

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

OCT 14 2004
Permit Number: 041375
CITY OF PORTLAND

This is to certify that Goldeneye Corp /Stephen Smith
has permission to 2 story Single Family Home with 2 car attached garage
AT 148 Hope Ave (lot # 8) 392 A008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is opened or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Deanne Bouke 10/14/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1375	Issue Date:	CBL: 392 A908001
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Location of Construction: 148 Hope Ave (LT #2)	Owner Name: Goldeneve Corp	Owner Address: 662 East Bridge St	Phone:
Business Name:	Contractor Name: Stephen Smith	Contractor Address: 208 Hope Ave. Portland	Phone: 2077979364
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R2

Past Use: Single Family Home /2 story with 2 car attached garage.	Permit Fee: \$1,716.00	Cost of Work: \$180,000.00	CEO District: 5
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003
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Proposed Project Description: 2 story Single Family Home with 2 car attached garage	Signature: [Signature]	Signature: JMB 10/14/04
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Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:
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Permit Taken By: Idobson	Date Applied For: 09/13/2004	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone Panel 2 zone A <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2004-0193 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: 9/27/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed up on

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

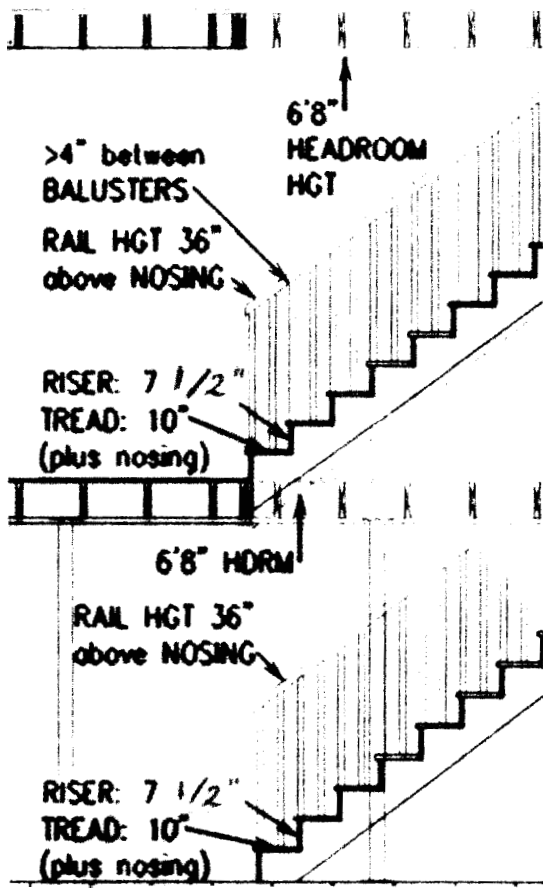
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 10/14/04
Signature of Applicant/Designee Date
[Signature] 10/14/04
Signature of Inspections Official Date

CBL: 392-A-8 Building Permit #: 04-1375



Typical Interior Stairs

*also for Exterior
rail is graspable*

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
OCT 14 2004
SURRENDES ALL
PRIOR DATED PLANS

OCT 14 2004

1111

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0193

Application I. D. Number

9/1012004

Application Date

Hope Ave (lot #8)

Project Name/Description

Goldeneye Corp

Applicant

662 East Bridge St. Westbrook. ME 04092

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

148 - 148 Hope Ave , Portland, Maine

Address of Proposed Site

392 A008001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 32963 sq ft Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 9/15/2004

Zoning Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** See Attached **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

ANGEL M SOUTUYO and MELISSA L MALONE-SOUTUYO, whose mailing address is 142 Lane Avenue, Portland, Maine 04103, as JOINT TENANTS

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of **Cum-**berland and State of Maine, and being Lot **8** shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, as revised on April 28, 2003 and recorded at said Registry of Deeds in Plan Book 204, Page 373 (hereinafter sometimes referred to as "Plan"), together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in **Book** 18262, Page 159. Reference **is** further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns. all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et sey. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.

2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.
3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
5. A ten (10) foot and thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
6. A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland dated July 6, 2004 and recorded at said Registry of Deeds in Book 21610, Page 52 relating to said easements as shown on Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.
8. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.
9. The owner of Lot 8, being the lot herein conveyed, shall retain either a licensed civil engineer or landscape architect to assist in design of the improvements of this lot. The owner of this lot shall also retain that professional to provide construction phase services including, but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in field conditions which require modification to the design of the lot improvements. The minimum site inspection requirements are set forth in Note 5 on said Plan to which reference is hereby made for a more specific description. The professional (civil engineer or landscape architect) shall provide a written statement to the Portland Planning Authority

upon completion of construction of lot improvements affirming that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied.

- 10 Lot 8 is subject to an undisturbed zone as shown on said plan.
- 11. Lot 8 is subject to a thirty (30) foot private drainage easement as shown on said plan.

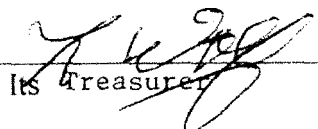
Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by LLOYD B. WOLF, its 'Treasurer thereunto duly authorized this 3rd day of September _____, 2004.

GOLDENEYE CORP

By: _____



Its Treasurer

STATE OF MAINE
CUMBERLAND, SS.

September 3 .2004

Then personally appeared the above-named LLOYD B. WOLF, Treasurer of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,



Attorney at Law/Notary Public

148 Hope Ave Lot #8 #04-1375
 392-A-8

Soil type/Presumptive Load Value (Table 401.4.1)	Subdivision	Inspector/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)		
Foundation Drainage Dampproofing (Section 406)	10" wale 10" wale	OK see new Plans
Ventilation (Section 409.1) Crawls Space ONLY	Day light	OK
Anchor/Bolts/Straps (Section 403.1.4)	?	OK see new plans
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	24" x 24" x 12" 3 1/2" Conc. lally 7'-9 1/4"	? OK @ 6' 10 1/4"
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	4-2x12 7' 1/2 max span	OK see new plans
Sill/Band Joist Type & Dimensions	2x6	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 16 O.C.	OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 16 O.C.	OK

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Garage 2x6 ceiling joist 16 o.c.	OK
Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x10 2x8 over 16 o.c. Garage 2x10 @ 16 o.c. - 10/12 10/12 10/12 ? 12 Garage ? Beam @ 13 plb	OK per new plans 4:12
Sheathing: Floor, Wall and roof (Table 503.2.1(1))	5/8" Adv., 1/2" CDX, 5/8" Adv.	OK
Fastener Schedule (Table 602.3(1) & (2))	?	OK per new plans
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)		
Fire separation	?	OK per new plans
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	?	"
Egress Windows (Section 310)	? 3046 Anderson above garage	OK 3046
Roof Covering (Chapter 9)	235# Asphalt	OK
Safety Glazing (Section 308)	? Master bath	OK per new plans
Attic Access (BOCA 1211.1)	?	22x30 OK per new plans
Draft Stopping around chimney	N/A ? Spacing to ext wall	OK

Header Schedule	Eng Beam sor 3-2x10	See design load sheets
Type of Heating System	Bill FHW	ok
Stairs		
Number of Stairways	5	
Interior	3	
Exterior	2	
Treads and Risers (Section 314)	?	OK per new plans
Width	?	
Headroom	?	
Guardrails and Handrails (Section 315)	?	
Smoke Detectors Location and type/Interconnected	?	
Plan Reviewer Signature		ok per new

See Chimney Summary Checklist

~~disclosure~~ disclosure enclosed

No Deck info - ok per new plans



**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.
1003.9.1		
1003.9.2		2-inch minimum thickness for hearth extension.
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.
1003.10		
Hearth extension (front of opening)	C	12 inches for fireplace opening greater than or equal to 6 square feet.
1003.10		
Hearth extension (front of opening)		16 inches for fireplace opening less than 6 square feet.
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.
1003.9		
Firebox dimensions	E	20-inch minimum firebox depth.
1003.11		
Thickness of wall of firebox	F	12-inch minimum firebox depth for Rumford fireplaces.
1003.5		
Distance from top of opening to throat	G	8 inches minimum.
1003.7		
Smoke chamber		6 inches lined; 8 inches unlined.
1003.8		
Wall thickness	H	Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.
1003.8.1		
Chimney vertical reinforcing ¹	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.
1003.3.1		
Chimney horizontal reinforcing ²	J	1/2-inch ties at each 18 inches, and two ties at each bend in vertical steel.
1003.3.2		
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.
1003.7		
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.
1001.7;		
1001.9		
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.
1001.12		
Clearances		
From chimney		2 inches interior, 1 inch exterior.
1001.15		
From fireplace	N	2 inches front, back or sides.
1003.12		
Combustible trim or materials		6 inches from opening.
1003.13		
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.
1001.6		
Anchorage ³		
Strap		3/16 inch by 1 inch.
1003.4		
Number	O	Two.
Embedment into chimney		12 inches hooked around outer bar with 6-inch extension.
1003.4		
Fasten to		Four joists.
Boles		Two 1/2-inch diameter.
1003.2		
Thickness	P	12-inch minimum.
6 inches each side of fireplace wall.		
1003.2		

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

¹ Required only in Seismic Zones 3 and 4.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1375	Date Applied For: 09/13/2004	CBL: 392 A008001
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Location of Construction: 148 Hope Ave	Owner Name: Goldeneye Corp	Owner Address: 662 East Bridge St	Phone:
Business Name:	Contractor Name: Stephen Smith	Contractor Address: 208 Hope Ave. Portland	Phone (207) 797-9364
Licensee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home /2 story with 2 car attached garage.	Proposed Project Description: 2 story Single Family Home with 2 car attached garage
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A x

All Purpose Building Permit Application

if you or the property Owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

c	
Total Square Footage of Proposed Structure <u>2,880</u>	Square Footage of Lot <u>32,960</u>
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>008</u>	Owner: <u>Angel & Melissa Soutaya</u> Telephone: <u>797-9364</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Stephen Smith</u> <u>208 Hope Ave, Portland</u> <u>H 797-9364 C-650-9299 04103</u>
	Cost Of Work: \$ <u>180,000</u> Fee: \$ <u>1641.75</u>
Current use: <u>lot in new subdivision</u>	
If the location is currently vacant, what was prior use: _____	
Approximately how long has it been vacant: _____	
Proposed use: _____ Project description: _____	
Contractor's name, address & telephone: <u>Stephen Smith 208 Hope Ave H-797-9364 C-650-9299</u>	
Who should we contact when the permit is ready: <u>Steve Smith</u>	
Mailing address: <u>208 Hope Ave. Portland ME 04103</u>	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>9-7-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is Issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Stephen Smith

Date: 9/27/04

Address: 148 Hope Ave (6t #8)

C-B-L: 392-A-008

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development # 04-1375

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct new single family dwelling with attached 2 car garage ^{24x26}

Sevage Disposal - City

Lot Street Frontage - 50' min req - 112.88' shown

Front Yard - 25' min req - 45' shown

Rear Yard - 25' min req - 50' + shown

Side Yard - 14' min req - 14' : 16' shown

Projections - DAY light basement on rear - chimney on right ^{2' wide} - 12x15 addition on rear 12x25 rear Deck

Width of Lot - 80' min - 102' shown

Height - 35' MAX - 33' to lowest point

Lot Area - 10,000 # 32,963 # given

Lot Coverage/ Impervious Surface - 20% MAX 6592.6 # MAX

Area per Family - 10,000 #

Off-street Parking - 2 pkg spcs req. - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor # 2004-70193

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 2 - Zone X

24x26 =	624
6x26 =	156
12x15 =	180
28x40 =	1120
2x10 =	20

Showing a Daylight basement in the rear ^{12x25} 2100 # 300 (2400 #)

WINDOW AND DOOR HEADER SCHEDULE

Angel and Melissa Soutuyo Residence
Lot # 8 Presumpscot River Place
148 Hope Avenue, Portland

1. 3052-4 12'6" Window Header 5 1/4" x 11 7/8" VERSA-LAM
2. 3052-3 9'6" Window Header 5 1/4" x 9 1/2" VERSA-LAM
3. All other window and door headers will be (3) 2" x 10" spruce with plywood spacers.
4. All other support beams will be per spec sheets attached.

STEVE SMITH
 797-9364
 650-9299

BI
 BEAM BACK SIDE FOOTING
 BUMP OUT

Date: 7/28/04 BeamChek 2.2

Choice **W 8x 24 A36 Wide Flange Steel** **Lateraf Support a?: Lc = 6.9 ft max.**

Conditions Actual Size is 6-1/2 x 7-7/8 in.,
 Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Defl 0.07 in Suggested Camber 0.11 in

Date

Beam Span	15.0 ft	Reaction 1	5055:	Reaction 1 LL	3900 #
Beam Wt per ft	24.0 #	Reaction 2	5055 #	Reaction 2 LL	3900 #
Beam Weight	360 #	Maximum V	5055 #		
Max Moment	18956 #	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 564		
LL Max Defl	L I 360	LL Actual Defl	L I 731		

Attributes

	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	20.90	1.94	0.32	0.25
Critical	9.57	0.35	0.75	0.50
Status	OK	OK	OK	OK
Ratio	46%	18%	43%	49%

Values

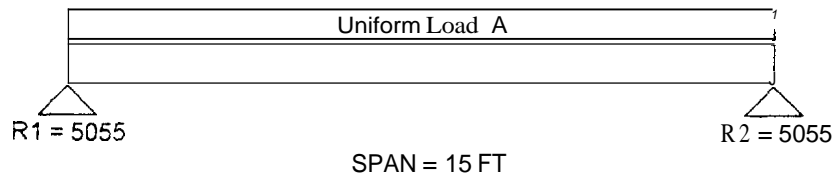
	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36030	36000	29.0
Base Adjusted	23760	14400	29.0

Adjustments

YP Factor. Lc	0.66	0.40	
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BeamChek has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 650 = A Uniform LL: 520



Uniform and partial uniform loads are lbs per lineal ft.

Single 3 1/2" x 9 1/2" VERSA-LAM® 3080 DF

Job Name
Address:
City, State, Zip,
Customer:
Code reports: ICBO 5663, NER 442

File Name BC CALC Project FB01
Specification
Designer: DA
Company Hancock Lumber
Mi:

B2
BEAM FRONT SIDE
FOUNDATION 501M
OUT

					Standard Load - 40 psf 10 psf Tributary 08-00-00					

B0
1600 lbs LL
443 lbs DL

B1
1600 lbs LL
443 lbs DL

Total Horizontal Length - 10-00-00

General Data

Version: US Imperial

Member Type: Floor Beam

Number of Spans: 1

Left cantilever: No

Right Cantilever: No

Slope: 0/12

Tributary: 08-00-00

Live Load: 40 psf

Dead Load: 10 psf

Partition Load: 0 psf

Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Stat	End	Type	Value	Trib	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	10-00-00	Live Dead	40 psf 10 psf	08-00-00 08-00-00	100% 90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	5107 ft-lbs	36.8%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	1719 lbs	27.2%	100%	2	1 - Left
Total Load Defl.	L/653 (0.184")	36.8%		2	1
Live Load Defl.	L/834 (0.144")	57.6%		2	1
Max Defl.	0.184"	18.4%		2	1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.

Design meets User specified (L/480) Live load deflection criteria.

Design meets arbitrary (1) Maximum load deflection criteria.

Minimum bearing length for B0 is 1-1/2".

Minimum bearing length for B1 is 1-1/2".

Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

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B 3
garage steel
beam

Date: 7/28/04 BeamChek 2.2

Choice
Conditions

W 12x 45 A36 Wide Ftange Steel **Lateral Support at: Lc = 8.5 ft max.**

Actual Size is 8 x 12 in.,

Min Bearing Length R1= 1.3 in. R2= 1.3 in DL Defl 0.17 in Suggested Camber 0.25 in

Defe

Beam Span	26.0 ft	Reaction 1	8385 #	Reaction 1 LL	6240 #
Beam Wt per ft	45.0 #	Reaction 2	8385 #	Reaction 2 LL	6240 #
Beam Weight	1170 #	Maximum V	8385 #		
Max Moment	54503 #	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 478		
LL Max Defl	L / 360	LL Actual Defl	L / 643		

Attributes

	Section (in)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	58.10	4.04	0.65	0.49
Critical	27.53	0.58	1.30	0.87
status	OK	OK	OK	OK
Ratio	47%	14%	50%	56%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

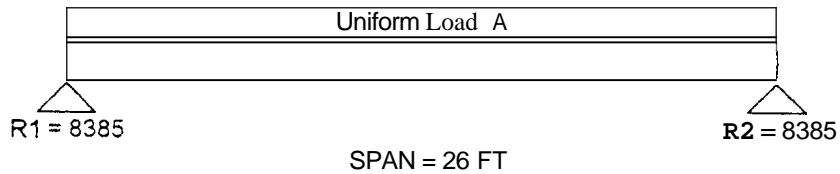
Adjustments

YP Factor. Lc	0.66	0.40	
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BeamChek has automatically added the beam self-weight into the calculations.

Loads

Uniform TL: 600 = A Uniform LL: 480



Uniform and partial uniform loads are lbs per lineal ft

Single 5 1/4" x 11 7/8" VERSA-LAM® 3080 DF

Job Name
Address
City, State, Zip.,
Customer:
Code reports: ICBO 5663, NER 442

File Name. BC CALC Project : RB01
Description:
Specifier:
Designer DA
Company. Hancock Lumber
Misc:

B4
garage door
headers



--	--	--	--	--	--	--	--	--	--

BO
2600 lbs LL
730 lbs DL

B1
2600 lbs LL
733 lbs DL

Total Horizontal Length - 10-00-00

General Data

Version: US Imperial
Member Type: Roof Beam
Number of Spans: 1
Left Cantilever: No
Right Cantilever: No
Slope: 0/12
Tributary: 13-00-00
Live Load: 40 psf
Dead Load: 10 psf
Partition Load: 0 psf
Duration: 115

Load Summary

D	Description	Load Type	Ref.	Start	End	Type	Value	Trib	Dur.
5	Standard Load	Unf Area	Left	00-00-00	10-00-00	Live	40 psf	13-00-00	115%
						Dead	10 psf	13-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	8325 ft-lbs	22.8%	115%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	2671 lbs	19.6%	115%	2	1 - Left
Total Load Defl.	L/1173 (0.102")	15.3%		2	1
Live Load Defl.	L/1503 (0.08")	16.0%		2	1
Max Defl.	0.102"	10.2%		2	1

Notes

Design meets Code minimum (L/180) Total load deflection criteria
Design meets Code minimum (L/240) Live load deflection criteria.
Design meets arbitrary (1") Maximum load deflection criteria
Minimum bearing length for B0 is 1-1/2".
Minimum bearing length for B1 is 1-1/2".
Member Slope = 0, consider drainage.
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

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Q5 1st Floor Breakfast Bump out Beam

Date: 7/28/04 BeamChek 2.2

Choice **W 8x 24 A36 Wide Flange Steel** **Lateral Support at: Lc = 6.9 ft max.**

Conditions **Actual Sue is 6-1/2 x 7-7/8 in.,**
Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Defl 0.07 in Suggested Camber 0.11 in

Data

Beam Span	15.0 ft	Reaction 1	5055 #	Reaction 1 LL	3900 #
Beam Wt per ft	24.0 #	Reaction 2	5055 #	Reaction 2 LL	3900 #
Beam Weight	360 #	Maximum V	5055 #		
Max Moment	18956 #	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 564		
LL Max Defl	L / 360	LL Actual Defl	L / 731		

Attributes

	Section (in")	Shear (in)	TL Defl (in)	LL Defl
Actual	20.90	1.94	0.32	0.25
Critical	9.57	0.35	0.75	0.50
status	OK	OK	OK	OK
Ratio	46%	18%	43%	49%

Values

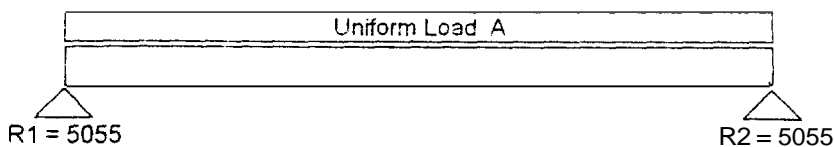
	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

Adjustments

YP Factor. Lc	0.66	0.40	
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BeamChek has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 650 = A Uniform LL: 520



SPAN = 15 FT

Uniform and partial uniform loads are lbs per lineal ft.

Single 5 1/4" x 9 1/2" VERSA-LAM® 3080 DF

Job Name:

Address:
City, State, Zip ,
customer

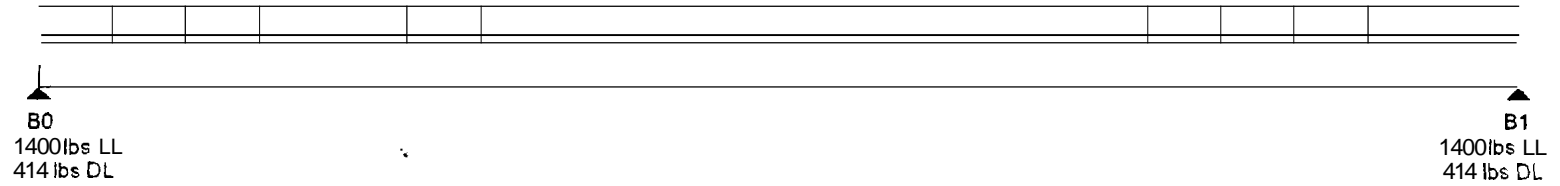
Code reports: ICBO 5663, NER 442

File Name BC CALC Project RB01

Description:

Specifier:
Designer: DA
Company Hancock Lumber
Misc:

B 7
2ND FLOOR FRAM
BUMP OUT
"open to below"



Total Horizontal Length = 10-00-00

General Data

Version: US Imperial

Member Type: Roof Beam

Number of Spans: 1

Left Cantilever: No

Right Cantilever: No

Slope: 0/12

Tributary: 07-00-00

Live Load: 40 psf

Dead Load: 10 psf

Partition Load: 0 psf

Duration: 115

Disclosure

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Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	10-00-00	Live	40 psf	07-00-00	115%
						Dead	10 psf	07-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	4535 ft-lbs	19.0%	115%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	1527 lbs	14.0%	115%	2	1 - Left
Total Load Defl.	L/1103 (0.109")	16.3%		2	1
Live Load Defl.	L/1429 (0.084")	16.8%		2	1
Max Defl.	0.109"	10.9%		2	1

Notes

Design meets Code minimum (L/180) Total load deflection criteria.
 Design meets Code minimum (L/240) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Member Slope = 0, consider drainage.
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Single 3 1/2" x 11 7/8" VERSA-LAM® 3080 DF

Address:

City, State, Zip:
Customer:

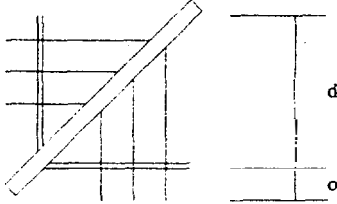
Code reports: ICBO 5663, NER 442

File Name BC CALC Project : SH01

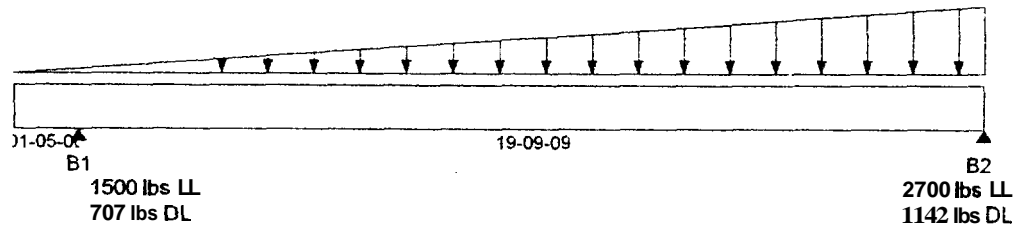
Description

Designer: DA
Company: Hancock Lumber
Misc:

*B 8
Hip Valley
Rafter*



d = 14-00-00
o = 01-00-00



Total Horizontal Length - 21-02-09

General Data
Version: US Imperial
Member Type: Simple Hip
Number of Spans: 2
Left Cantilever: Yes
Right Cantilever: No
Rafter Slope: 10/12
Live Load: 40 psf
Dead Load: 10 psf
Partition Load: 0 psf
Duration: 115
Disclosure
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Load Summary

D	Description	Load Type	Ref.	Start	End	Type	Value	n/a	Dur.
S	Standard Load	Simple Hip	Lef	00-00-00	21-02-09	Live	40 psf	n/a	115%
						Dead	10 psf	n/a	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	15139 ft-lbs	62.3%	115%	5	2 - Internal
Neg. Moment	-25 ft-lbs	0.1%	115%	2	1 - Right
End Shear	3295 lbs	36.3%	115%	2	2 - Right
Cont. Shear	2105 lbs	23.2%	115%	2	2 - Left
Total Load Defl.	L/191 (1.447")	94.4%		5	2
Live Load Defl.	L/274 (1.008")	87.7%		5	2
Total Neg. Defl.	-0.312"	41.6%		5	1 - Right Support

Slope and Cut Length

End Condition	Slope	Facia Depth	Horiz. Length	Product Length
Plumb Cut with Hanger to dbl. top plate	10/12	0"	21-02-09	24-07-07

Notes
Design meets Code minimum (L/180) Total load deflection criteria.
Design meets Code minimum (L/240) Live load deflection criteria.
Minimum bearing length for B1 is 3".
Minimum bearing length for B2 is 1-1/2".
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing