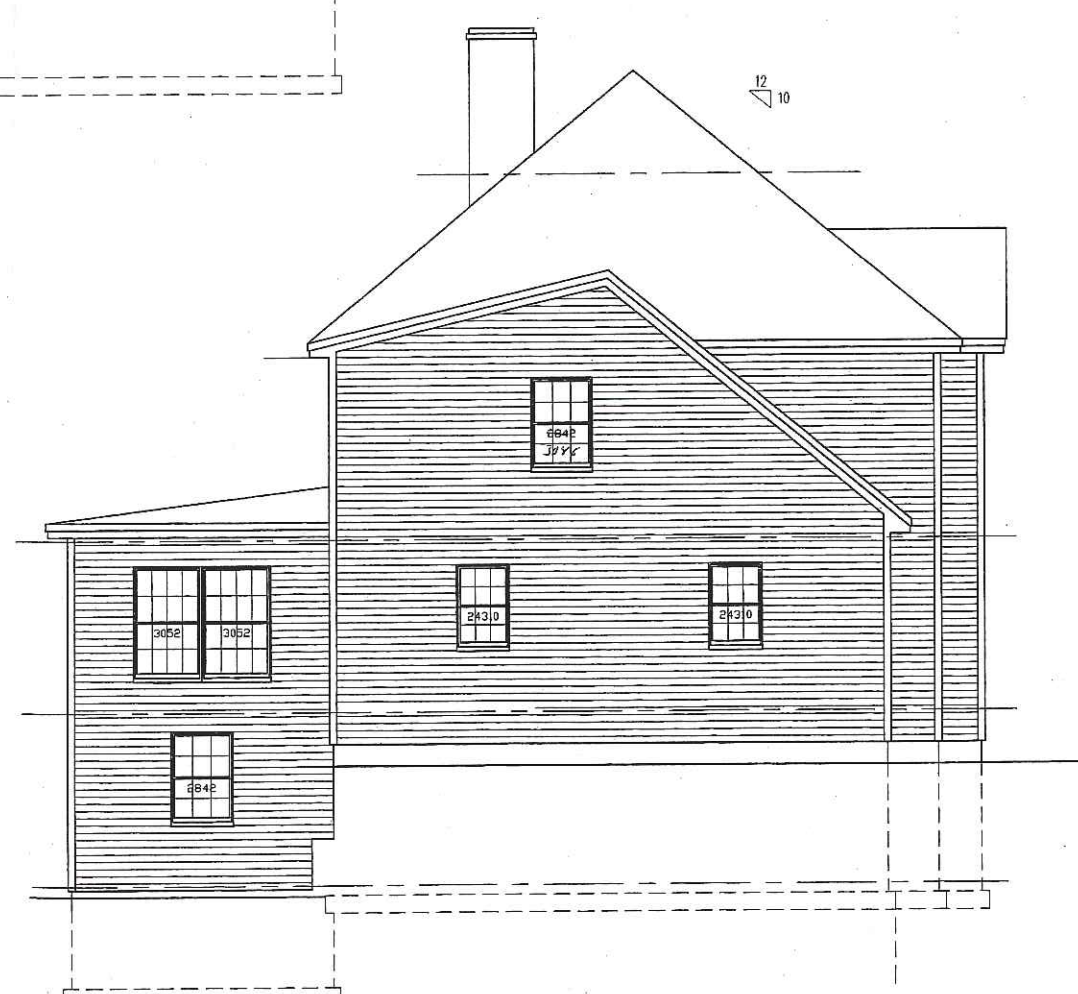
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 1 OF 6
Drawing Title: FRONT/LEFT ELEVATIONS	Date: 06/25/04
Scale: 1/4" = 1'-0"	





REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

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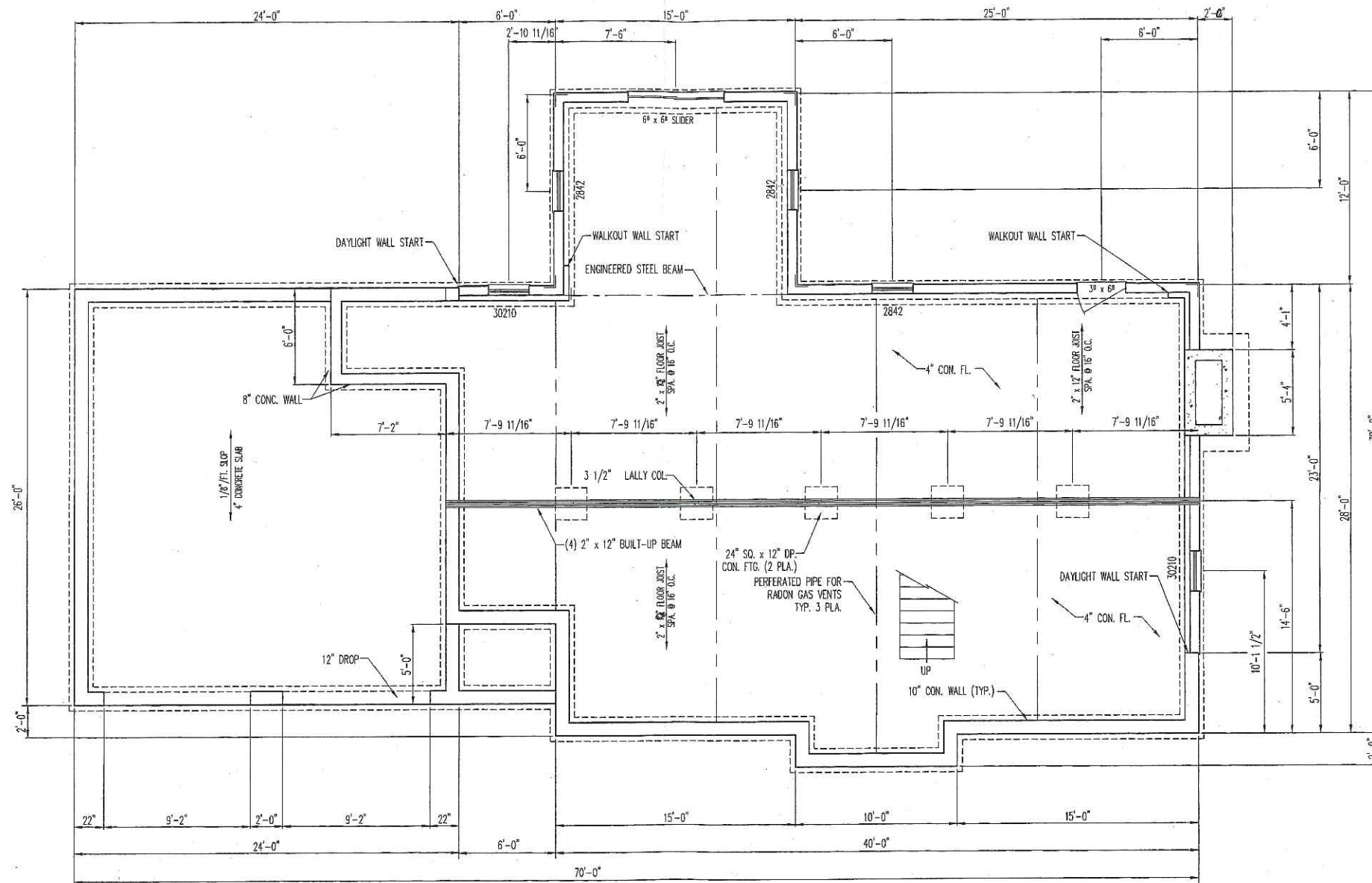
No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
285 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 2 OF 6
Drawing Title: REAR/RIGHT ELEVATIONS	Date: 06/25/04
Scale: 1/4" = 1'-0"	



FOUNDATION PLAN
1/4" = 1'-0"

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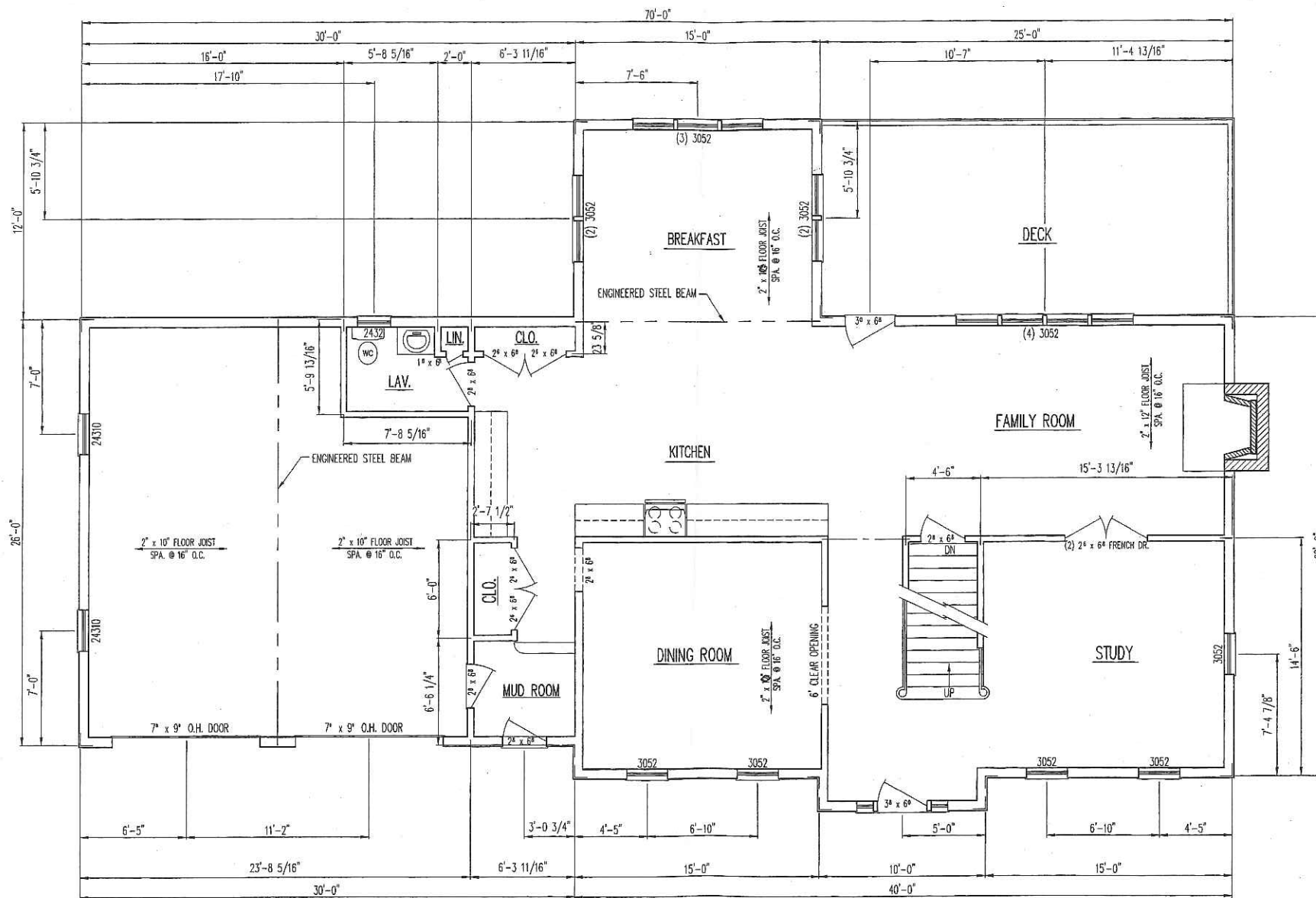
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 3 OF 6
Drawing Title: FOUNDATION PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



1 st FLOOR PLAN
1/4" = 1'-0"

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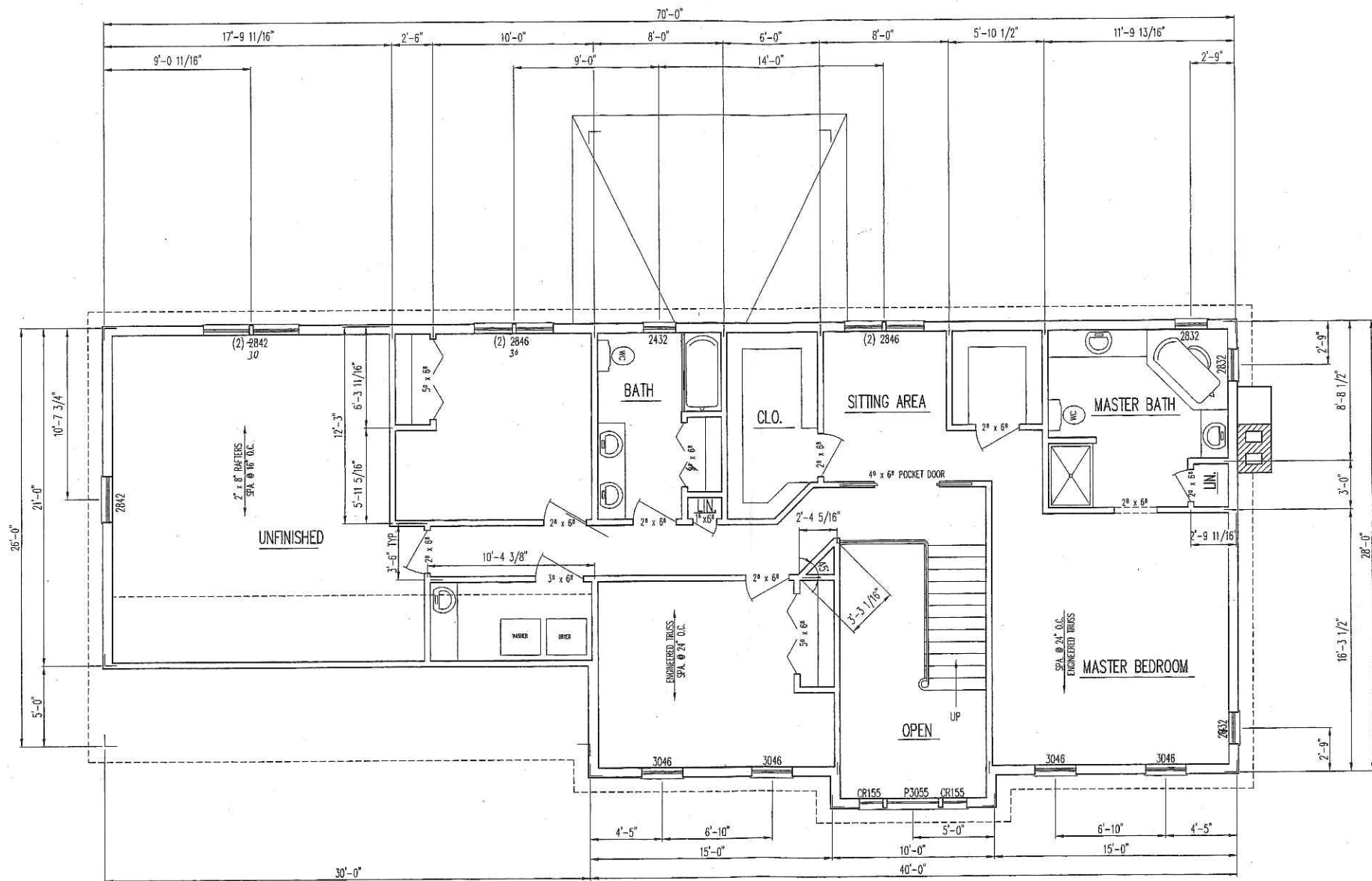
MAINE DRAFTING SERVICES

288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No: 04MDS002	Sheet: 4 OF 6
Drawing Title: FIRST FLOOR PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



2nd FLOOR PLAN
1/4" = 1'-0"

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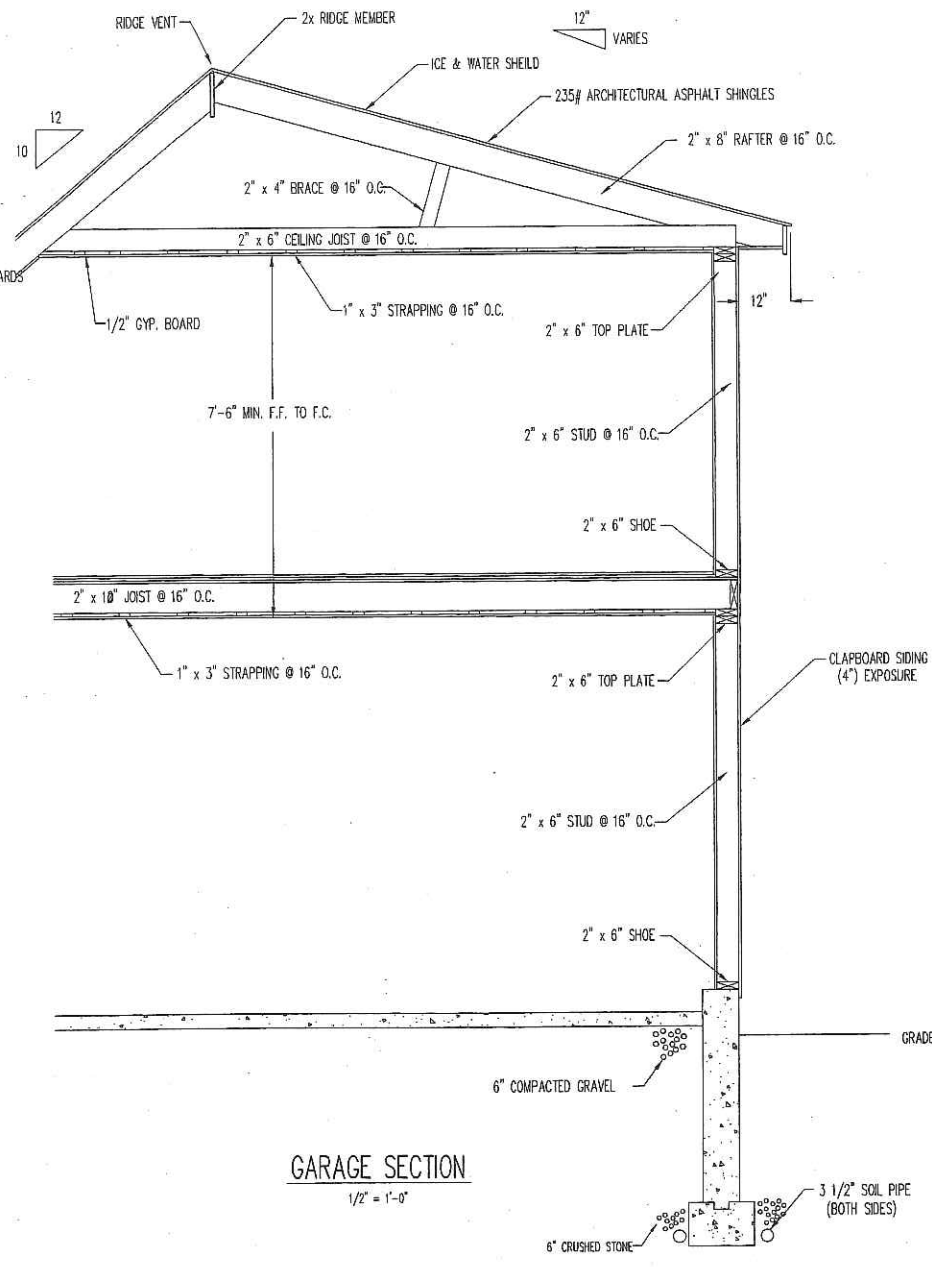
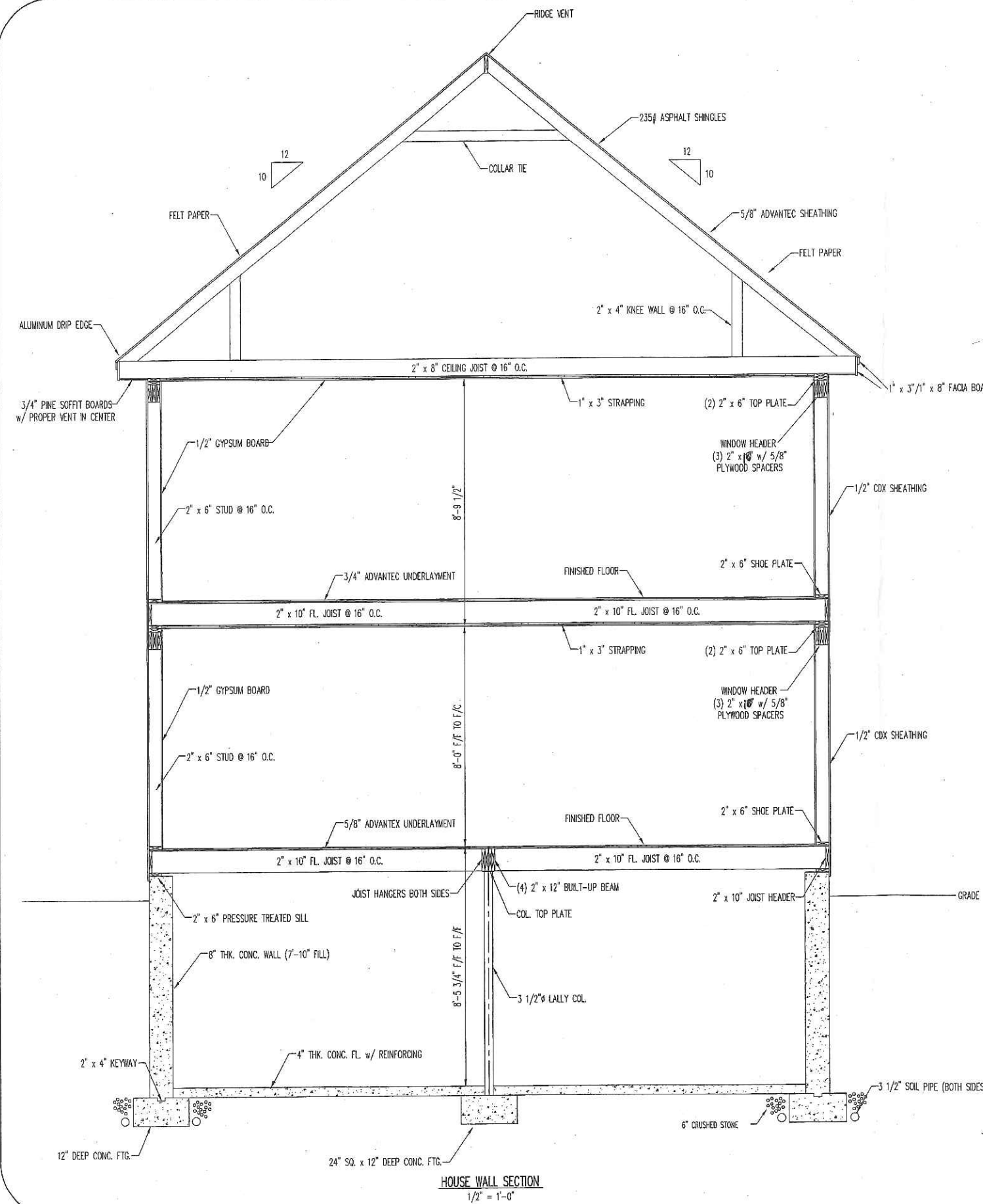
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 5 OF 6
Drawing Title: SECOND FLOOR PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



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Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 6 OF 6
Drawing Title: SECTION VIEWS	Date: 06/25/04
Scale: 1/2" = 1'-0"	

**CITY OF PORTLAND, MAINE
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Check Review Required:

- | | | | |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
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| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 9/15/2004

DRC Approval Status:

Reviewer *Jay Reynolds*

- Approved Approved w/Conditions
See Attached Denied

Approval Date 9-17-04 Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance 9-17-04 *Jay Reynolds* signature date

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- | | | | |
|--------------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
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| | date | amount | expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input checked="" type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input checked="" type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
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| | submitted date | amount | expiration date |
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SPACE AND BULK REQUIREMENTS – R-2 ZONE

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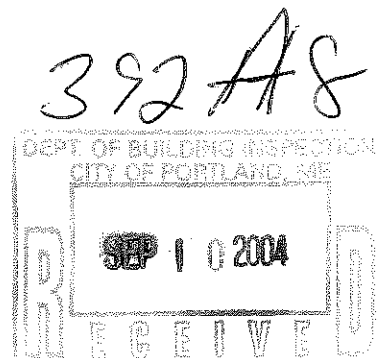
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Drawing Name: Space & Bulk Requirements
Project: PRESUMPCOT RIVER PLACE

Figure No. 1



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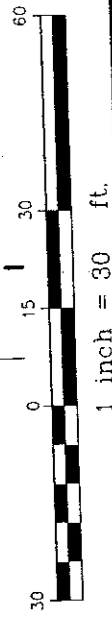
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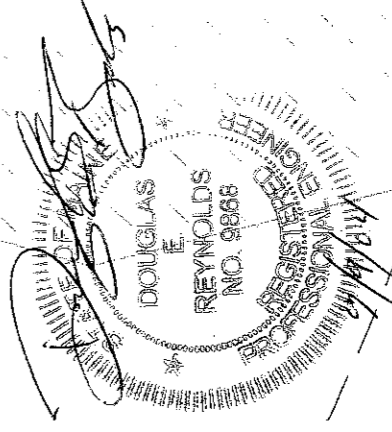
PAVED DRIVEWAY WITH BARRIER
FREE RAMP FOR SIDEWALK PER
CITY OF PORTLAND DETAILS

LOCATION OF
INSTALLED LIGHT
POLE

HOPE AVENUE



**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 7-17-04



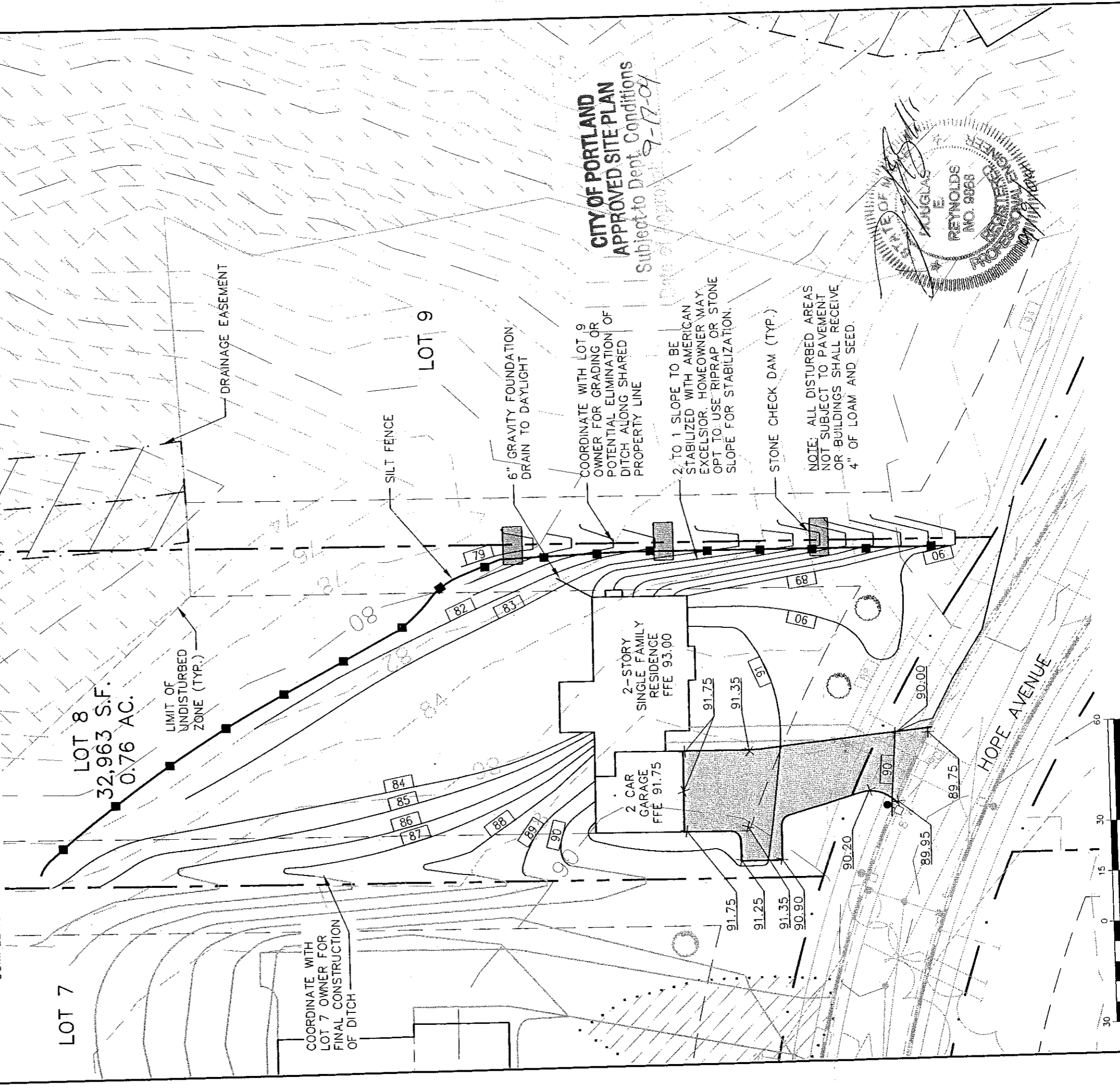


NOTE:

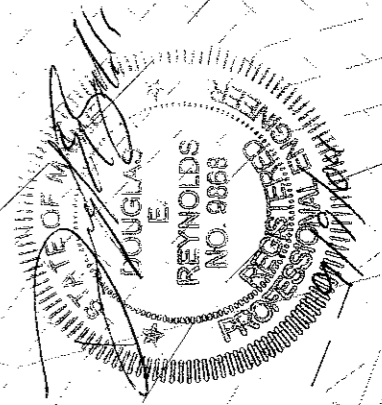
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- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. IT IS THE HOME OWNER'S RESPONSIBILITY TO NOTIFY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT A MINIMUM OF 24 HOURS PRIOR TO COMPLETION OF EACH MILESTONE LISTED ABOVE.



**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
9-17-04



NOTE: ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.

1 inch = 30 ft.

Design:	WHS	Date:	JULY 04
Drawn:	CAH	Job No.:	1043

GP Corрил-Palmer Consulting Engineers, Inc.
20 Box Road
15 Gray, ME 04039

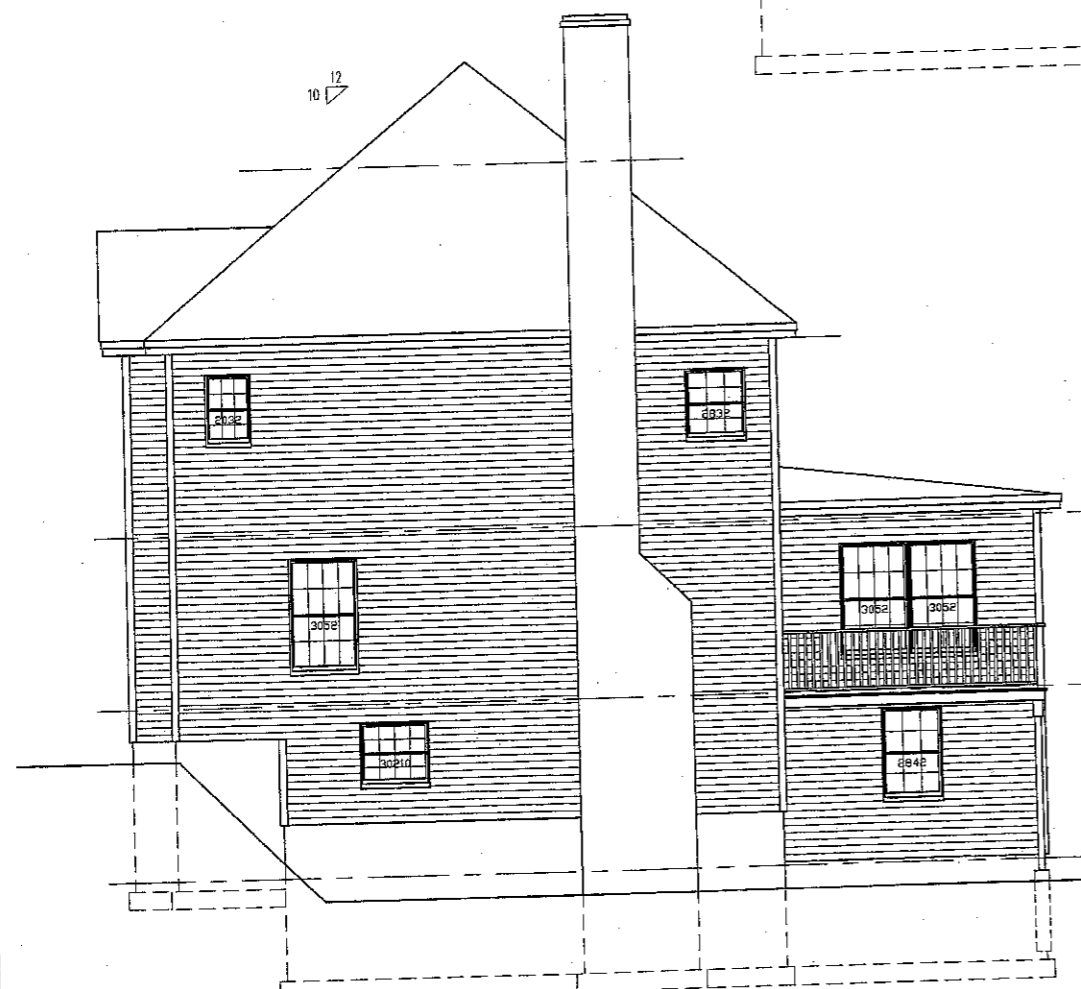
Drawing Name: Lot 8 Grading and Drainage Plan

Figure No.

3



FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

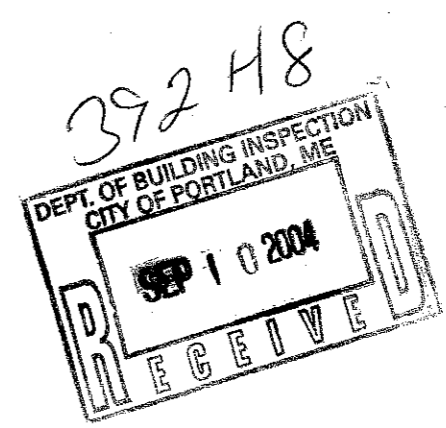
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

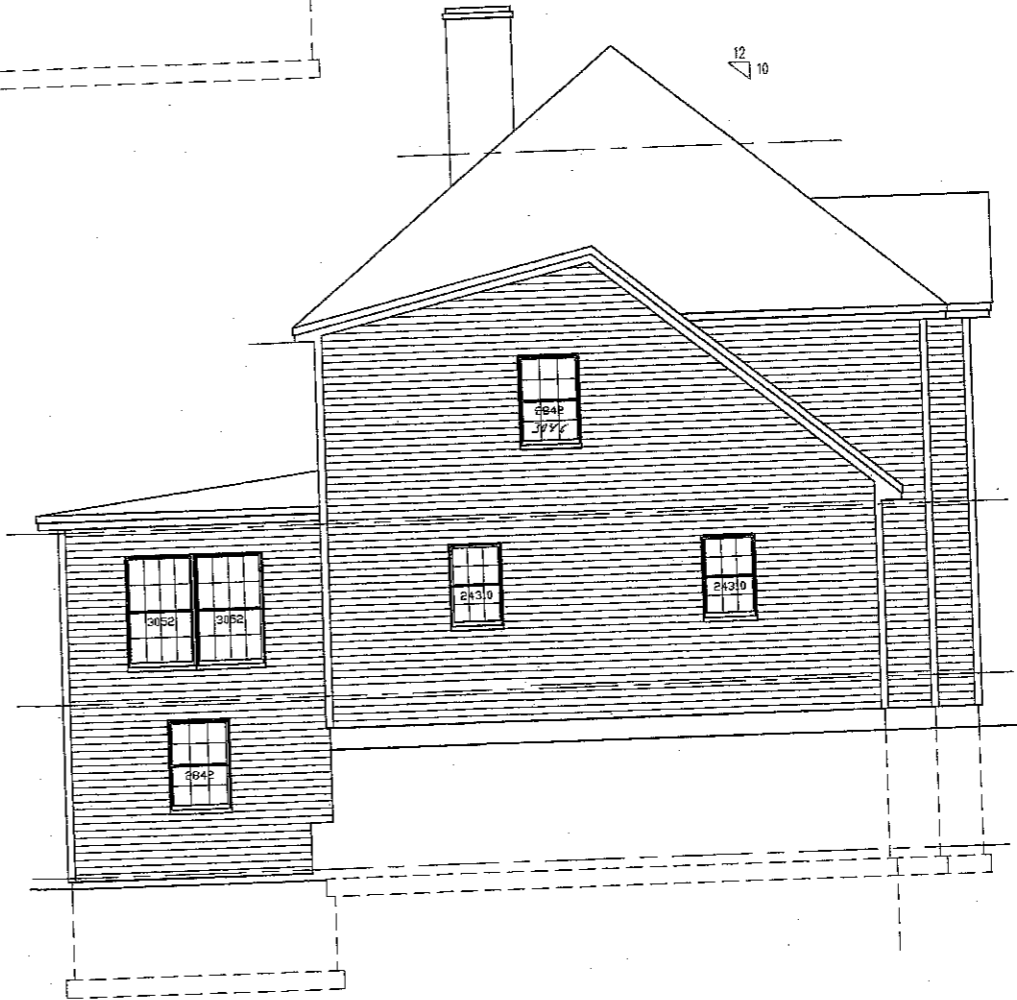
STEVE SMITH
PORTLAND, MAINE



Drawing No.: G4MDS002	Sheet: 1 OF 6
Drawing Title: FRONT/LEFT ELEVATIONS	Date: 06/25/04
Scale: 1/4" = 1'-0"	



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

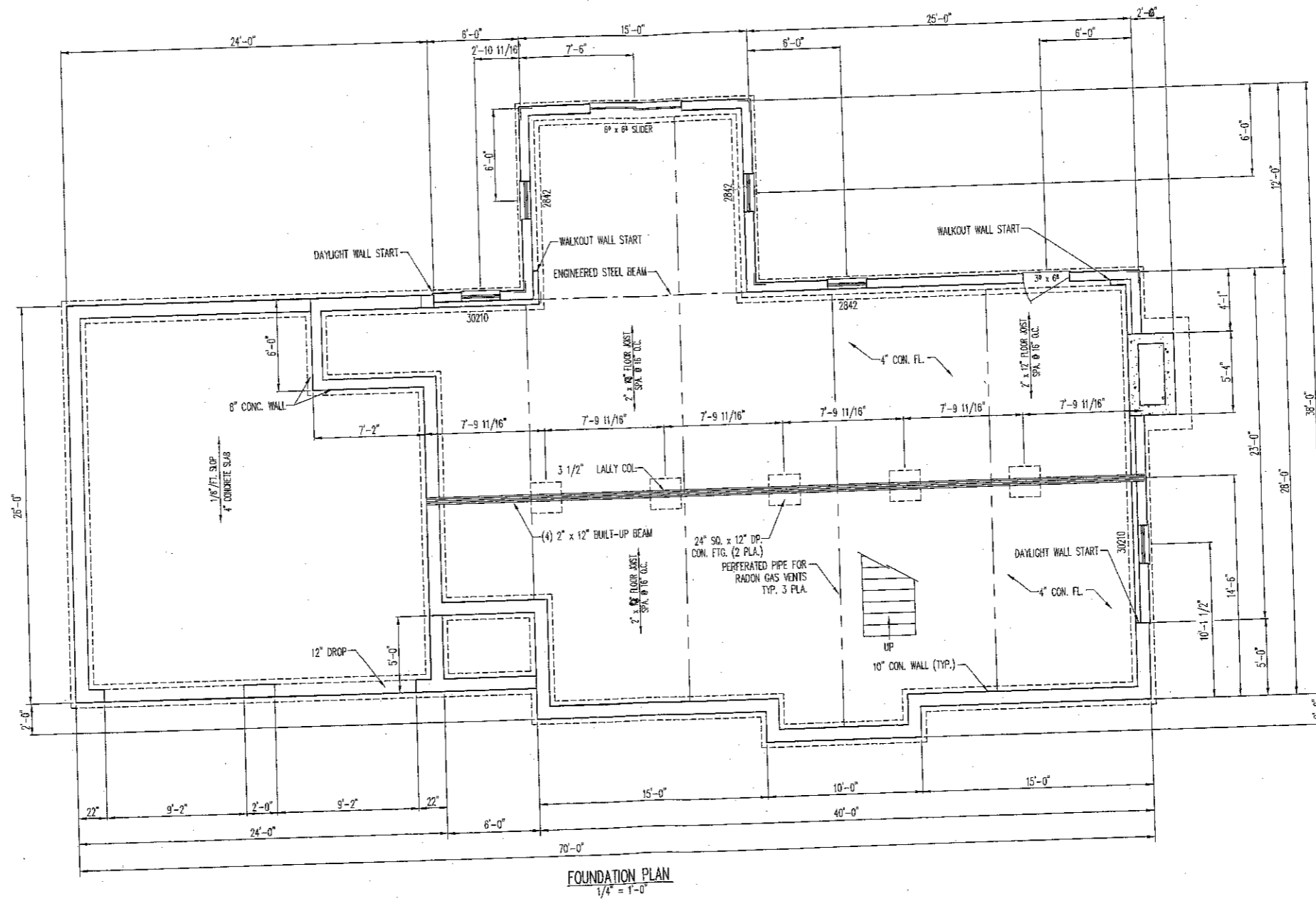
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 2 OF 6
Drawing Title: REAR/RIGHT ELEVATIONS	Date: 06/25/04
Scale: 1/4" = 1'-0"	



General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

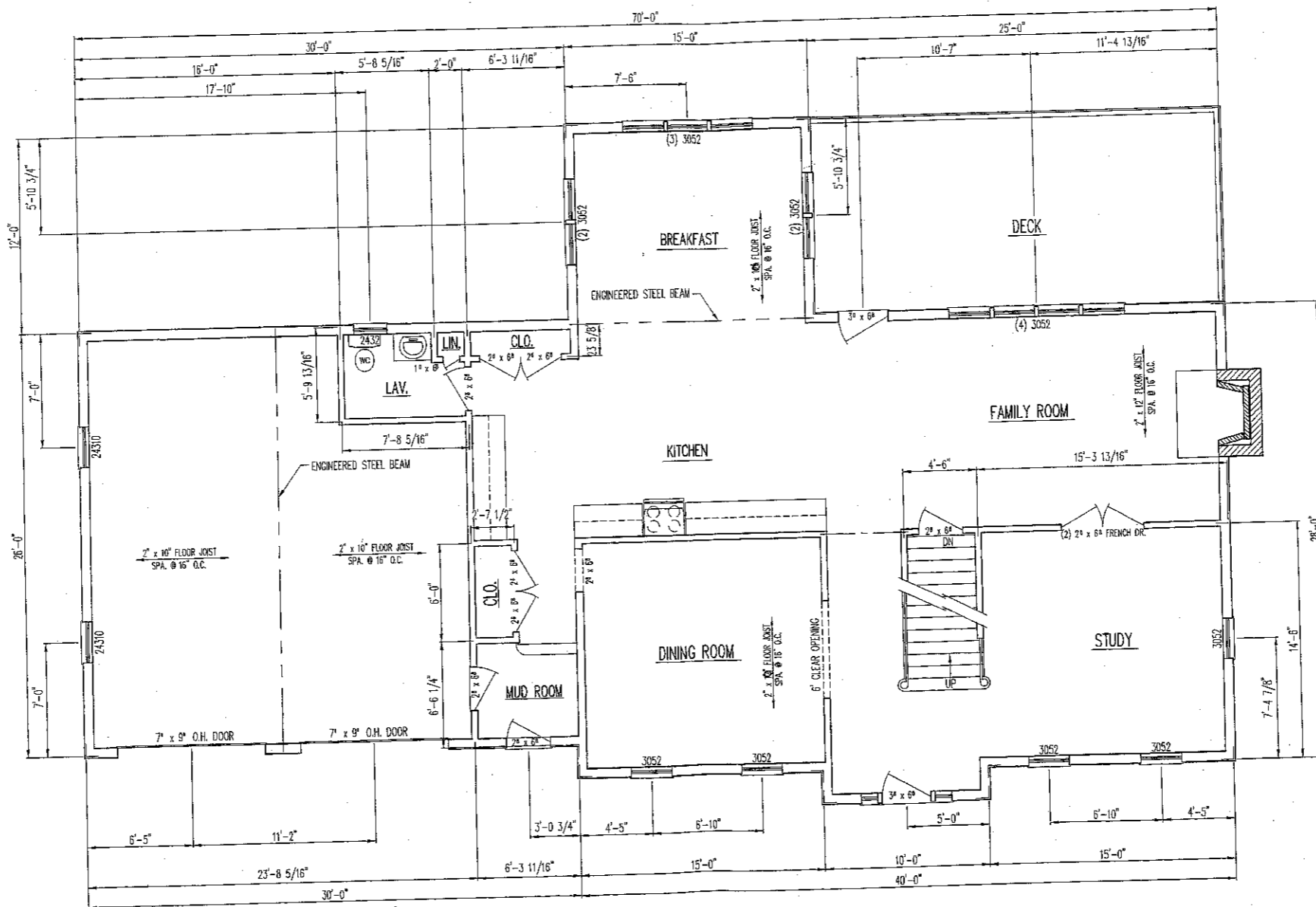
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No: 04MDS002	Sheet: 3 OF 6
Drawing Title: FOUNDATION PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



1 st FLOOR PLAN
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

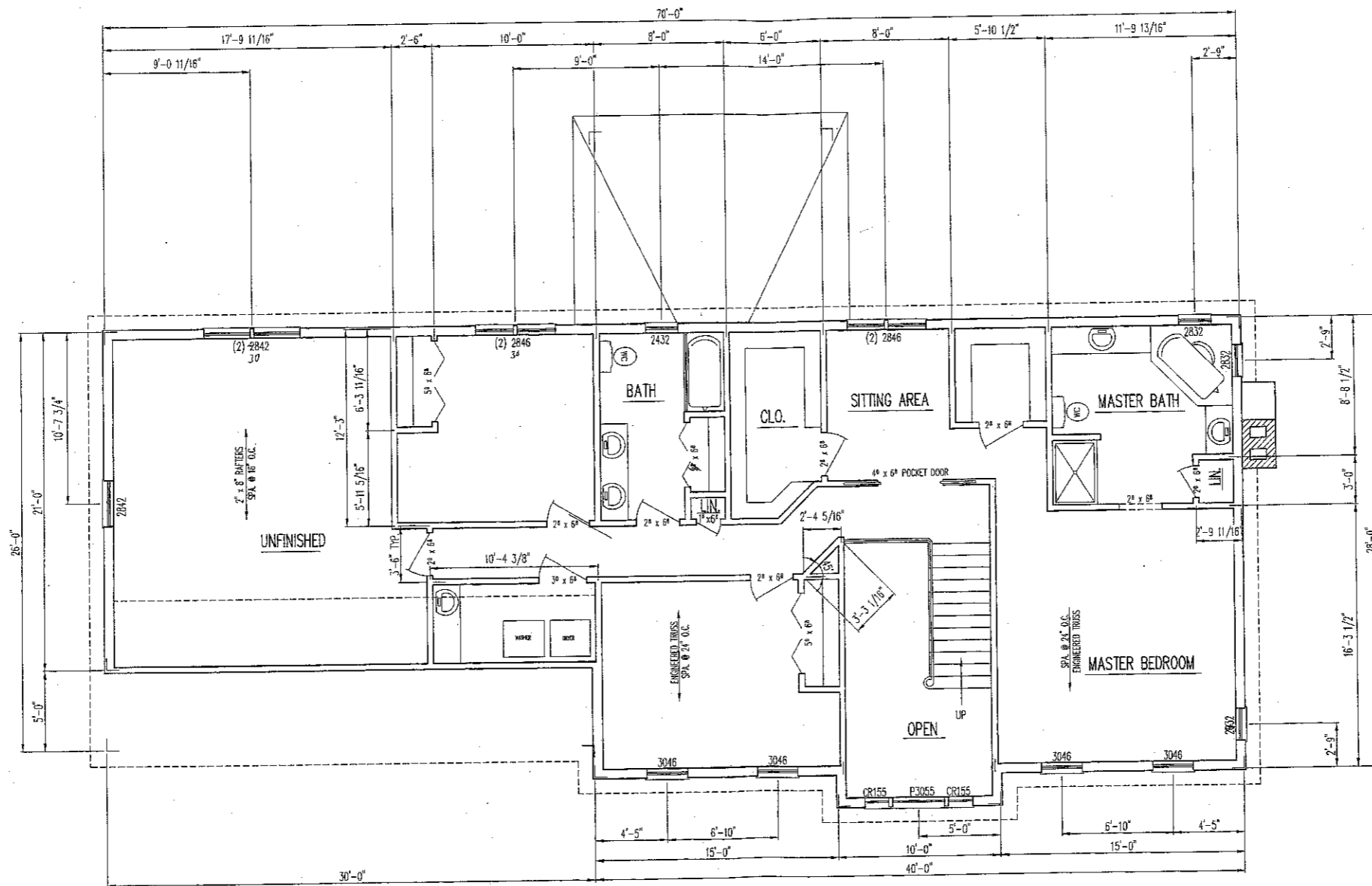
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04ND03002	Sheet: 4 OF 6
Drawing Title: FIRST FLOOR PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



2nd FLOOR PLAN
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWING ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

2.)

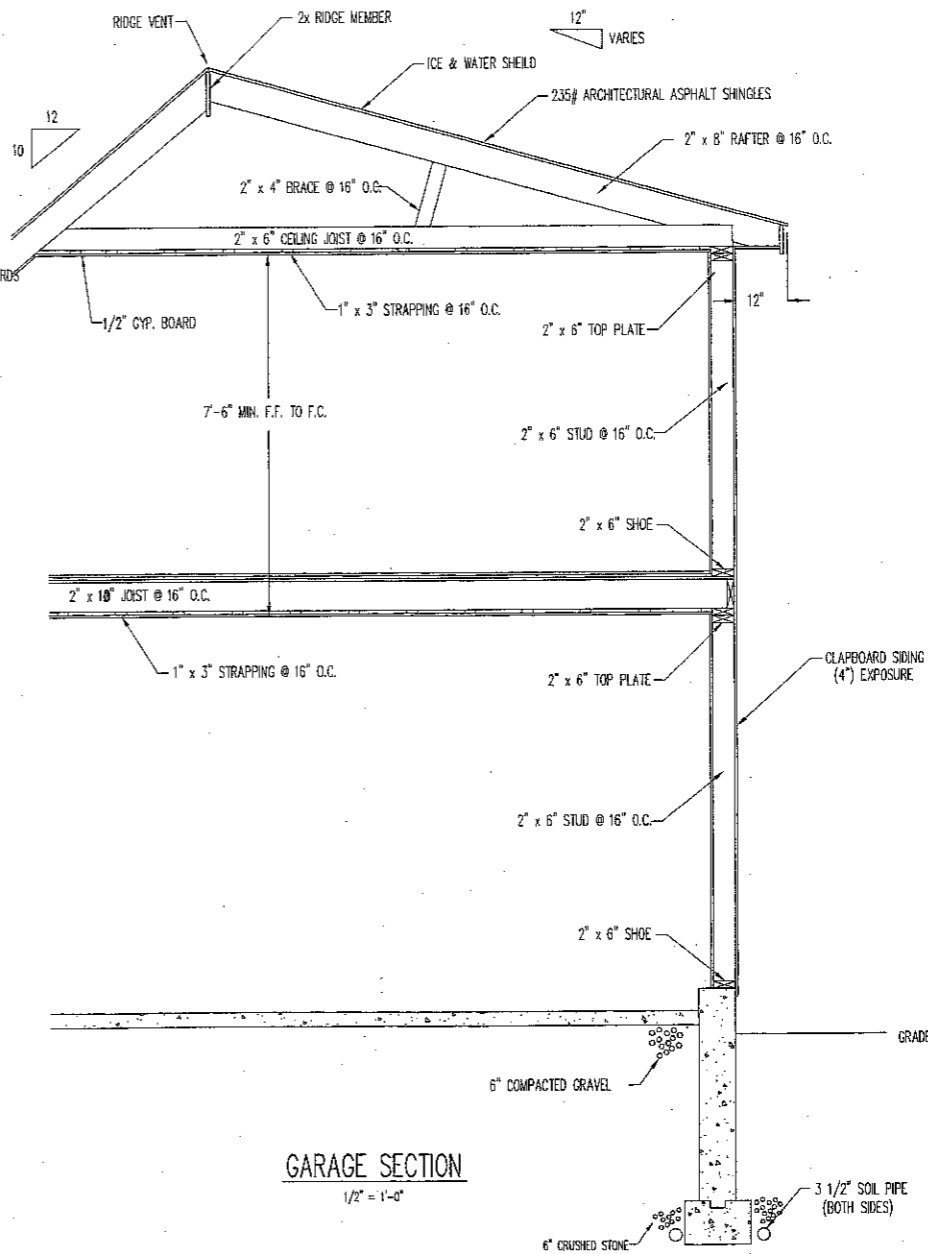
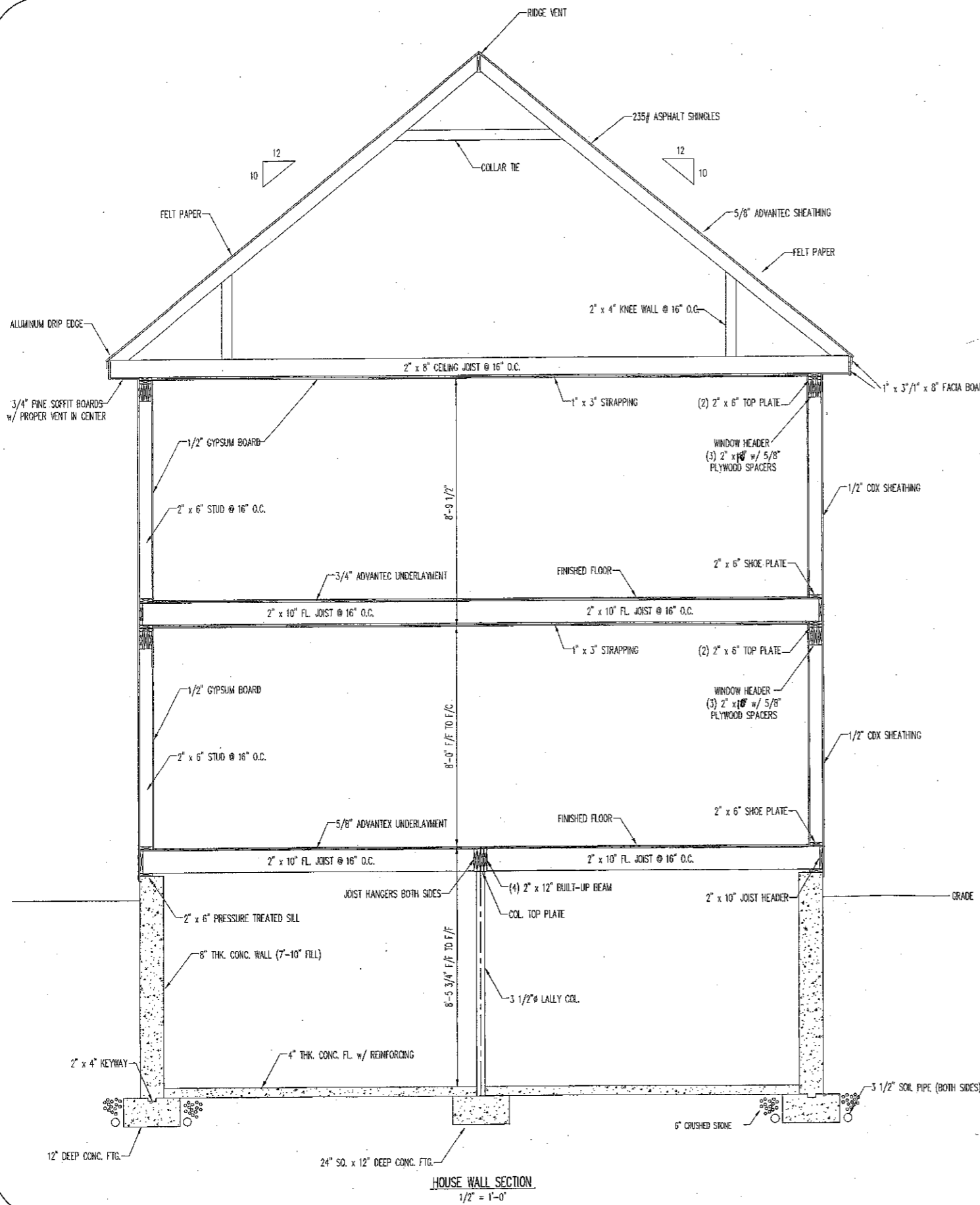
No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 5 OF 6
Drawing Title: SECOND FLOOR PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No:	04MDS002	Sheet:	6 OF 6
Drawing Title:	SECTION VIEWS	Date:	06/25/04
Scale:	1/2" = 1'-0"		

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

DRC Copy

*Rec'd
9-16*

2004-0193

Application I. D. Number

9/10/2004

Application Date

Hope Ave (lot #8)

Project Name/Description

Goldeneye Corp
Applicant
662 East Bridge St, Westbrook, ME 04092
Applicant's Mailing Address

148 - 148 Hope Ave, Portland, Maine

Address of Proposed Site

392 A008001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ 32963 sq ft _____
 Acreage of Site _____ Zoning _____

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 9/15/2004

Reviewer: *[Signature]*

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
 Approval Date 9-17-04 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance 9-17-04 *[Signature]* _____
 signature date

Performance Guarantee Required* Not Required
 * No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	80 FT.
OTHER USES:	

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.



Design:	WHS	Date:	JULY 04
Draft:	CAH	Job No.:	1043
Checked:	AMP	Scale:	NTS
File Name: 98089-ALL-LOTS			

GP Traffic and Civil Engineering Services
 PO Box 1237, 15 Shaker Road
 Gray, ME 04039
 207-657-6910

Drawing Name:
Space & Bulk Requirements
 Project:
PRESUMPCOT RIVER PLACE

Figure No.

1



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

LOT 7

LOT 8
32,963 S.F.
0.76 AC.

LOT 9

LOT OWNER SHALL HAVE SURVEYOR LOCATE UNDISTURBED ZONE IN THE FIELD AND ARRANGE FOR INSPECTION OF CLEARING LIMITS BY ENGINEER PRIOR TO CLEARING

14' SIDE SETBACK

14' SIDE SETBACK

REFER TO BUILDING PLANS FOR DIMENSIONS

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 9-17-04

CHIMNEY

INV. 86.5 MIN.

2-STORY SINGLE FAMILY RESIDENCE
FFE 93.00

2 CAR GARAGE
FFE 91.75

3/4" DOMESTIC WATER

6" SAN
L= 57'
S= 0.0104 MIN

DOUBLE CLEANOUT

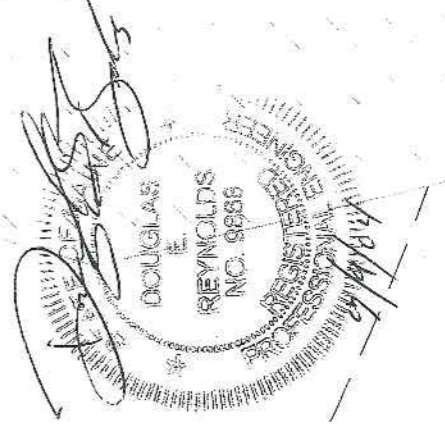
2 - 2.5" CAL. RED MAPLES OR EQUIVALENT

25' FRONT SETBACK

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALK PER CITY OF PORTLAND DETAILS

LOCATION OF INSTALLED LIGHT POLE

HOPE AVENUE



Design:	WHS
Draft:	CAH
Date:	JULY 04
Job No.:	1043

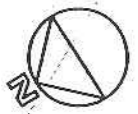
GP Gorrill-Palmer Consulting Engineers, Inc.
15 Suez Road
Orlando, FL 32835
407-657-6910

Drawing Name: **Lot 8 Site and Utility Plan**

Project: **REYNOLDS DRIVE PLACEMENT**

Figure No.

2



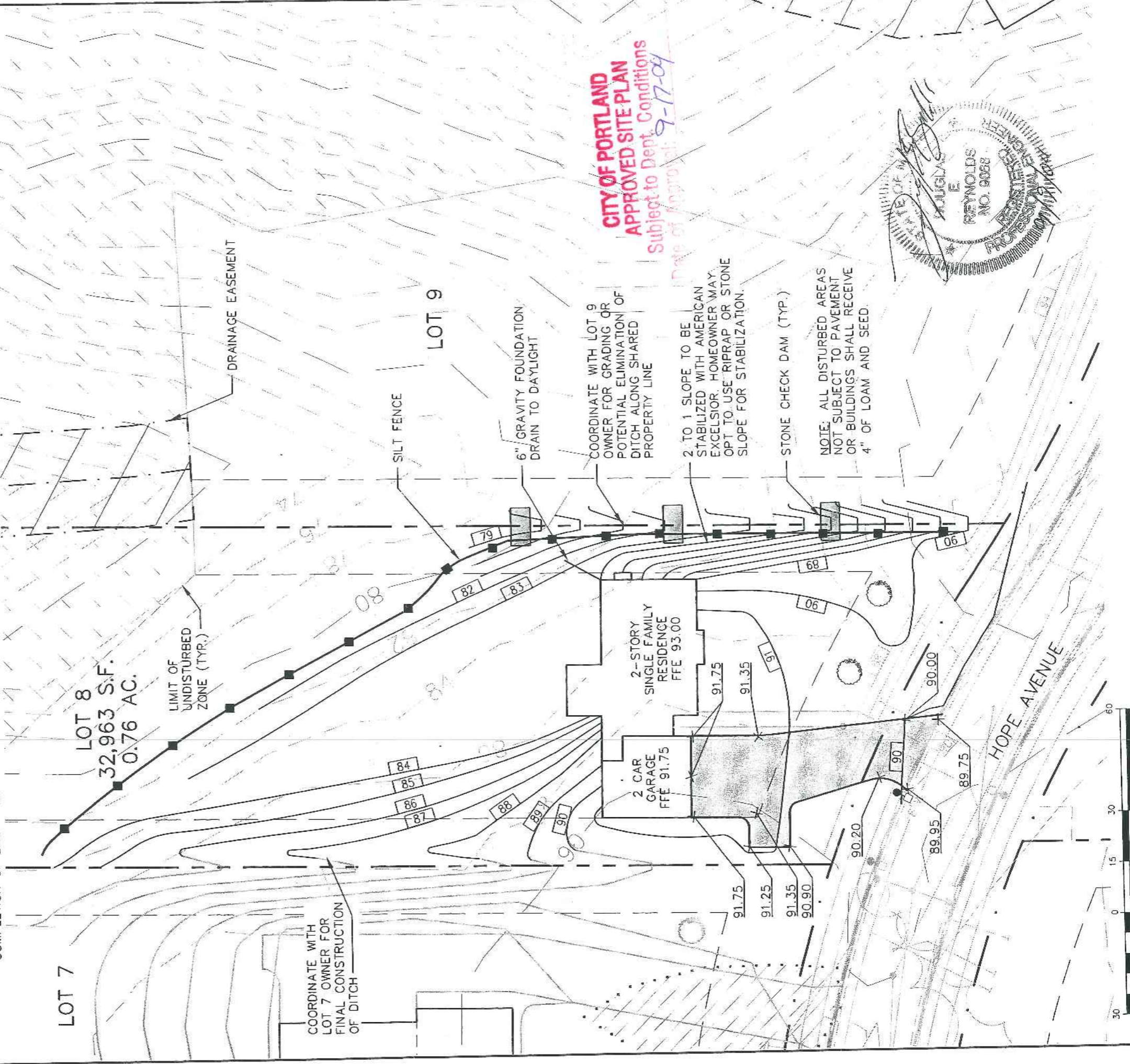
NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

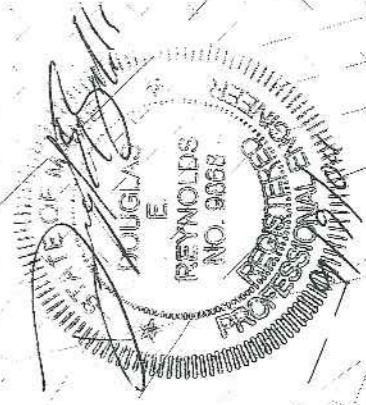
- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION

-PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. IT IS THE HOME OWNER'S RESPONSIBILITY TO NOTIFY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT A MINIMUM OF 24 HOURS PRIOR TO COMPLETION OF EACH MILESTONE LISTED ABOVE.



**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 9-17-04



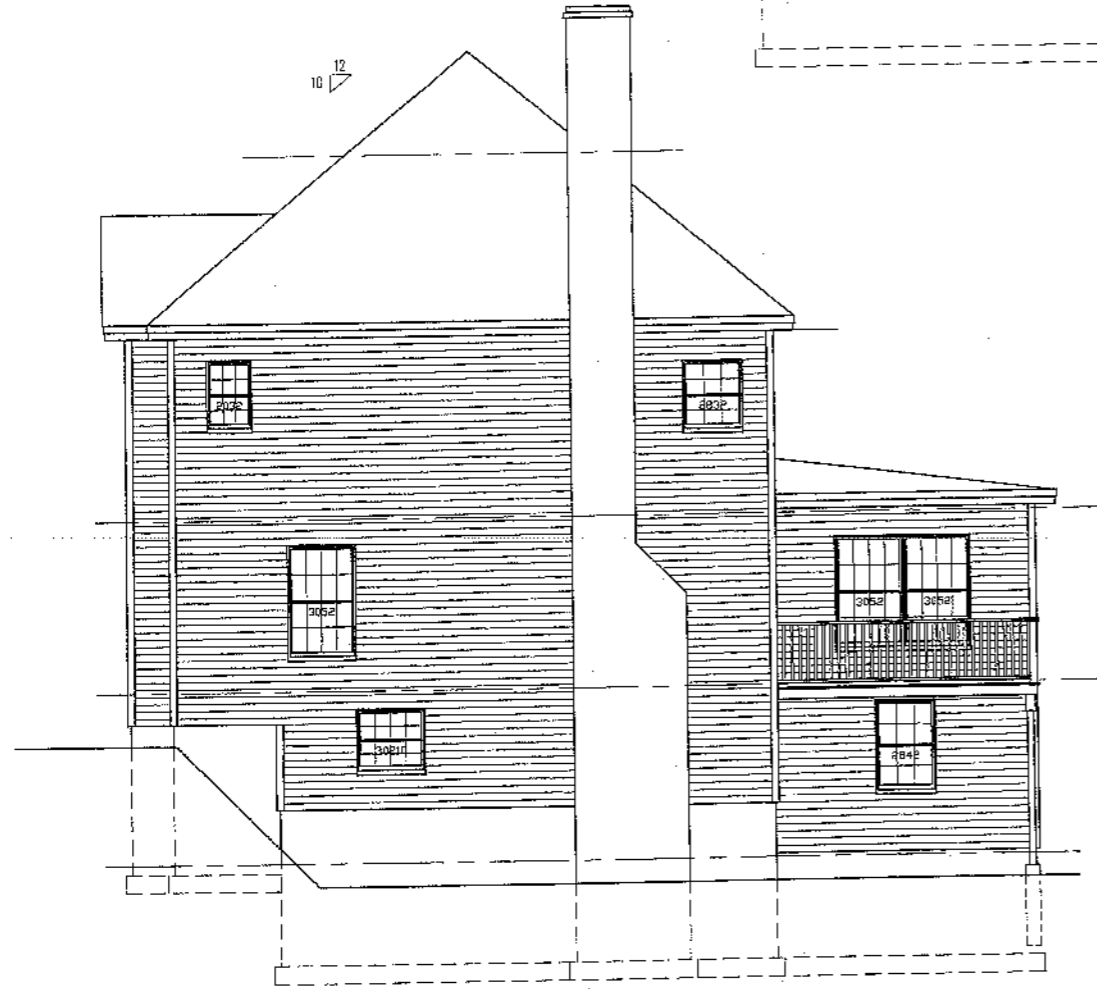
Design:	WHS	Date:	JULY 04
Draft:	CAH	Job No.:	1043

GP Gorrill-Palmer Consulting Engineers, Inc.
PO Box 1237
15 Saker Road
Boyer, AZ 85609
207-657-8800

Drawing Name: **Lot 8 Grading and Drainage Plan**
Project: **PREVIOUS SCAT RIVER PLACE**



FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

General Notes

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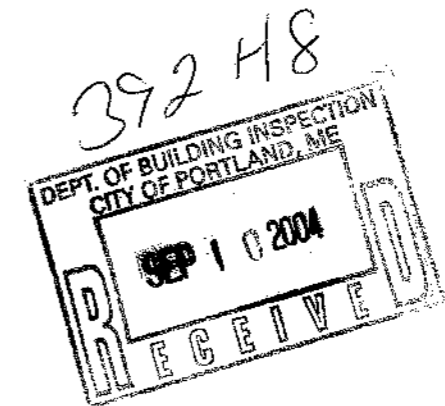
2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

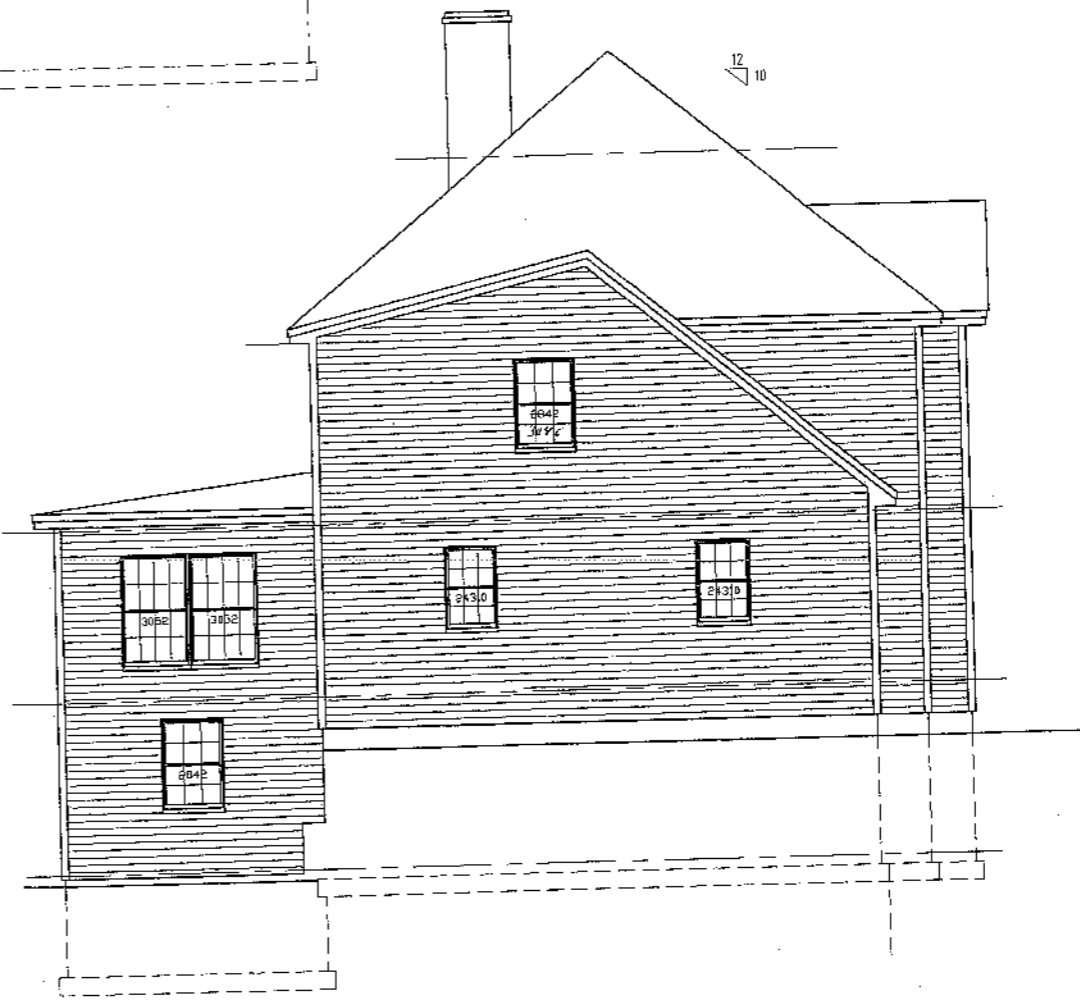
STEVE SMITH
PORTLAND, MAINE



Drawing No.: 04405202	Sheet: 1 OF 6
Drawing Title: FRONT/LEFT ELEVATIONS	Date: 06/25/04
Scale: 1/4" = 1'-0"	



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

General Notes

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No.	Revision/Issue	Date

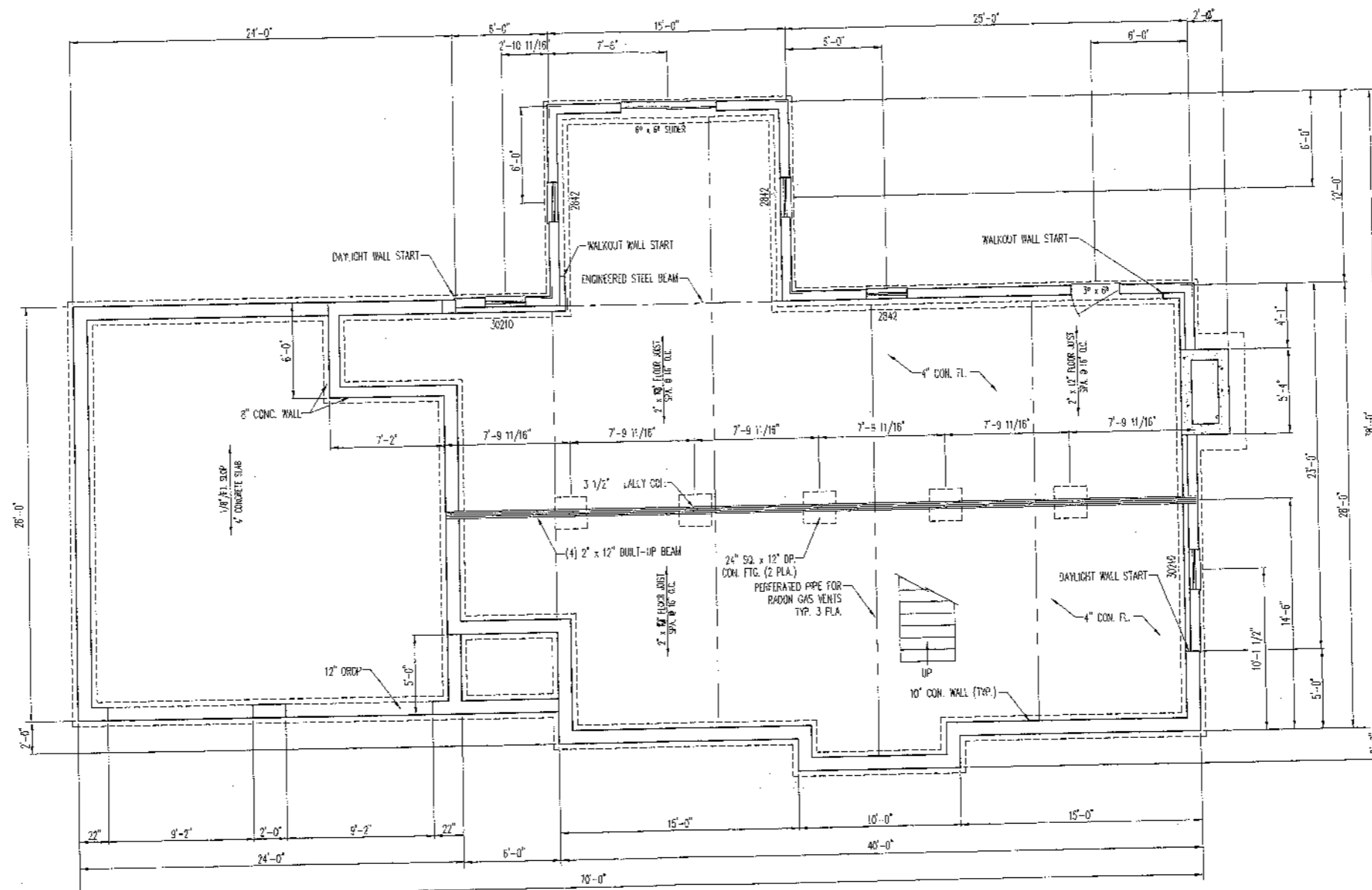
MAINE DRAFTING SERVICES

288 GREELY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No:	04MDS002	Sheet:	2 OF 6
Drawing Title:	REAR/RIGHT ELEVATIONS	Date:	06/25/04
Scale:	1/4" = 1'-0"		



FOUNDATION PLAN
1/4" = 1'-0"

General Notes

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2.)

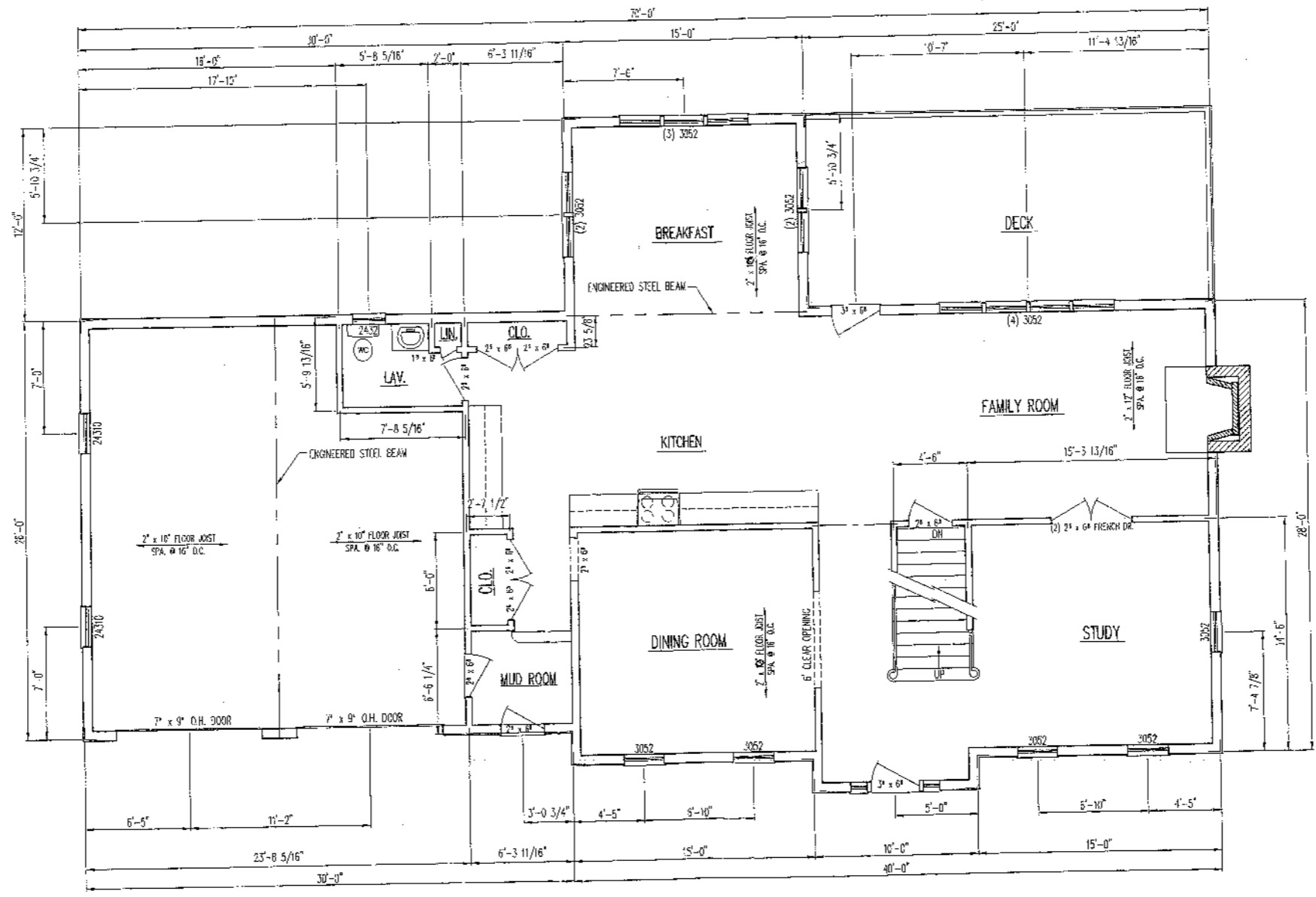
No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
286 GREELEY ROAD
CLUBBERLAND CENTER, MAINE 04021

Customer Name, Address

STEVE SMITH
PORTLAND, MAINE

Drawing No.: 04MDS02	Sheet: 3 OF 6
Drawing Title: FOUNDATION PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	



1st FLOOR PLAN
1/4" = 1'-0"

General Notes

1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMER'S SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS. THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWING ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HAWLESS OF ERRORS.

2.)

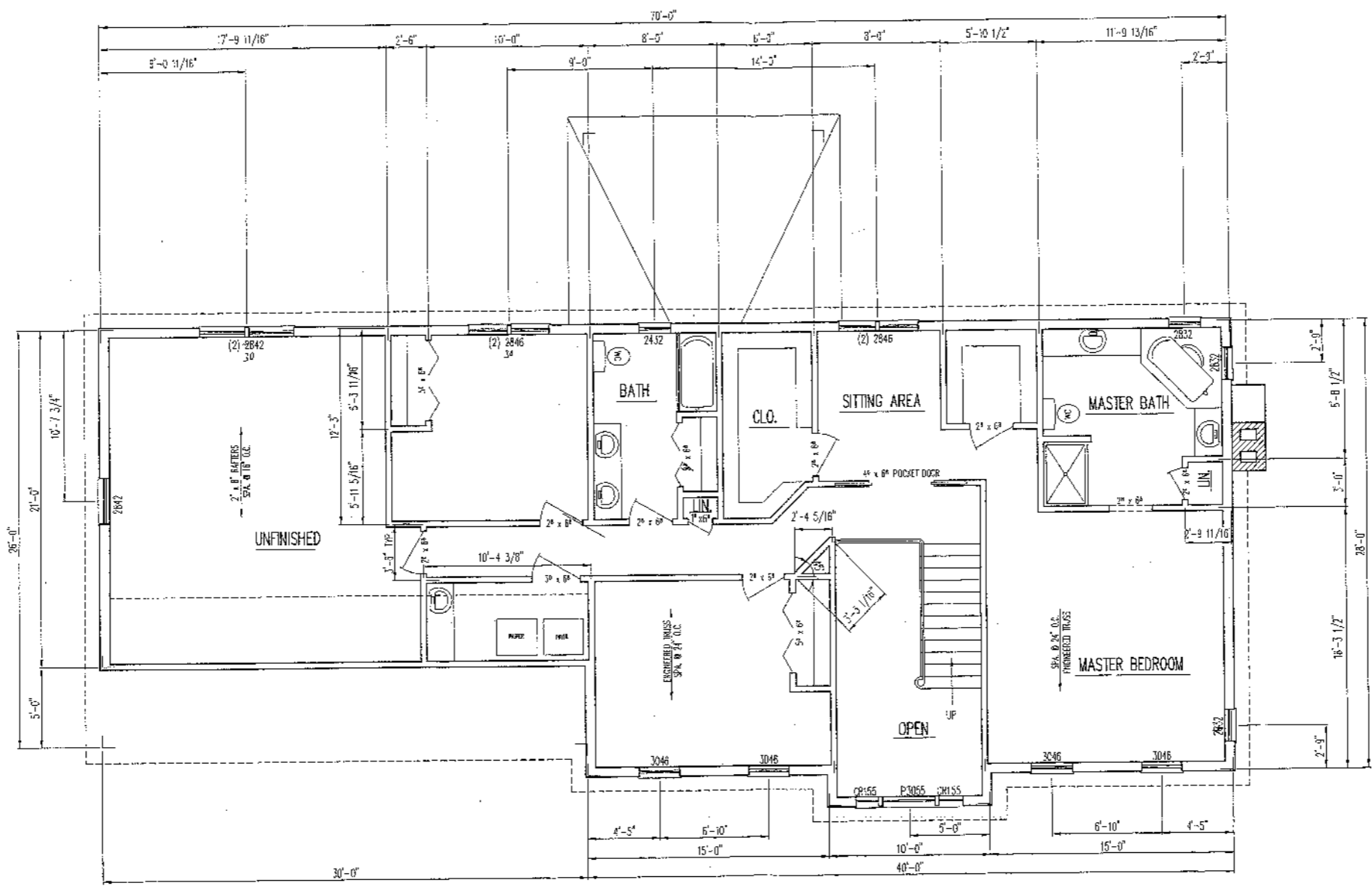
No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
288 GREELEY ROAD
CUMBERLAND CENTER, MAINE 04021

Customer Name: **STEVE SMITH**

PORTLAND, MAINE

Drawing No:	04MDS002	Sheet:	4 OF 6
Drawing Title:	FIRST FLOOR PLAN	Date:	06/25/04
Scale:	1/4" = 1'-0"		



2nd FLOOR PLAN
1/4" = 1'-0"

General Notes
 1.) ALL DRAWINGS ARE DRAWN TO THE CUSTOMERS SPECIFICATION AND TO COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MAINE DRAFTING SERVICES ARE ARCHITECTS OR ENGINEERS, THEREFORE ALL DIMENSIONS SHOULD BE VERIFIED BEFORE CONSTRUCTION STARTS. IF DIMENSIONS AND DRAWINGS ARE NOT VERIFIED BEFORE CONSTRUCTION STARTS, MAINE DRAFTING SERVICES WILL BE HELD HARMLESS. ANY CHANGES TO THESE DRAWINGS BY THE CLIENT OR CONTRACTOR WITHOUT THE PERMISSION OF MAINE DRAFTING SERVICES WILL LEAVE MAINE DRAFTING SERVICES HARMLESS OF ERRORS.

2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
 288 GREELY ROAD
 CLIMBERLAND CENTER, MAINE 04021

Customer Name, Address
 STEVE SMITH
 PORTLAND, MAINE

Drawing No: 04MD0002	Sheet: 5 OF 6
Drawing Title: SECOND FLOOR PLAN	Date: 06/25/04
Scale: 1/4" = 1'-0"	

General Notes

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2.)

No.	Revision/Issue	Date

MAINE DRAFTING SERVICES
 288 GREELY ROAD
 CUMBERLAND CENTER, MAINE 04021

Customer Name, Address
STEVE SMITH
 PORTLAND, MAINE

Drawing No.: 04MDS002	Sheet: 6 OF 6
Drawing Title: SECTION VIEWS	Date: 08/25/04
Scale: 1/2" = 1'-0"	

