

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0081

Application I. D. Number

04/21/2004

Application Date

140 Hope Ave. Lot #7

Project Name/Description

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland , ME 04021

Applicant's Mailing Address

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ **Agent Fax:** _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3500 sq. Ft.

Proposed Building square Feet or # of Units

33,112 sq. Ft.

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **04/21/2004**

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** Denied
 See Attached

Approval Date **05/17/2004** Approval Expiration **05/17/2005** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **05/17/2004**
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**LETTER OF
TRANSMITTAL**

PO Box 1237
 15 Shaker Road
 Gray, ME 04039

(207) 657-6910
 Fax: (207) 657-6912
 E-mail: mailbox@gorrillpalmer.com

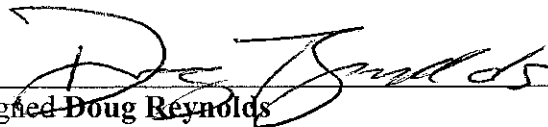
To: **Jay Reynolds**
City of Portland Planning
389 Congress Street
Portland ME 04101

Via: **Reg Mail**
 RE: **Lot 7 PRP**
 Date: **5-13-04**
 Project No: **959**

For your use <input type="checkbox"/>	As requested <input checked="" type="checkbox"/>			For Review and comment <input type="checkbox"/>		
Shop Drawings <input type="checkbox"/>	Prints <input type="checkbox"/>	Plans <input type="checkbox"/>	Specifications <input type="checkbox"/>	Copy of letter <input type="checkbox"/>	Other <input type="checkbox"/>	
Copies	Date	Number	Description			
4			Revised Layout and Grading Plans			

Remarks:
Jay,
 Attached are revised plans per your email comments for Lot 7

Copy **Kevin Shaw**
 To:

Signed 
 Signed **Doug Reynolds**

From: Jay Reynolds
To: Doug Reynolds
Date: Thu, May 6, 2004 4:08 PM
Subject: PRP III, Lot 7 Review

Hi Doug,

Upon review I have the following comments:

1. The FFE appears to be quite higher than expected. The Subdivision FFE (for gravity sewer) is 89.0, and your site plan indicates 94.5. This is creating some steep sideslopes, and again, will create difficulties when lots 8 and 9 come in. After visiting the site today, I envisioned a FFE equal to lot 6 at 92.75. This looks like a good target elev. to me, and would decrease the impacts and make for a better match-in.
2. Please re-locate the street trees to the right of the driveway (along the street frontage).
3. Please locate the erosion control within the limits of the property.

Thanks.

Jay Reynolds
Development Review Coordinator
City of Portland
Planning and Development
(207) 874-8632
jayjr@portlandmaine.gov

CC: Sarah Hopkins

Still on Sub. = \$89,000
Lower fee?
move SF trees
move S.F.

**CITY OF PORTLAND, MAINE
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- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____

MR
Red 4-23

Jay Reynolds

visit

SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

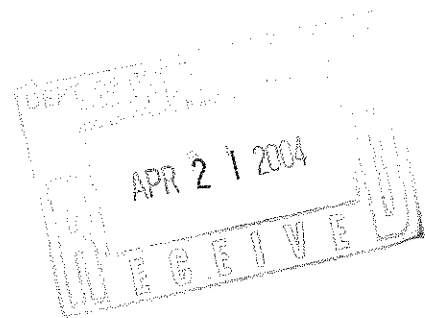
2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH:
OTHER USES: 80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.



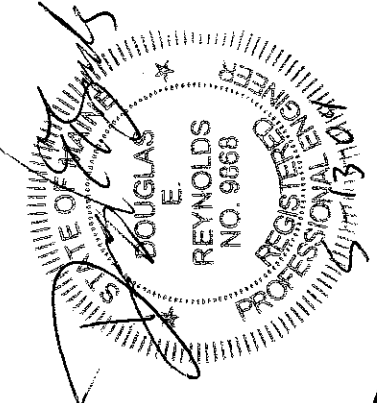
Design: DER	Date: 7/31/03
Draft: SGB	Job No.: 830
Checked: AMP	Scale: NTS
File Name: 759-sp.dwg	

GP Traffic and Civil Engineering Services
PO Box 1237, 15 Shaker Road
Gray, ME 04039
207-657-6910

Drawing Name: **Space & Bulk Requirements**
Project: **PRESUMPCOT RIVER PLACE**

Figure No.
1

**CITY OF PORTLAND
APPROVED SITE PLAN**



**SUBJECT TO DEPARTMENTAL
CONDITIONS**

**LOT 6
36,179 S.F.
0.83 AC.**

**LOT 7
33,112 S.F.
0.76 AC.**

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

DATE OF AMP SET-04
25' REAR SETBACK

14' SIDE SETBACKS

REFER TO BUILDING PLANS FOR DIMENSIONS

2 CAR GARAGE

2-STORY SINGLE FAMILY RESIDENCE

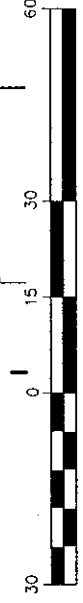
2 - 2.5" CAL. RED MAPLES OR EQUIVALENT

3/4" DOMESTIC WATER
16" SAN
L= 73'
S= 0.0104 MIN

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALK PER CITY OF PORTLAND DETAILS

DOUBLE CLEANOUT

WETLAND AREA PERMITTED FOR FILL/ALTERATION AS PART OF PRESUMPCOT RIVER PLACE PHASE III PERMIT APPLICATION



Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1277
15 Spier Road
Gorham, ME 04039
707-657-6910
FAX: 207-657-6912
E-Mail: malbo@gorillpalmer.com

Drawing Name: **Lot 7 Site and Utility Plan**
Project: **PRESUMPCOT RIVER PLACE**

Figure No. **2**

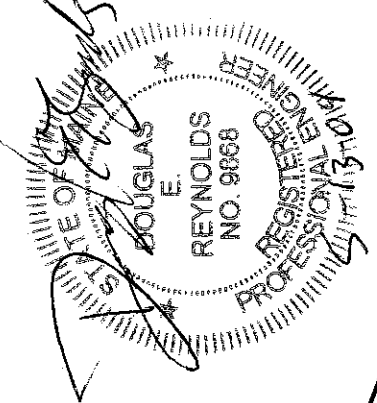


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CITY OF PORTLAND
APPROVED SITE PLAN



LOT 7
33,112 S.F.
0.76 AC.

14' SIDE SETBACKS

REFER TO BUILDING PLANS FOR DIMENSIONS

28' 2-CAR GARAGE
40'
28' 2-STORY SINGLE FAMILY RESIDENCE
38'

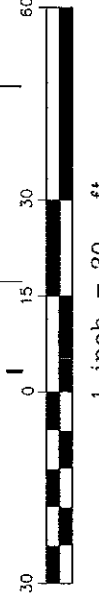
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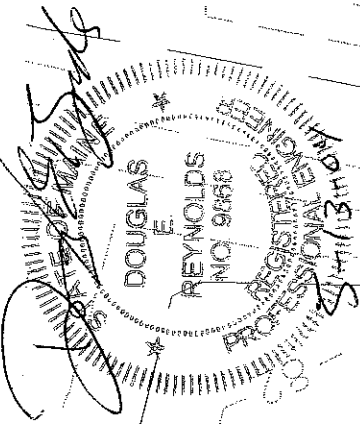
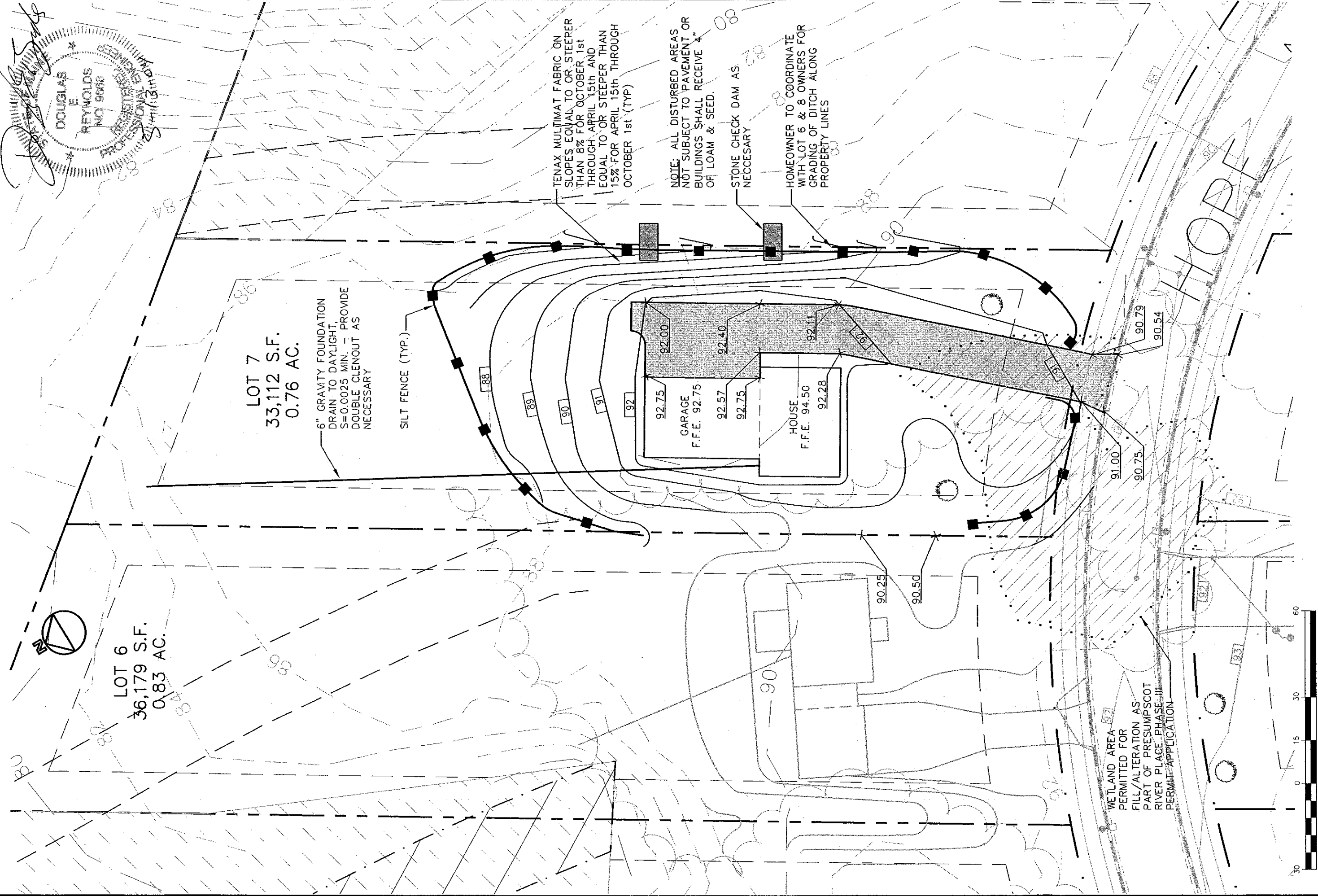


Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name: 98689-ALL-LOTS			

GP Gorril-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Swan Road
Oray, ME 04039
207-657-6910
207-657-6912
E-Mail: malbot@gorrilpalmer.com

Drawing Name: Lot 7 Site and Utility Plan
Project: PRESUMPCOT RIVER PLACE

Figure No. 2



LOT 6
36,179 S.F.
0.83 AC.

LOT 7
33,112 S.F.
0.76 AC.

6" GRAVITY FOUNDATION
DRAIN TO DAYLIGHT,
S=0.0025 MIN. - PROVIDE
DOUBLE CLENOT AS
NECESSARY

SILT FENCE (TYP.)

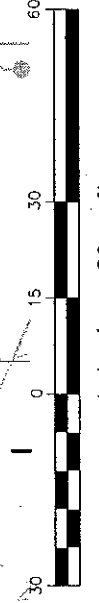
TENAX MULTIMAT FABRIC ON
SLOPES EQUAL TO OR STEEPER
THAN 8% FOR OCTOBER 1st
THROUGH APRIL 15th AND
EQUAL TO OR STEEPER THAN
15% FOR APRIL 15th THROUGH
OCTOBER 1st (TYP)

NOTE: ALL DISTURBED AREAS
NOT SUBJECT TO PAVEMENT OR
BUILDINGS SHALL RECEIVE 4"
OF LOAM & SEED.

STONE CHECK DAM AS
NECESSARY

HOMEOWNER TO COORDINATE
WITH LOT 6 & 8 OWNERS FOR
GRADING OF DITCH ALONG
PROPERTY LINES

WETLAND AREA
PERMITTED FOR
FILL/ALTERATION AS
PART OF PRESUMPCOT
RIVER PLACE PHASE III
PERMIT APPLICATION



Design:	WHS	Date:	APRIL 04
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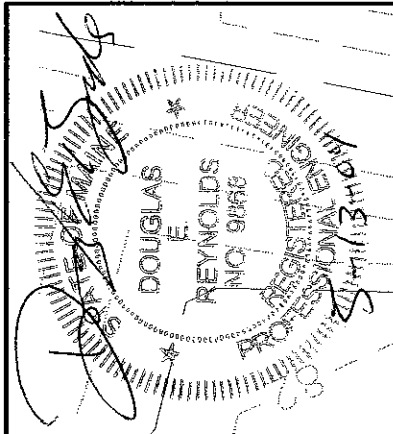
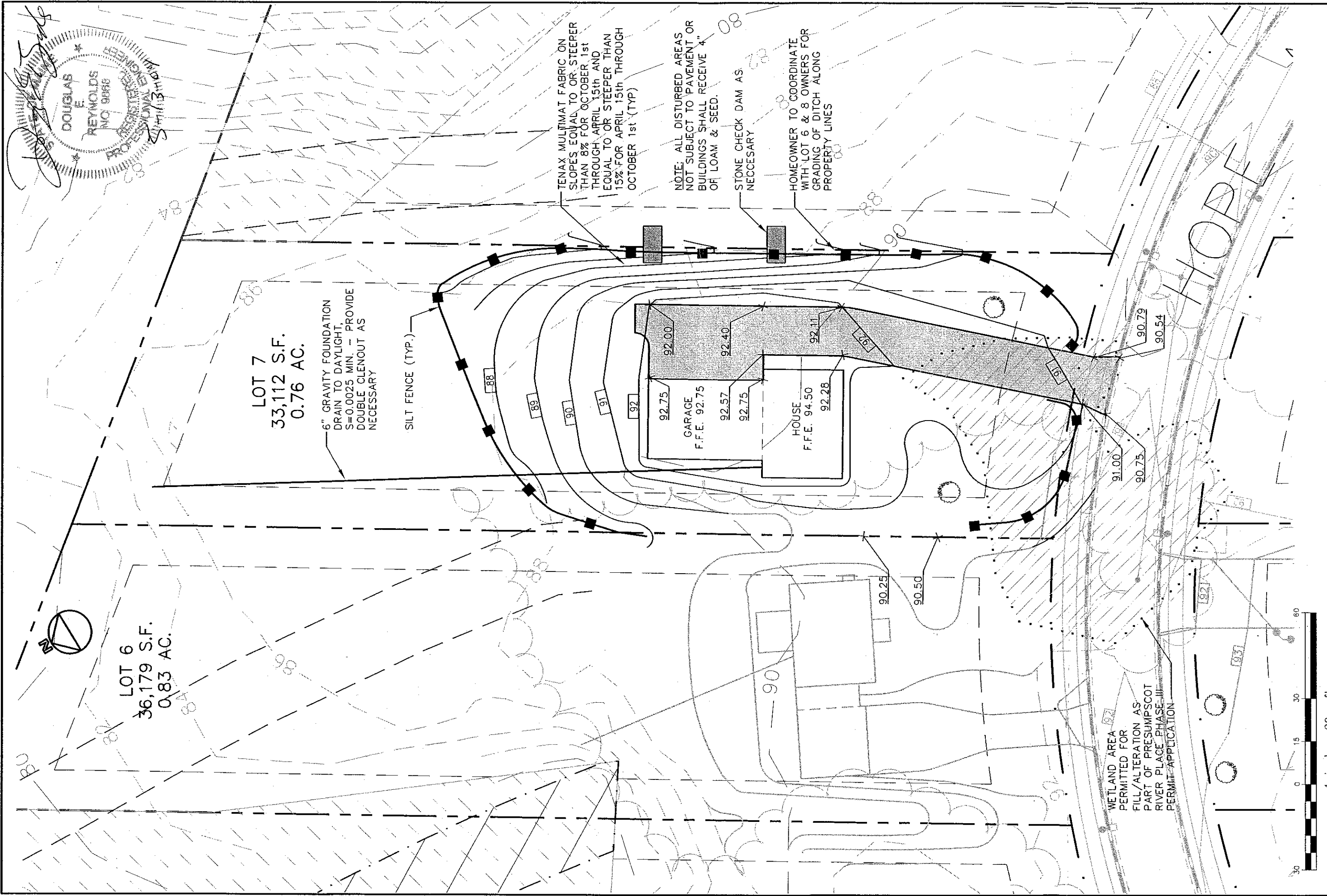
GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
Greenville, NC 27609
252-657-9910
E-Mail: mabb@gpengineers.com

Drawing Name: **Lot 7 Grading and Drainage Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No.

3



Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	999
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1937
15 Elm Road
Greenville, ME 04039

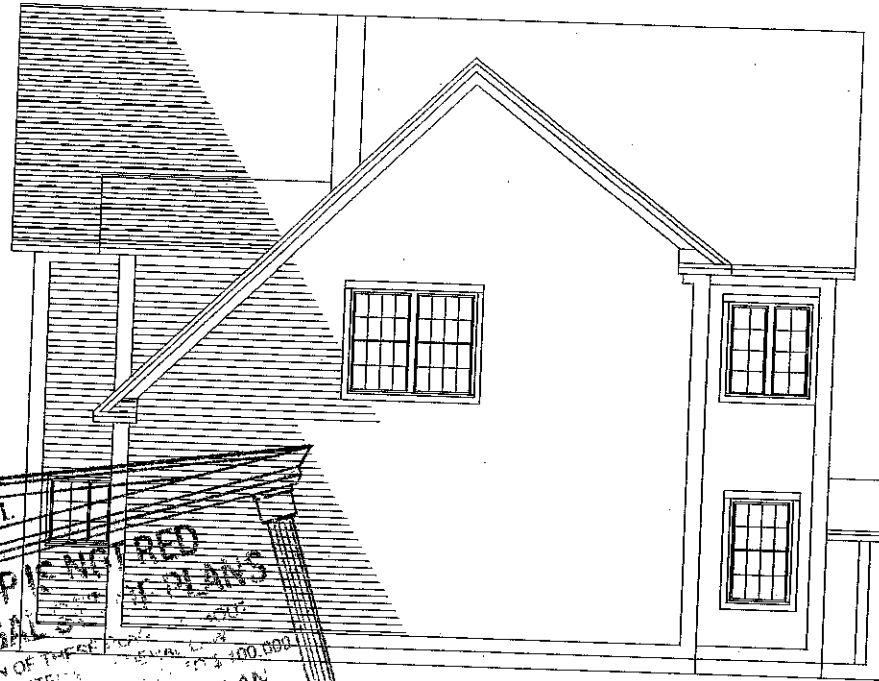
207-657-6910
207-657-6917
E-Mail: m.cubon@gorrillpalmer.com

Drawing Name: **Lot 7 Grading and Drainage Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**

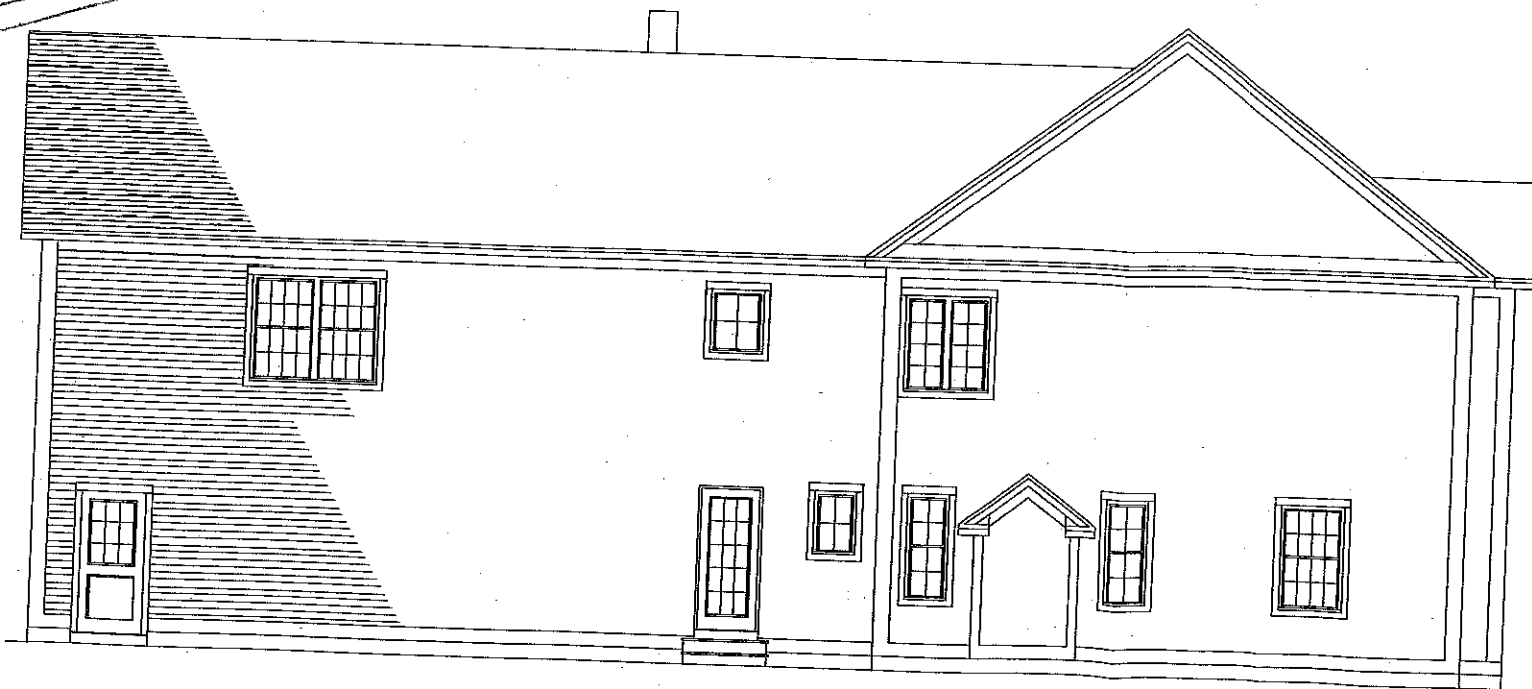
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



H.C.I.
**IF THIS STAMP IS NOT RED
 THIS IS AN ILLEGAL COPY OF THESE PLANS**
 USE OR REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF HOUSE CALLS INC. IS PROHIBITED. VIOLATIONS ARE PUNISHABLE BY FINES UP TO \$100,000.
 TO OBTAIN LEGAL COPIES OF THIS PLAN CONTACT
HOUSE CALLS INC.
 156 ROOSEVELT TRAIL, WINDHAM ME.
 207-892-2810

SHAW

IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PERSONAL ARCHITECTURAL USE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL FIRM. ANY OTHER COMPANY THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES AND TO VERIFY AT ALL STAGES OF CONSTRUCTION THE OWNERS AND THE BUILDER WILL GO OVER THE DRAWINGS WITH THE ARCHITECT TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL NECESSARY PERMITS ARE OBTAINED BEFORE CONSTRUCTION STARTS. HOUSE CALLS INC. WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR OR FOR ANY CONSEQUENCES THAT MAY RESULT FROM THE USE OF THESE DRAWINGS.

DRAWN BY
 J. CALL

SCALE
 1/4" = 1'

DATE
 3/04

NO. OF SHEETS
 1 OF 3

PROJECT NAME
 7 HOPE AVE. PORTLAND

DATE
 3/04

PROJECT TYPE
 ELEVATIONS

DESIGNER
 HOUSE CALLS INC.

ADDRESS
 156 ROOSEVELT TRAIL, WINDHAM, ME

PHONE
 207-892-2810

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HOUSE CALLS INC. ENGINEERS
 151 ROOSEVELT TRAIL, WINDHAM ME
 207-892-3810

WINDOW SIZES, TYPES AND PLACEMENT LOCATIONS ARE TO BE DECIDED BETWEEN THE OWNER AND THE BUILDER. ALL WINDOW SIZES, TYPES OR LOCATIONS SHOWN ON PLAN ARE RECOMMENDATIONS ONLY. THE FINAL LOCATION OF THE WINDOW SHOULD BE CHANGED BY THE FINAL CABINET LAYOUT. THE WINDOW LOCATION ON THE PLAN IS TO BE CHANGED FROM THE KITCHEN SIDE OF THE WALL (NOT CENTER). RECOMMEND A SLIDING WINDOW IN THE KITCHEN. ALL WINDOWS ARE TO HAVE AT LEAST ONE (1) TEMPERED GLASS. STAIRS TO HAVE SAFETY GLASS. ALL WINDOW AND DOOR LOCATIONS WITH FINISH BEFORE CONSTRUCTION STARTS.

ALL PARTITION STUDS (CIRCLES) ARE TO BE SOLIDLY BLOCKED TO THE FOUNDATION OR CARRYING TIMBER. ALL PARTITION STUDS AND CORNER STUDS ARE TO BE INSULATED. ALL BEARING WALL HEADERS ARE TO BE 2X10 OR AS SHOWN ON PLAN. ALL NON-BEARING WALLS OR GABLE END WALLS TO BE 2X6 HEADERS. ANY LAMINATED BEAMS OR STEEL BEAMS WILL BE SPECIFIED BY THE SUPPLIER (SBS). ALL STAIRS TO BE MAX 1 3/4" RISE MIN 10" TREAD AND HANDRAILS AT 36"

THE FINAL KITCHEN DESIGN IS TO BE DONE BY OTHERS. PLEASE GO OVER ALL MEASUREMENTS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE WHAT YOU WANT. IF THERE ARE ANY MEASUREMENT ERRORS HOUSE CALLS INC. WILL BE GLAD TO CORRECT THEM BEFORE CONSTRUCTION STARTS.

WINDOW SIZES SHOWN ON PLAN:
 (A) 3'-0" x 3'-0" DH
 (B) 3'-0" x 3'-0" DH
 (C) 4'-0" x 3'-0" DH
 (D) 4'-0" x 3'-3" SLIDER
 (E) 2'-0" x 3'-0" CAS
 (F) 2'-6" x 4'-0" DH TEMPERED
 (G) 4'-0" x 4'-6" DISC TEMPERED
 (H) 3'-0" x 6'-0" CUSTOM

WINDOW SCHEDULE:

NO.	SIZE AND STYLE	ROUGH OPENING	QUANT.
(A)			15
(B)			2
(C)			4
(D)			2
(E)			1
(F)			1
(G)			2
(H)			1

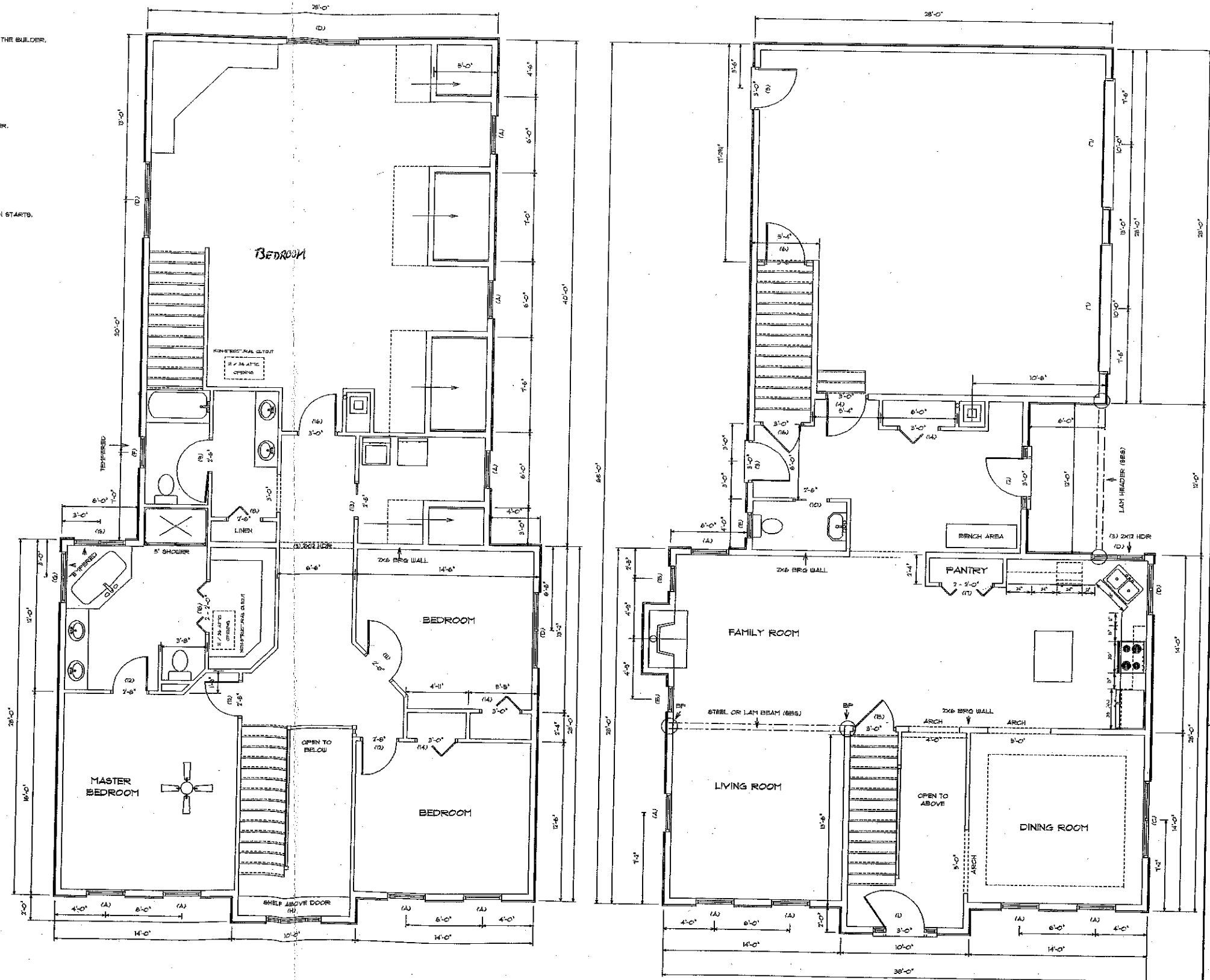
EXTERIOR DOOR SCHEDULE:

NO.	SIZE AND STYLE	ROUGH OPENING	QUANT.
(1)	3' FRONT ENTRY W/ SIDELITES		1
(2)	3' BREEZEWAY ENTRY W/ SIDELITES		1
(3)	1 1/2 LITE 3' BACK DOOR		1
(4)	3' BREEZEWAY TO GARAGE 1 HR. FIRE DOOR		1
(5)	3' GARAGE REAR ENTRY		1
(6)	3' GARAGE TO CELLAR 1 HR. FIRE DOOR		1
(7)	10' x 8' GARAGE O.H.		1

INTERIOR DOOR SCHEDULE:

NO.	SIZE AND STYLE	ROUGH OPENING	QUANT.
(8)	2'-6" BF		1
(9)	2'-6" L		1
(10)	2'-6" PKT		1
(11)	2'-8" L		1
(12)	2'-8" R		3
(13)	2'-8" PKT		1
(14)	3'-0" BF		3
(15)	3'-0" L		2
(16)	3'-0" R		1
(17)	4'-0" BF		1
(18)	4'-0" BF MIRROR		1

VERIFY ALL WINDOW AND DOOR STYLES, SIZES, QUANTS, AND QUANTITIES BEFORE ORDERING. SOME DOORS ARE IN 3/4" WALLS AND SOME ARE IN 1/2" WALLS - BUILDER TO VERIFY.

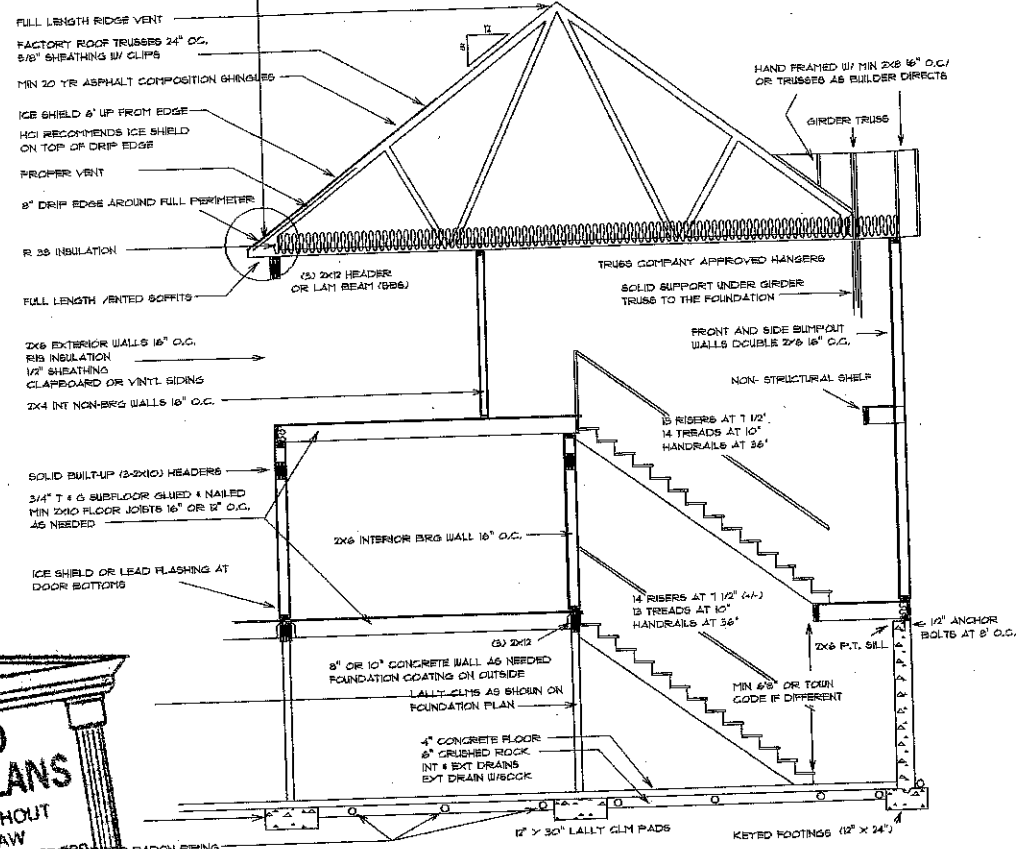


HOUSE CALLS INC. 7 HOPE AVE. PORTLAND ME
 HOME PLANNING & DESIGN
 SCALE 1/4" = 1'
 DRAWN BY J. CALL
 CHECKED BY
 DATE
 PRICE
 IN ACCEPTING THESE DRAWINGS, THE ARCHITECT UNDERSTANDS THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY DO NOT REPRESENT A CONTRACT. THE ARCHITECT UNDERSTANDS THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THE HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION.

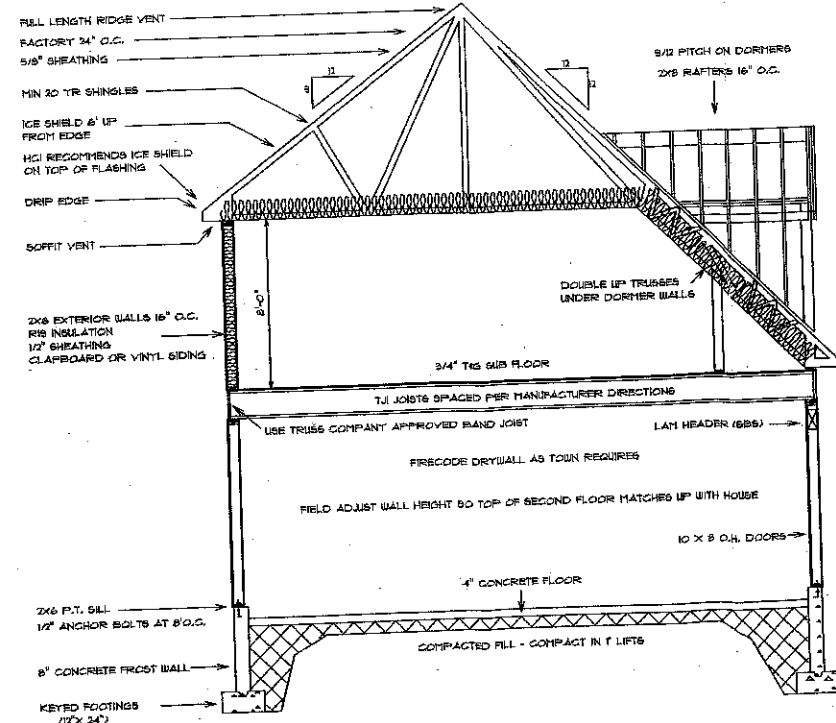
DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

TRUSSES SHOWN ARE REPRESENTATIONS ONLY - ACTUAL TRUSSES ARE TO BE DESIGNED BY THE MANUFACTURER.
 USE CANTILEVER STYLE TRUSSES FOR BETTER INSULATION ABOVE THE WALLS - SEE DETAIL BELOW.
 ALL TRUSS MEASUREMENTS TAKEN OFF FLOOR PLAN.
 BRACE TRUSSES AS PER MANUFACTURER'S DIRECTIONS.

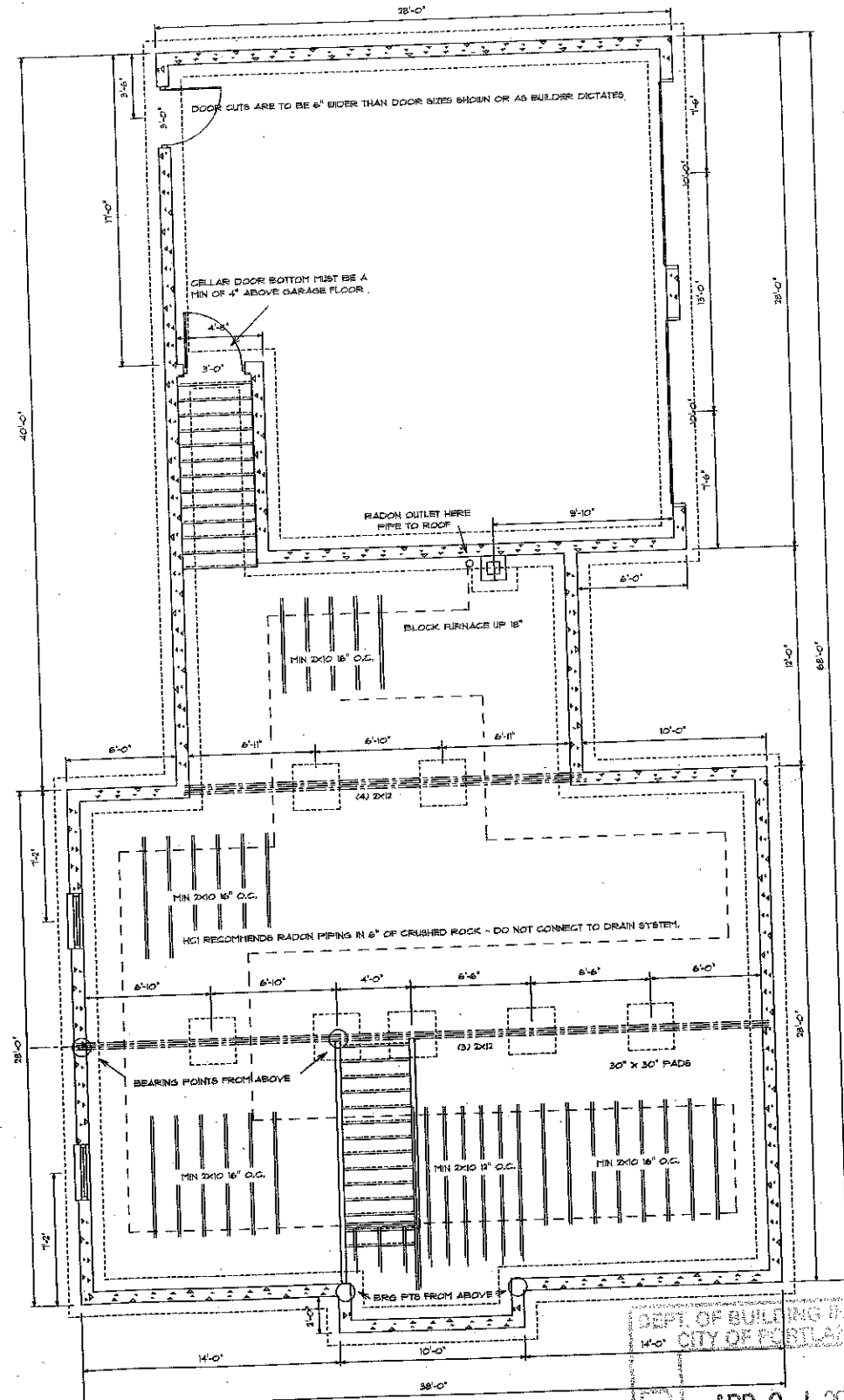
HOUSE STRUCTURAL



GARAGE STRUCTURAL



VERIFY THAT ALL FOUNDATION MEASUREMENTS ARE WHAT YOU WANT BEFORE CONSTRUCTION STARTS. SHOULD ANY ERRORS BE FOUND HOUSE CALLS INC. WILL BE GLAD TO CORRECT THEM BEFORE CONSTRUCTION STARTS.
 ANY CELLAR WINDOW LOCATIONS ARE TO BE VERIFIED BY THE BUILDER.
 FULL HEIGHT 8" WALL IN HOUSE - 8" FROST WALL IN GARAGE.
 1/2" ANCHOR BOLTS AT 8' O.C.
 ALL FOOTINGS 12" X 24" KEYS.
 TIES BROKEN OFF AND SEALED AND FOUNDATION COATINGS ON HOUSE FOUNDATION.
 ALL EXTERIOR DRAINS TO HAVE DRAIN SOCK.
 INTERIOR DRAINS IN 6" CRUSHED ROCK.
 RECOMMEND RADON PIPING IN 6" CRUSHED ROCK - DO NOT CONNECT TO DRAIN SYSTEM.
 GARAGE OH AND ENTRY DOOR GITS TO BE APPROVED BY THE BUILDER.
 INTERIOR AND EXTERIOR POSITIVE DRAINS OR DRAINS TO A SUMP HOLE.
 ALL ELECTRICAL, PLUMBING, SEWERAGE, OR OTHER FOUNDATION CUTOUTS VERIFIED BY BUILDER.
 ALL FOUNDATION TOPS TO BE THE SAME HEIGHT UNLESS OTHERWISE NOTED.



IN ACCEPTING THESE DRAWINGS, BUILDERS REALIZE THAT THEY ARE FOR PICTORIAL REPRESENTATION ONLY AND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY FOR THE QUALITY OF THE WORK AND THE BUILDING WILL BE OVER THEIR SHOULDERS. HOUSE CALLS INC. WILL BE GLAD TO CORRECT THEM BEFORE CONSTRUCTION STARTS.

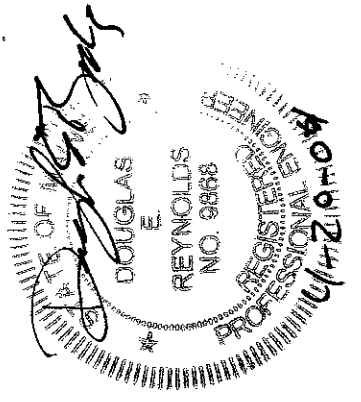
DRIVEN BY	J. CALL	DATE	3 OF 3
SCALE	1/4" = 1'	DATE	3/04
TITLE	FOUNDATION & STRUCTURALS		

HOUSE CALLS INC.
 HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, ME

H.C.I.
IF THIS STAMP IS NOT RED THIS IS AN ILLEGAL SET OF PLANS
 USE OR REPRODUCTION OF THESE PLANS WITHOUT PERMISSION IS PROHIBITED BY FEDERAL LAW VIOLATIONS ARE PUNISHABLE BY FINES OF UP TO \$ 100,000 TO OBTAIN LEGAL COPIES OF THIS PLAN CONTACT BREEZEWAY STRUCTURAL
HOUSE CALLS INC.
 151 ROOSEVELT TRAIL, WINDHAM ME.
 207-892-2810

DEPT. OF BUILDING INSPECTOR
 14-CITY OF PORTLAND, ME

ADD 2 1 2004



LOT 6
36,179 S.F.
0.83 AC.

LOT 7
33,112 S.F.
0.76 AC.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

25' REAR SETBACK

14' SIDE SETBACKS

REFER TO BUILDING PLANS FOR DIMENSIONS

2 CAR GARAGE

2-STORY SINGLE FAMILY RESIDENCE

2 - 2.5' CAL. RED MAPLES OR EQUIVALENT

3/4" DOMESTIC WATER
6" SAN
L= 73'
S= 0.0104 MIN

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALK PER CITY OF PORTLAND DETAILS

DOUBLE CLEANOUT

WETLAND AREA PERMITTED FOR FILL/ALTERATION AS PART OF PRESUMPCOT RIVER PLACE PHASE III PERMITS APPLICATION



Design:	WHS	Date:	APRIL 04
Drawn:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
Bowdoin, ME 04939
207-697-6910
E-Mail: main@gpengineers.com

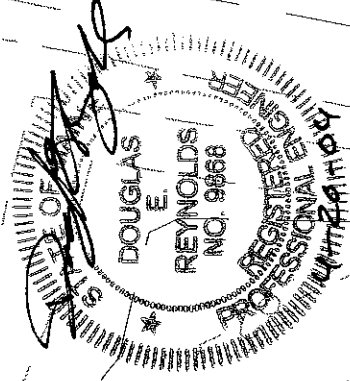
Drawing Name:

Lot 7 Site and Utility Plan

Project: **PRESUMPCOT RIVER PLACE**

Figure No.

2



LOT 6
36,179 S.F.
0.83 AC.

LOT 7
33,112 S.F.
0.76 AC.

6" GRAVITY FOUNDATION
DRAIN TO DAYLIGHT,
S=0.0025 MIN. - PROVIDE
DOUBLE CLENOT AS
NECESSARY

SILT FENCE (TYP.)

TENAX MULTIMAT FABRIC ON
SLOPES EQUAL TO OR STEEPER
THAN 8% FOR OCTOBER, 1st
THROUGH APRIL 15th AND
EQUAL TO OR STEEPER THAN
15% FOR APRIL 15th THROUGH
OCTOBER 1st (TYP)

NOTE: ALL DISTURBED AREAS
NOT SUBJECT TO PAVEMENT OR
BUILDINGS SHALL RECEIVE 4"
OF LOAM & SEED.

STONE CHECK DAM AS
NECESSARY

HOMEOWNER TO COORDINATE
WITH LOT 6 & 8 OWNERS FOR
GRADING OF DITCH ALONG
PROPERTY LINES

WETLAND AREA
PERMITTED FOR
FILL/ALTERATION AS
PART OF PRESUMPCOT
RIVER PLACE PHASE III
PERMIT APPLICATION



1 inch = 30 ft.

Dsgn:	WHS	Date:	APRIL 04
Dgt:	CAH	Job No.:	958
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1227
15 Shaw Ave
04009
207-657-6910
FAX: 207-657-6912
E-Mail: mgorrill@palmer.com

Drawing Name: **Lot 7 Grading and Drainage Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No.

3