

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1843	Issue Date: JAN 24 2006	CBL: 392 A007001
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Location of Construction: 140 HOPE AVE	Owner Name: SHAW LARRY R & KEVIN L SH	Owner Address: 23 LONGWOODS RD	Phone:
Business Name:	Contractor Name: Kevin Shaw	Contractor Address: 140 Hope Ave Portland	Phone: 2077806156
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R2

Past Use: Single Family	Proposed Use: Single Family install a gas fireplace	Permit Fee: \$30.00	Cost of Work: \$500.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: HVAC	

Proposed Project Description: Install a gas fireplace	Signature: JMB 1/13/06
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 12/16/2005	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>OK</i> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>JMB 1/9/06</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: <i>JMB</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

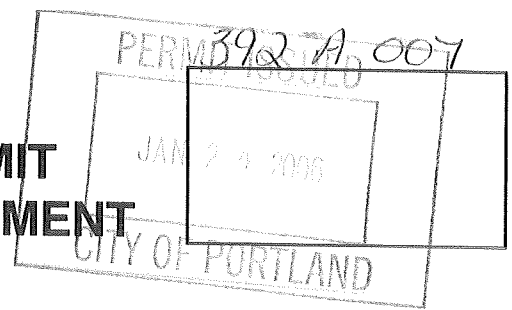
1/23/05 Met w/ Kevin Shaw - pipe exit
The rear of the unit 4" diameter. This
unit is not a heating appliance - only
appearance of fireplace.

Kevin built a 10" square for wall framing
at vent pipe. OK JMB



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 140 Hope Ave Use of Building _____ Date Dec 15 2005

Name and address of owner of appliance Kevin Shaw 140 Hope Ave Portland ME 04103

Installer's name and address Kevin Shaw 140 Hope Ave Portland ME 04103

Telephone 780-6156

Location of appliance:

- Basement
- Attic
- Floor
- Roof

Type of Fuel:

- Gas
- Oil
- Solid Gas fireplace

Appliance Name: Empire Viking Gas Stove Top

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # _____
- Gas # PNT1407
- Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

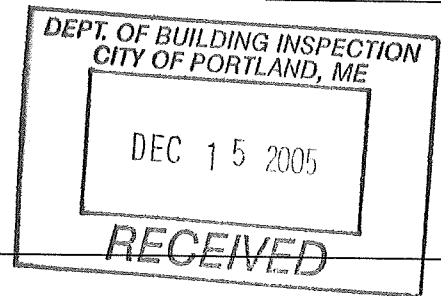
Size of Tank _____

Number of Tanks _____

Distance from Tank to Center of Flame _____ feet.

Cost of Work: \$ 500.00

Permit Fee: \$ 30.00



Approved

Fire: _____

Ele.: _____

Bldg.: _____

Approved with Conditions

- See attached letter or requirement

Inspector's Signature _____

Date Approved _____

Signature of Installer Kevin Shaw

INSTALLATION

Framing and Finishing

1. Choose unit location.
2. Frame in fireplace with a header across the top. It is important to allow for finished face when setting the depth of the frame.
3. Attach fireplace to frame using adjustable frame. Preset depth to suit facing material (adjustable to 1/2", 5/8" or 3/4" depths).
4. Use (8) 1/2" hex-head screws supplied in hardware package, to screw through slotted holes in drywall strip and then screw into pre-drilled holes on fireplace side. Measure from face of fireplace to face of drywall strip to determine final depth.

USE OUTER
(4) FLANGES
FOR 1/2"
DRYWALL

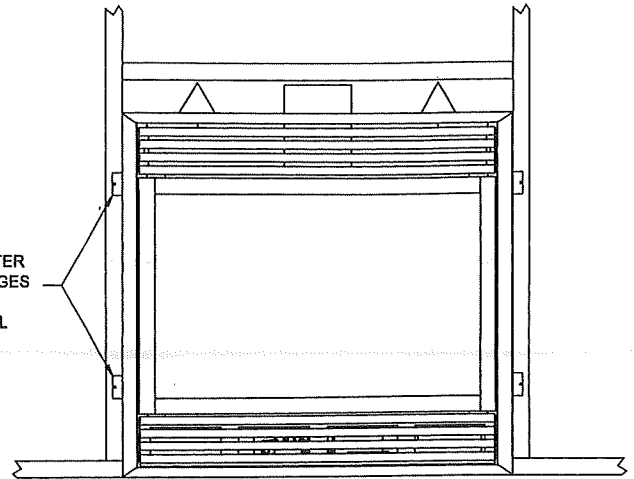


Figure 8

Vent Pipe Clearance

Note: Maintain one inch (1") of clearance around vertical vent pipe. See Fig. 9A. For horizontal vent, maintain a minimum 1" clearance to the bottom and sides of the vent, and 3" clearance to combustibles above the vent pipe. See Fig. 9B

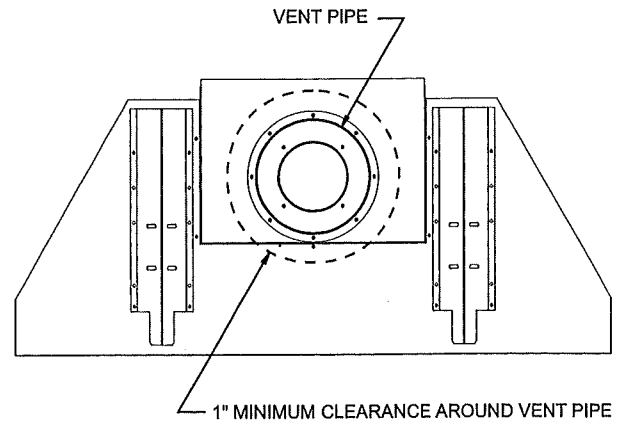


Figure 9A

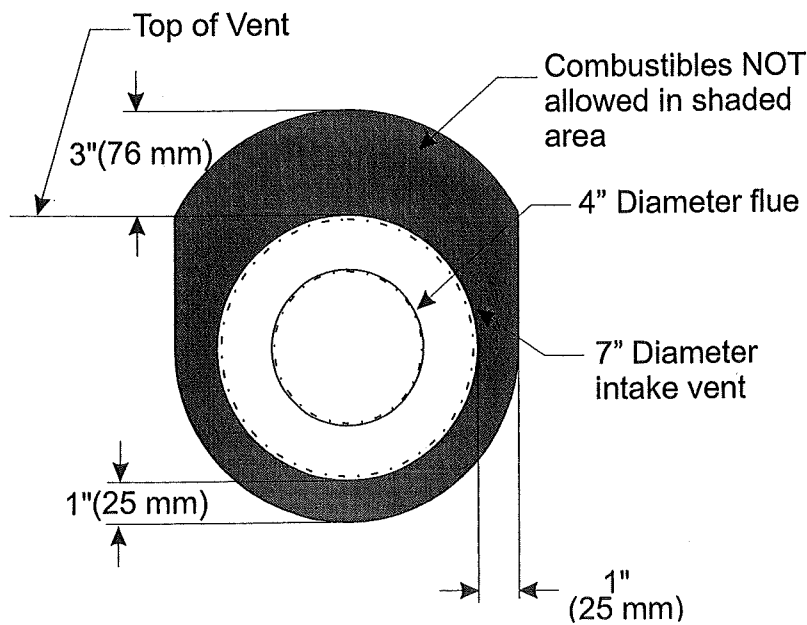


Figure 9B

INSTALLATION (continued)

Flush Mount Mantel Installation (Figure 10)

The fireplace must extend 3/4" beyond finished wall surface when using a flush mount mantel. Refer to Figure 10 to locate nailing flanges on fireplace sides. Mark and drill two (2) 1/8" holes into fireplace side to mount each nailing flange. Use eight (8) 1/2" hex-head screws supplied in hardware package to attach nailing flanges to fireplace sides.

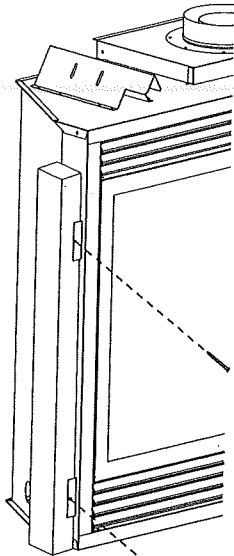


Figure 10

NAIL OR OTHER SUITABLE FASTENER

Attention: When fireplace is installed in optional full cabinet mantel or corner mantel the (4) four nailing flanges shown in Figure 10 will not be installed on the side of outer casing. The fireplace will be attached to the full cabinet mantel or corner mantel with the (2) two nailing flanges located on the top of the outer casing assembly.

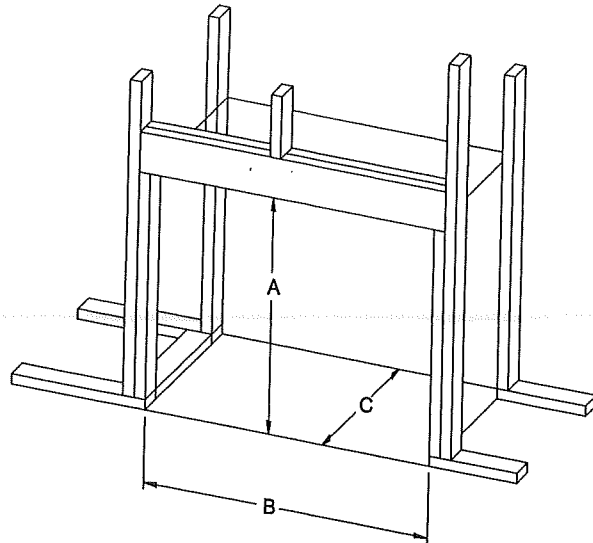
Framing (Figure 11)

Fireplace framing can be built before or after the fireplace is set in place. Framing should be positioned to accommodate wall covering and fireplace facing material. The fireplace framing should be constructed of 2 x 4 lumber or heavier. The framing headers may rest on the fireplace standoffs. Refer to Figure 11 for minimum framing dimensions.

CAUTION: MEASURE FIREPLACE DIMENSIONS AND VERIFY FRAMING METHODS, AND WALL COVERING DETAILS BEFORE FRAMING CONSTRUCTION BEGINS.

Framing dimension "A" includes a three inch clearance for standoffs on firebox. After installing firebox into framing, the finished wall surface must cover the three inch opening above the firebox.

Note: For finishing to top of fireplace, refer to Figure 12.



	DVD32	DVD36	DVD42	DVD48
"A"	35 3/4" (908mm)	35 3/4" (908mm)	37 3/4" (959mm)	37 3/4" (959mm)
"B"	34 3/8" (873mm)	37 3/8" (949mm)	43 3/8" (1102mm)	49 3/8" (1254mm)
"C"	16 3/8" (416mm)	16 3/8" (416mm)	16 3/8" (416mm)	16 3/8" (416mm)

Figure 11

Attention: Add 3-3/4" to "A" dimensions when using a flush mantel base.

Attention: If a base or mantel is not used and the appliance is installed directly on carpeting, tile or other combustible material other than wood flooring, it shall be installed on a metal or wood panel extending the full width and depth of the appliance. The vertical dimension in Figure 11 must be adjusted when a metal or wood panel is placed beneath the appliance.

Finishing (Figures 12 and 13)

Finish the walls with the material of your choice. Figure 3 on page 7 shows the minimum vertical and corresponding maximum horizontal dimensions of mantels or other combustible projections above the top front edge of the fireplace.

Only non-combustible materials may be used to cover the black fireplace front.

Warning: When finishing the fireplace never obstruct or modify the air inlet/outlet louvers in any manner. Provide adequate clearances around air openings into the combustion chamber.

Caution: If the joints between the finished wall and the fireplace surround (top and sides) are sealed, a 300°F minimum sealant material must be used. These joints are not required to be sealed. Only non-combustible material (using 300°F minimum adhesive if needed), can be applied as facing to the fireplace surround.

Flush Wall Installation

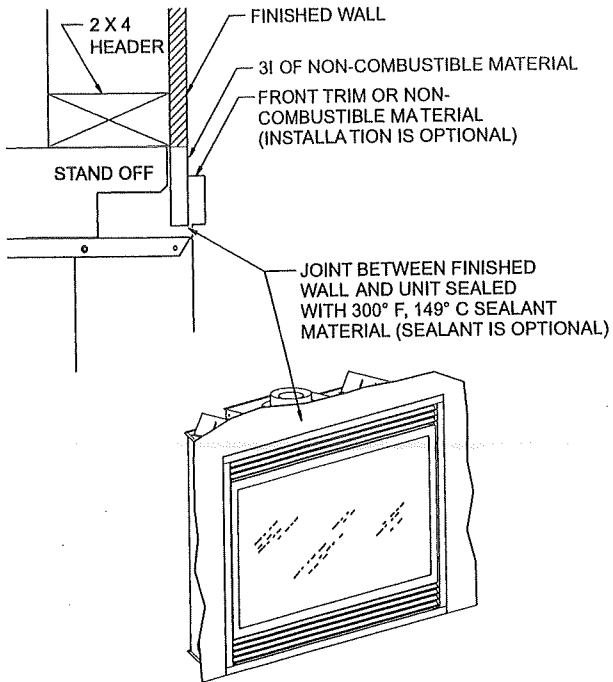


Figure 12

Combustible Surround Installation

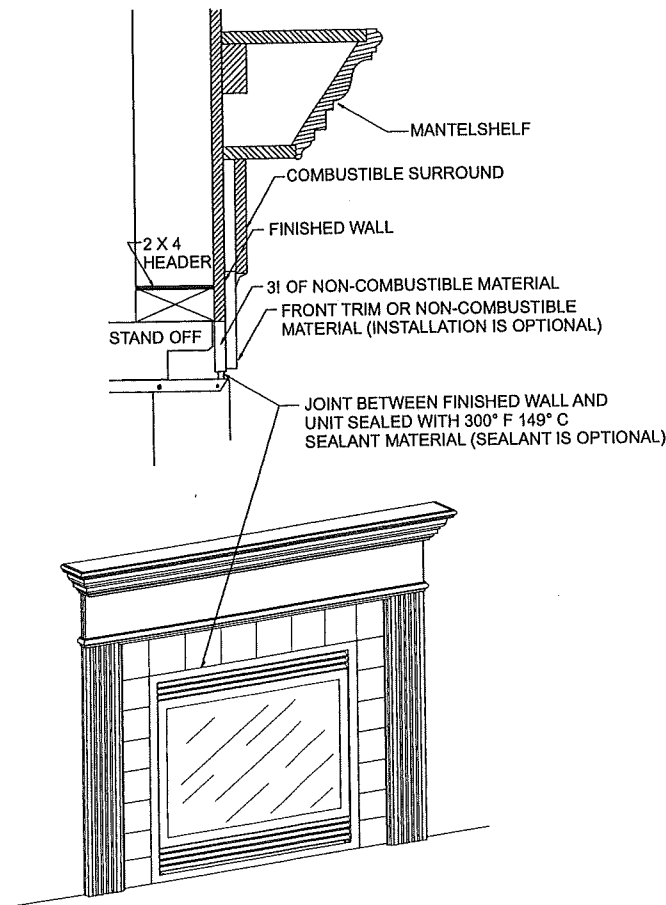


Figure 13

Attention: Cold climate installation recommendation:
When installing this unit against a non-insulated exterior wall, it is mandatory that the outer walls be insulated to conform to applicable insulation codes.

Vent Runs (Figures 14, 15, 16, 17 and 18)

In planning the installation for the fireplace, it is necessary to install certain components before the appliance is completely positioned and installed. These include the direct vent system, gas piping for the appliance and the electrical wiring. (If the fan option is used.)

The appliance can be mounted on any of the following surfaces:

1. A flat, hard combustible (burnable) surface.
2. A raised wooden platform.
3. Four (4) corner supports. (Example: Four (4) concrete masonry blocks.) These supports must be positioned so they contact all four (4) perimeter edges on the bottom of the unit.

VERTICAL, 90° ELBOW WITH HORIZONTAL TERMINATION

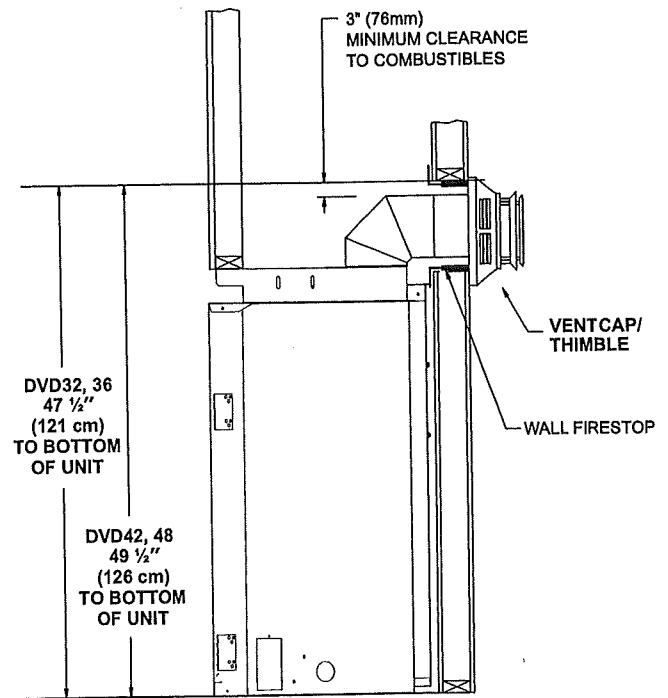
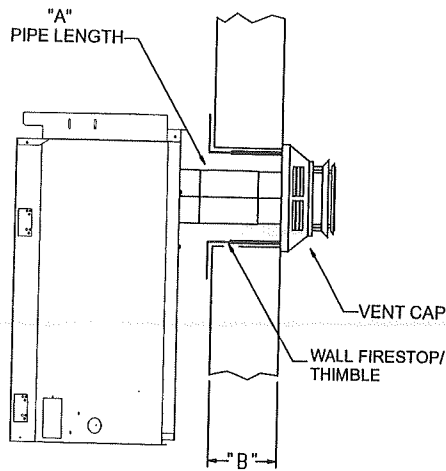


Figure 14

INSTALLATION (continued)

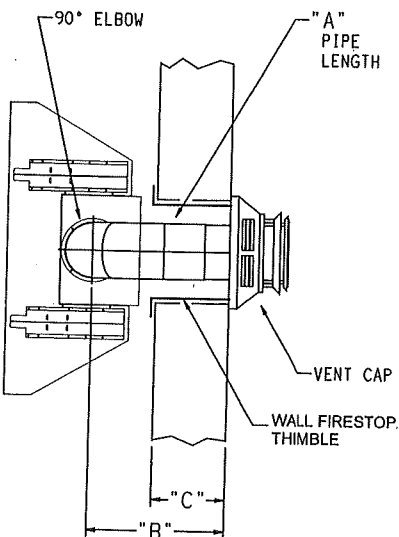
HORIZONTAL ONLY, STRAIGHT OUT THE BACK



"A"	"B"	Models
6"	5 1/8" to 6 1/2" (130mm to 165mm)	DVD 32,36,42,48
9"	8 1/8" to 9 1/2" (206mm to 241mm)	DVD 32,36,42
12"	11 1/8" to 12 1/2" (283mm to 317mm)	DVD 32,36,42

Figure 15

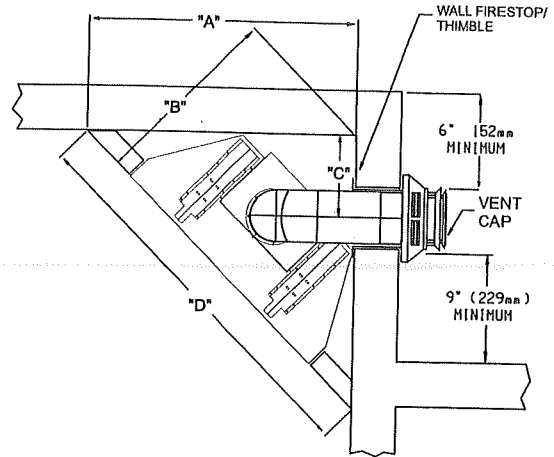
VERTICAL, 90° ELBOW TO HORIZONTAL OUT THE WALL



"A"	"B"	"C"
6"	11 1/4" to 12 3/4" (286mm to 324mm)	4 3/4" to 6 1/4" (121mm to 159mm)
9"	14 1/4" to 15 3/4" (362mm to 400mm)	7 3/4" to 9 1/4" (197mm to 235mm)
12"	17 1/4" to 18 3/4" (438mm to 476mm)	10 3/4" to 12 1/4" (273mm to 311mm)

Figure 16

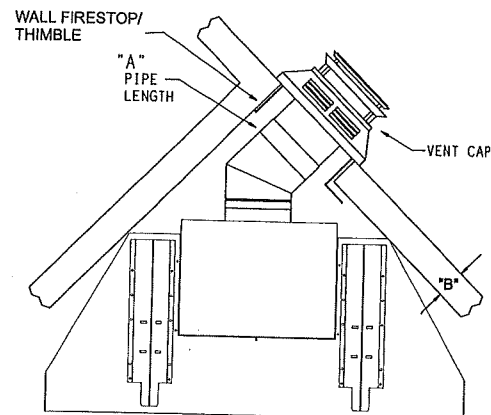
CORNER INSTALLATION VERTICAL, 90° ELBOW TO HORIZONTAL OUT THE WALL



Dim.	DVD32	DVD36	DVD42	DVD48
A	36 1/8" 918mm	38 3/8" 975mm	42 1/2" 1080mm	46 3/4" 1187mm
B	25 1/2" 648mm	27 1/8" 689mm	30 1/8" 765mm	33 1/8" 841mm
C	11 1/2" 292 mm	12 5/8" 321 mm	14 3/4" 375 mm	16 7/8" 429 mm
D	51 1/8" 1299mm	54 1/4" 1378mm	60 1/8" 1527mm	66 1/8" 1680mm

Figure 17

CORNER INSTALLATION HORIZONTAL, 45° ELBOW TO HORIZONTAL OUT THE WALL



	DVD32	DVD36	DVD42	DVD48
"A"	"B"	"B"	"B"	"B"
6" (152mm)	4" to 5 1/2" (102mm to 140mm)	4" to 5" (102mm to 127mm)	n/a	n/a
9" (229mm)	6" to 7 1/2" (152mm to 191mm)	6" to 7 1/2" (152mm to 191mm)	4" to 5 1/2" (102mm to 140mm)	n/a
12" (305mm)	9" to 10 1/2" (229mm to 267mm)	9" to 10 1/2" (229mm to 267mm)	9" to 10 1/2" (229mm to 267mm)	n/a

Figure 18

TERMINATION CLEARANCES

Termination clearance for buildings with combustible and noncombustible exteriors.

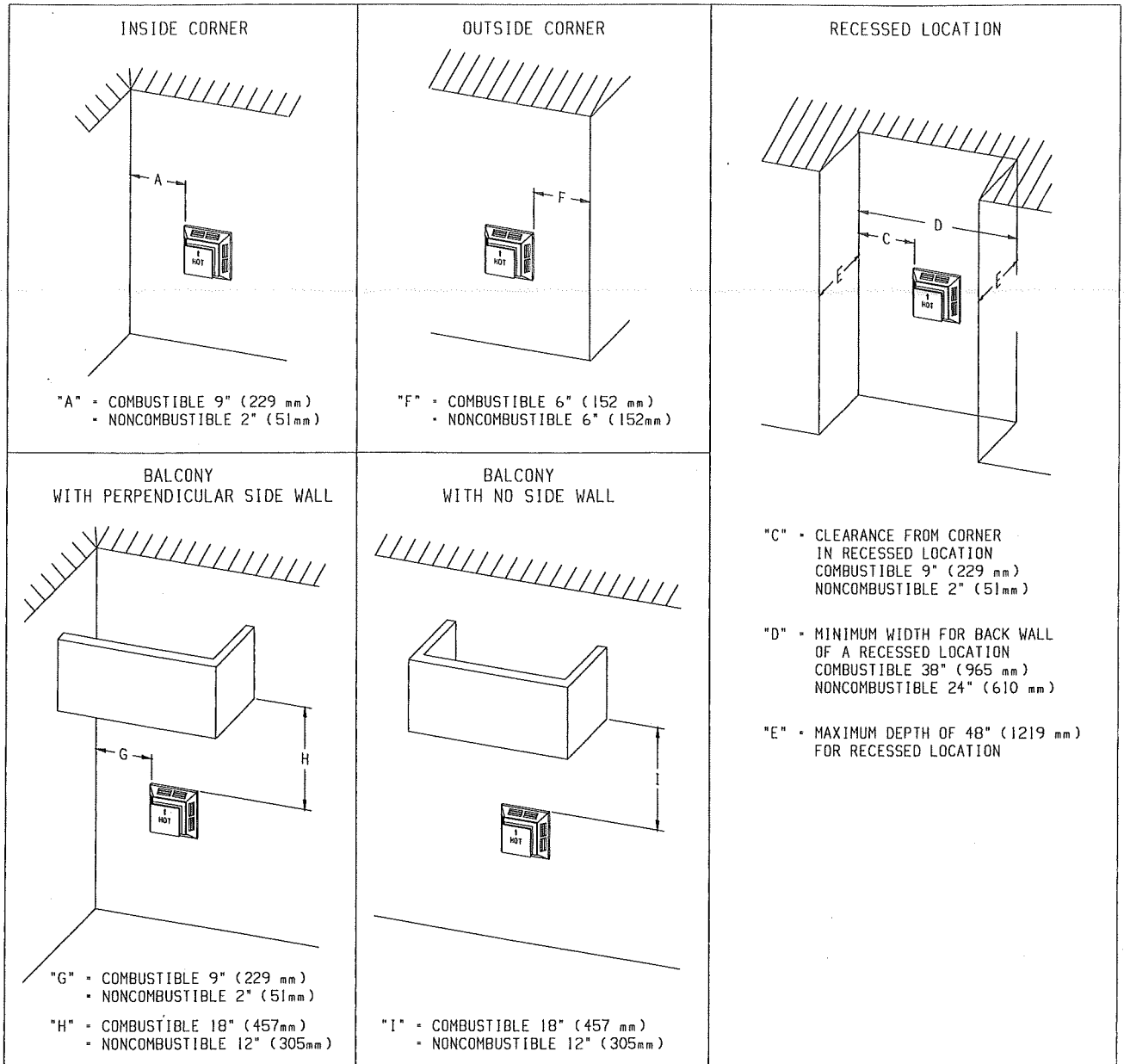


Figure 34

Vertical Sidewall Installations

Important! Minimum clearance between vent pipes and combustible materials is three (3") (76mm) on top, and (1") (25mm) on bottom and sides.

Important! When vent termination exits through foundation less than 20" below siding outcrop, the vent pipe must flush up with the siding. SD-985 termination cap must be used.

Information on Various Venting Routes and Components

Important: It is always best to locate the fireplace in such a way that minimizes the number of offsets and horizontal vent length.

Since it is very important that the venting system maintain its balance between the combustion air intake and the flue gas exhaust, certain limitations as to vent configurations apply and must be strictly adhered to.

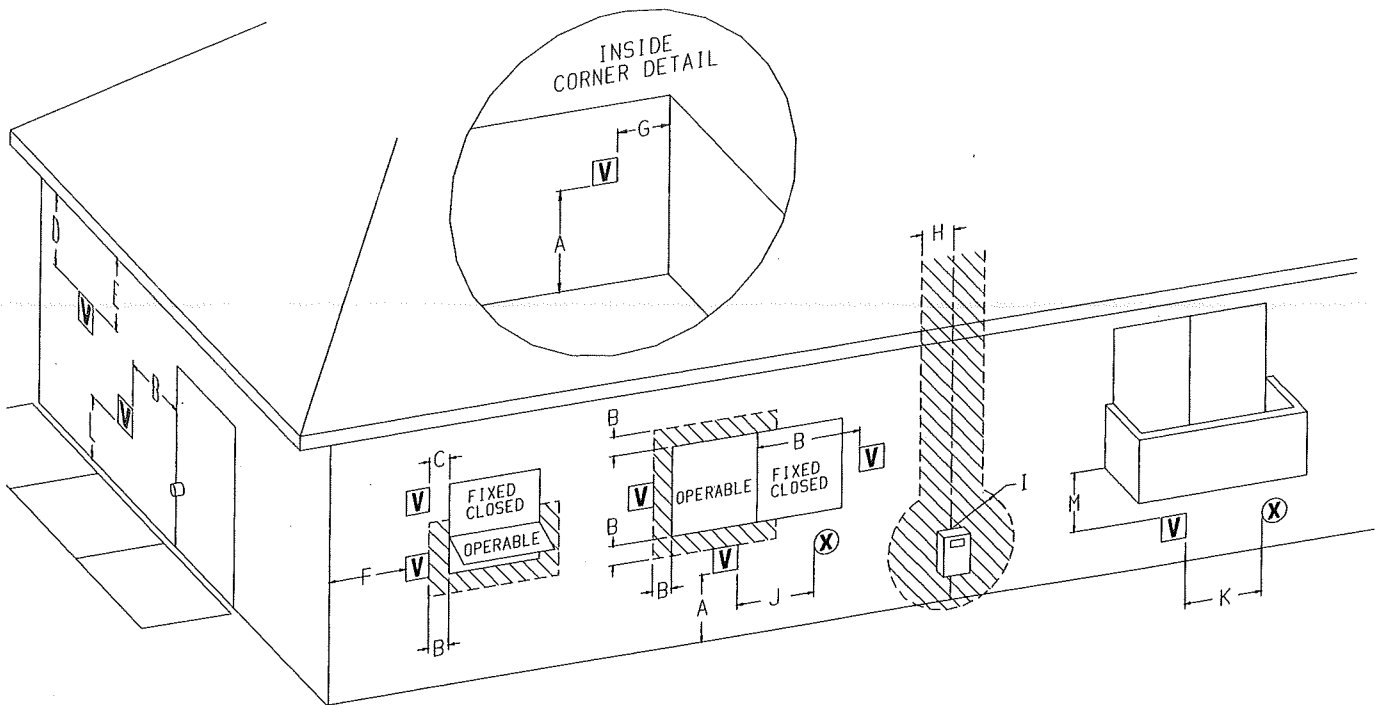
The graph showing the relationship between vertical and horizontal side wall venting will help to determine the various vent lengths allowable.

The horizontal vent run refers to the total length of vent pipe from the flue collar of the fireplace to the face of the outer wall.

The maximum horizontal vent run is 20 feet (457 cm) when the vertical vent rise is 8 feet (244 cm) (See Figure 19).

Venting terminals shall not be recessed into wall or siding.

VENT CLEARANCES



V VENT TERMINAL **X** AIR SUPPLY INLET AREA WHERE TERMINAL IS NOT PERMITTED

Figure 35

- A = *Clearance above grade, veranda, porch, deck or balcony [*12 inches (30cm) minimum]
- B = clearance to window or door that may be opened [*12 inches (30cm) minimum for appliances < 100,000 Btuh (30kW)]
- C = clearance to permanently closed window [minimum 12 inches (30cm) recommended to prevent condensation on window]
- D = vertical clearance to ventilated soffit located above the terminal within a horizontal distance of 24 inches (60 cm) from the center of the terminal [18 Inches (46 cm) minimum]
- E = clearance to unventilated soffit [12 inches 30cm) minimum]
- F = clearance to outside corner [See Page 20]
- G = clearance to inside corner [See Page 20]
- H = *not to be installed above a meter/regulator assembly within 3 feet (90cm) horizontally from the center-line of the regulator
- I = clearance to service regulator vent outlet [*6 feet (1.8m) minimum]

- J = clearance to non-mechanical air supply inlet to building or the combustion air inlet to any other appliance [*12 inches (30cm) minimum for appliances ≤ 100,000 Btuh (30 kW)
36 inches (90cm) minimum for appliances > 100,000 Btuh (30kW)]
- K = clearance to a mechanical air supply inlet [* 6 feet (1.8m) minimum]
- L = †clearance above paved sidewalk or a paved driveway located on public property [*7 feet (2.1m) minimum]
- M = clearance under veranda, porch, deck, or balcony [*12 inches (30cm) minimum ‡]
- † a vent shall not terminate directly above a sidewalk or paved driveway which is located between two single family dwellings and serves both dwellings*
- ‡ only permitted if veranda, porch, deck, or balcony, is fully open on a minimum of 2 sides beneath the floor*
- * as specified in CGA B149 Installations Codes or ANSI Z223.1. Note: Local Codes or Regulations may require different clearances.

VENTING FIREPLACE - REAR

To Use the Vent Graph (Figure 29)

1. Determine the height of the center of the horizontal vent pipe. Using this dimension on the Sidewall Vent Graph, locate the point it intersects with the slanted graph line.
2. From the point of this intersection, draw a vertical line to the bottom of the graph.
3. Select the indicated dimension, and position the unit in accordance with same.

EXAMPLE A:

If the vertical dimension from the floor of the unit is 12 feet, the horizontal run to the outer wall flange must not exceed 12.3 feet.

EXAMPLE B:

If the vertical dimension from the floor of the unit is 6 feet, the horizontal run to the outer wall flange must not exceed 6.5 feet.

SPECIAL NOTE: For each 45 degree elbow installed in the horizontal run, the length of the horizontal run **MUST** be reduced by 18" (45cm). This does not apply if the 45 degree elbows are installed on the vertical part of the vent system. Reduce 3' for every 90° elbow.

Example: According to the chart the maximum horizontal vent length is 20' and if two 45 degree elbows are required in the horizontal vent it must be reduced to 17'.

The maximum number of 45 degree elbows permitted per side wall installation is two (2). These elbows can be installed in either the vertical or horizontal run.

Note: When rear venting unit, adjust air shutter from 1/16" open up to between 1/8" and 3/16" for NAT gas.

Adjust air shutter from 1/4" open to between 5/16" and to 3/8" for LP gas.

Venting Graph (Dimensions in Feet)

REAR EXIT - VERTICAL AND HORIZONTAL TERMINATION
(DIMENSIONS IN FEET)

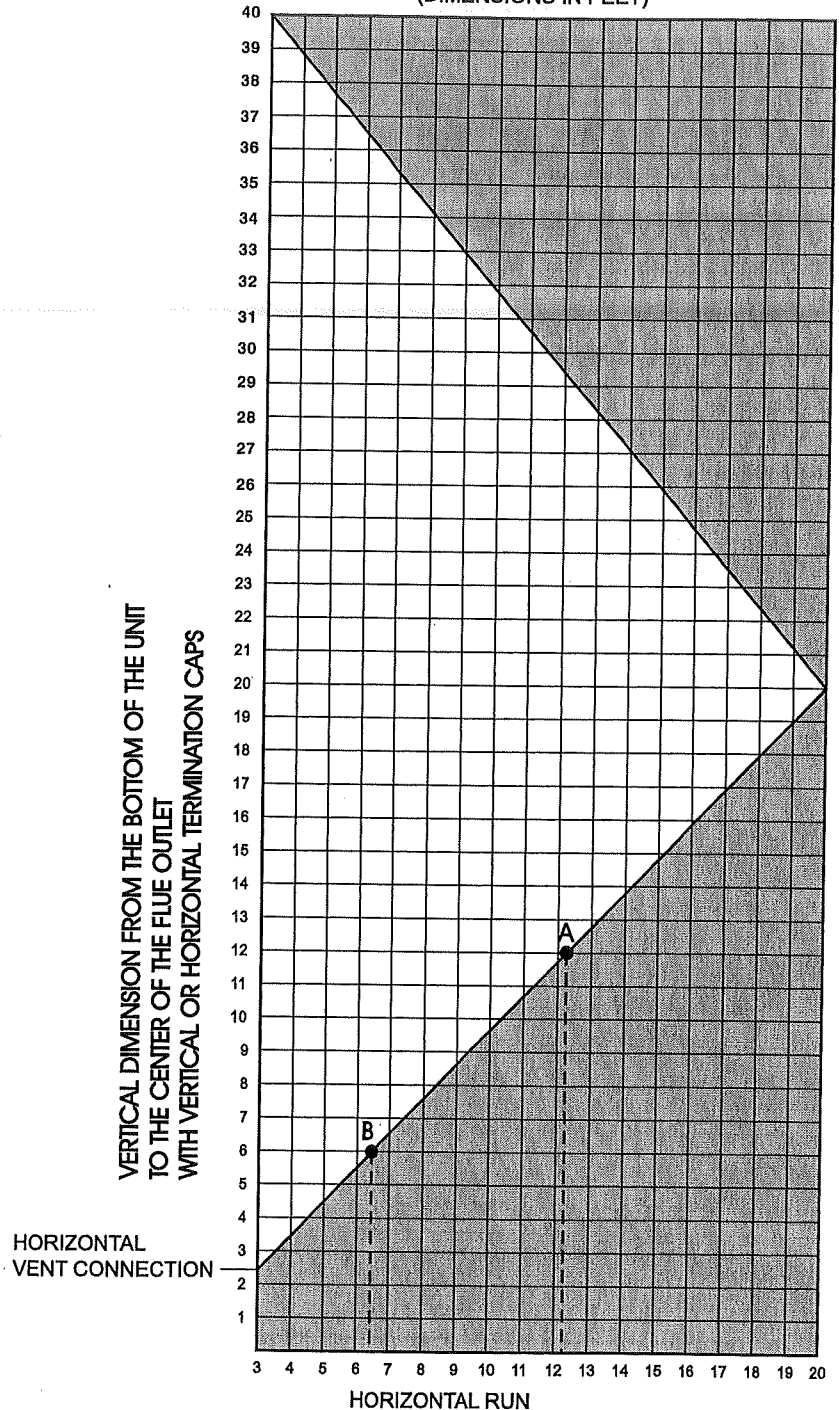


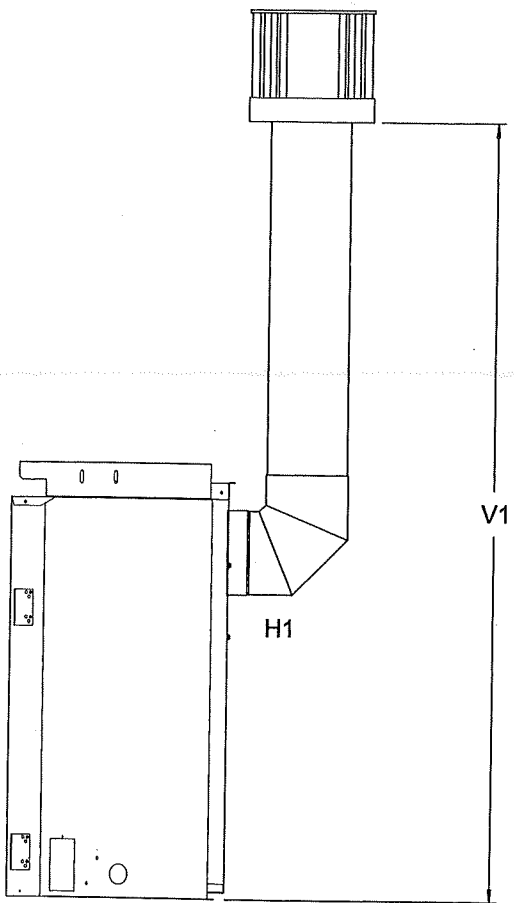
Figure 29

- Acceptable vertical and horizontal vent run.
- Unacceptable vertical and horizontal vent run.

Note: When rear venting unit, adjust air shutter from 1/16" open up to between 1/8" and 3/16" for NAT gas.

Adjust air shutter from 1/4" open to between 5/16" and 3/8" for LP gas.

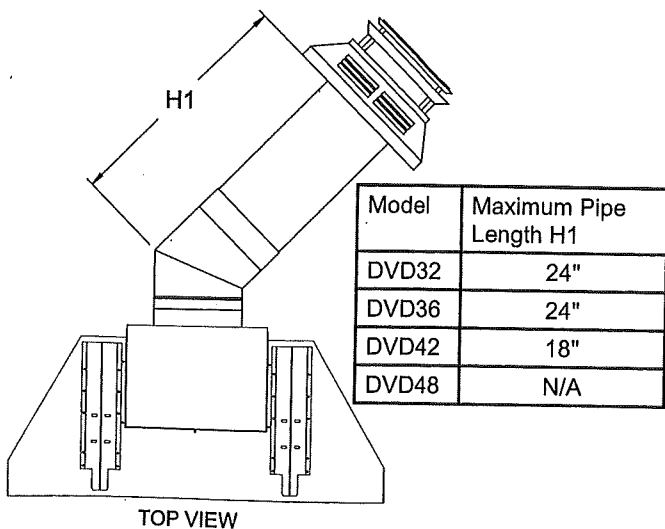
EXAMPLES - REAR VENT RUN



Example
 $H_1 (90^\circ) = 3\text{ft}$
 $V_1 = 22\text{ft}$

$H = 3\text{ft}$ $V = 22\text{ft}$

Figure 30



TOP VIEW

Figure 31

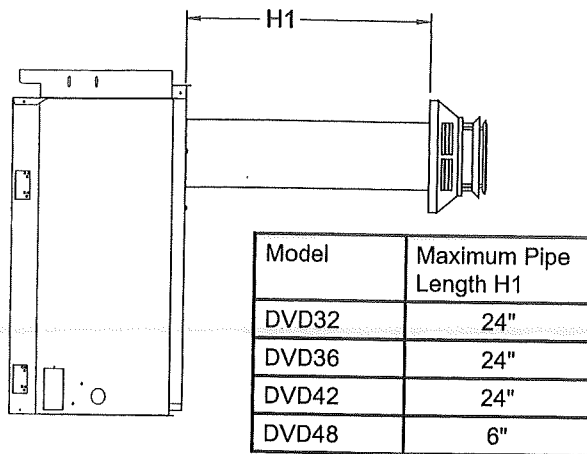
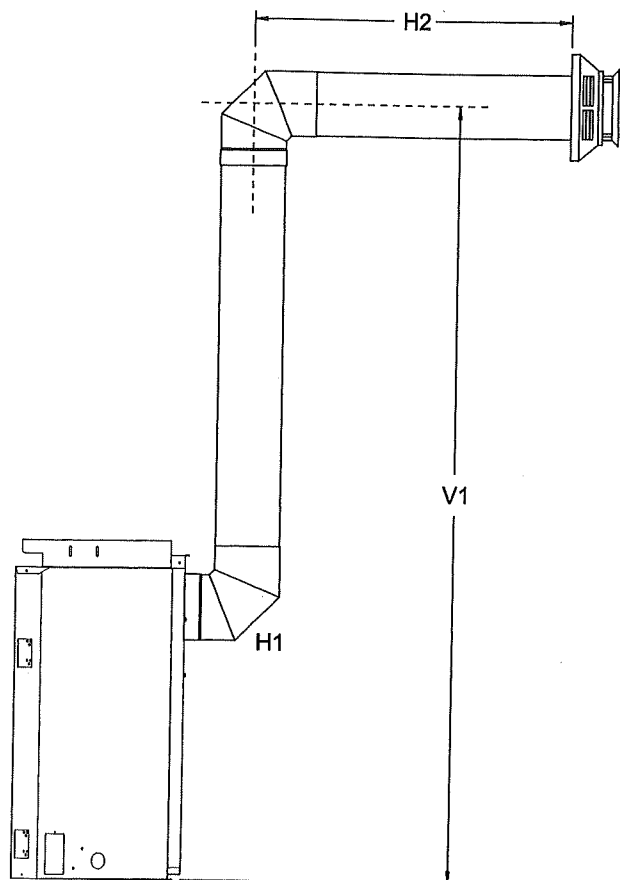


Figure 32



Example
 $H_2 = 4\text{ft}$
 $(90^\circ + 90^\circ) = 6\text{ft}$
 $V_1 = 12\text{ft}$

$H = 10\text{ft}$ $V = 12\text{ft}$

Figure 33



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 140 Hope Ave

CBL 392 A007001

Issued to Shaw Larry R & /Longwood Assoc.

Date of Issue 12/19/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0456, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Residency, Use Group R-3, Type 5b,
Boca1999

Limiting Conditions:

Temporary Certificate of Occupancy Until June 1, 2006 due to Incomplete Site Work.

**This certificate supersedes
certificate issued**

Approved:

12/19/05 *Thomas M. Mackay*
(Date) Inspector

[Signature] 12/19/05
Inspector of Buildings

This data is provided by the Assessor's Office and is current as of **November 2, 2005** Fees **\$0.00** New S

CBL	392 A007001	CARD	1 of 1	Property Address	140 HOPE AVE	
Owner Name 1	SHAW LARRY R &			Property Type	RESIDENTIAL	View Complaint
Name 2	KEVIN L SHAW JTS			Description	392-A-7 HOPE AVE 138-144 33112 SF LOT 7	View Inspection
Mailing Address	23 LONGWOODS RD					View Application
City, State, Zip	CUMBERLAND	ME	04021			

Date/Time	Staff/Contact	Street	Parcel ID	Appl ID	Appl Type	Type
12/15/05	Tom Markley	140 HOPE AVE	392 A00700	40456	Prmt	Certificate of Occupancy/Fin
			kevin shaw 781-2644			
04/12/05	Jonathan Reed	140 HOPE AVE	392 A00700	40456	Prmt	Electrical Only
6:00 AM			Recheck for ground wire 759-8090			
04/11/05	Peter Merrow	140 HOPE AVE	392 A00700	40456	Prmt	Close-in/Elec./Plmb./Frami
6:00 AM			829-3921 Kevin pager 759-8090			
04/11/05	Kevin Carroll	140 HOPE AVE	392 A00700	40456	Prmt	Close-in/Elec./Plmb./Frami
6:00 AM			829-3921 Kevin pager 759-8090			
09/16/04	Kevin Carroll	140 HOPE AVE	392 A00700	2E+07	ElcPe	Electrical Only
6:00 AM			Call Jim @ 831-5946 requesting early am insp. They won't forget the lad			
09/10/04	Kevin Carroll	140 HOPE AVE	392 A00700	2E+07	ElcPe	Electrical Only
6:00 AM			call Jim @ 831-5946 for service insp.			
07/07/04	Marland Wing	140 HOPE AVE	392 A00700	0	Prmt	Inspection
6:00 AM			call Kevin his pager is 759-8090 as early as possible			
06/23/04	Marland Wing	140 HOPE AVE	392 A00700	40456	Prmt	Footings/Setbacks
6:00 AM			Call Kevin @ 829-3921 or 759-8090 (pager) prefers mid morning.			

*City of Portland, Maine
Inspections Division
Inspection Schedule by Date*

Time	Inspector	Type		Address	Contact	Census Parcel/AppID	Phone	
Date 06/23/2004								
6:00 AM	Marland Wing	Footings/Setbacks	Prmt	140 HOPE AVE		392 A007001		
Comments: Call Kevin @ 829-3921 or 759-8090 (pager) prefers mid morning.						AppID: 40456	Status:	Score:
Outcome:								
Date 07/07/2004								
6:00 AM	Marland Wing	Inspection	Prmt	140 HOPE AVE		392 A007001		
Comments: call Kevin his pager is 759-8090 as early as possible						AppID: 0	Status:	Score:
Outcome:								
Date 09/10/2004								
6:00 AM	Kevin Carroll	Electrical Only	ElcPe	140 HOPE AVE		392 A007001		
Comments: call Jim @ 831-5946 for service insp.						AppID: 20044967	Status:	Score:
Outcome:								
Date 09/16/2004								
6:00 AM	Kevin Carroll	Electrical Only	ElcPe	140 HOPE AVE		392 A007001		
Comments: Call Jim @ 831-5946 requesting early am insp. They won't forget the ladder this time,						AppID: 20044967	Status:	Score:
Outcome:								
Date 04/11/2005								
6:00 AM	Kevin Carroll	Close-in/Elec./Plmb./Framing	Prmt	140 HOPE AVE		392 A007001		
Comments: 829-3921 Kevin pager 759-8090						AppID: 40456	Status:	Score:
Outcome:								
6:00 AM	Peter Merrow	Close-in/Elec./Plmb./Framing	Prmt	140 HOPE AVE		392 A007001		
Comments: 829-3921 Kevin pager 759-8090						AppID: 40456	Status:	Score:
Outcome:								
Date 04/12/2005								

*City of Portland, Maine
Inspections Division
Inspection Schedule by Date*

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone	
6:00 AM	Jonathan Reed	Electrical Only	Prmt 140 HOPE AVE		392 A007001		
Comments: Recheck for ground wire 759-8090					AppID: 40456	Status:	Score:
Outcome:							
Date 12/15/2005							
	Tom Markley	Certificate of Occupancy/Final	Prmt 140 HOPE AVE		392 A007001		
Comments: kevin shaw 781-2644					AppID: 40456	Status:	Score:
Outcome:							
Date 01/23/2006							
9:30 AM	Jeanie Bourke	Inspection	Prmt 140 HOPE AVE	Kevin Shaw	392 A007001	(207) 780-6156	
Comments: Inspect for fireplace vent clearances call Kevin @ 780-6156					AppID: 51843	Status:	Score:
Outcome:							
Date 07/13/2010							
6:00 AM	Nicholas Adams	Inspection	Complaint 140 HOPE AVE		392 A007001		
Comments: Renting out basement created additional living space FYI does not appear that they received final c of o					AppID: 15460	Status:	Score: 0
Outcome: Went to site no one home. Real estate sign in yard edie and greg fontaine called edie and she is letting the Owner know. I informed her that there never was a final co and asked her if there was a kitchen in the basement and she said yes MLS # is 982196. Waiting for a call back NLA							
Date 07/20/2010							
10:21 AM	Jon Rioux	Inspection	Complaint 140 HOPE AVE		392 A007001		
Comments: Renting out basement created additional living space FYI does not appear that they received final c of o FOLLOW UP					AppID: 15460	Status: Re-Inspect 1	Score: 0
Outcome: Have tried to reach Kevibn many times to set up a appt. There is a complaint about the basement apt. The dwelling in on the MLS # is 982196 and the pictures show there is a kitchen and bathroom. All work in the basement is with out a permit and is a land use violation. There cannot be bedroom in the basement if there is not a means of egress. Also this dwelling is a single family home not a 2 family. Please contact me ASAP to schedule a inspection NLA. 07-20-10 Inspection: no one one site, out @ 10:23 AM, JGR.							
10:21 AM	Nicholas Adams	Inspection	Complaint 140 HOPE AVE		392 A007001		
Comments: Renting out basement created additional living space FYI does not appear that they received final c of o FOLLOW UP					AppID: 15460	Status: Re-Inspect 1	Score: 0
Outcome: Have tried to reach Kevibn many times to set up a appt. There is a complaint about the basement apt. The dwelling in on the MLS # is 982196 and the pictures show there is a kitchen and bathroom. All work in the basement is with out a permit and is a land use violation. There cannot be bedroom in the basement if there is not a means of egress. Also this dwelling is a single family home not a 2 family. Please contact me ASAP to schedule a inspection NLA. 07-20-10 Inspection: no one one site, out @ 10:23 AM, JGR.							

Date 08/04/2010

Wednesday, August 18, 2010

*City of Portland, Maine
Inspections Division
Inspection Schedule by Date*

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone	
	Nicholas Adams	Inspection	Complaint 140 HOPE AVE		392 A007001		
Comments: FOLLOW UP WITH Kevin Shaw about basement and close out of temp CO NLA					AppID: 15460	Status:	Score:
Outcome:							
Appointments Reported: 13							

left message

140 Hope Ave.

Permit # 04-0456

Kevin Shaw

392-A-7

780-6156

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL		
Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK OK OK	
Foundation Drainage Dampproofing (Section 406)	OK Drainage w/ fabric - not shown	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
Anchor Bolts/Straps (Section 403.1.4)		Shows - 8' OC - code is 6' OC - 5/12/04 - OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))		3-2x12's - OK largest span is 6'-10" Footing Sill? 24"x24" - Need 26"x26"
Sill/Band Joist Type & Dimesions		2x6 - OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK	Shows - 2x10's 16" OC OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))		- Garage - TJI's - size ? 400's 9 1/2" BCI'S

OK - 14' span

Ⓟ Drawing shows Garage in Bsmnt - Error - NO daylight

Ⓞ	Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))		Truss	
	Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))		Trusses } Need specs	
	Sheathing; Floor, Wall and roof (Table 503.2.1(1))		OK	
Ⓞ	Fastener Schedule (Table 602.3(1) & (2))		not shown	
	Private Garage Section 309 and Section 407 1999 BOCA)			
	Living Space? (Above or beside)	YES		
Ⓞ	Fire separation	Not shown where		
	Fire rating of doors to living space Door Sill elevation (407.5 BOCA)		OK shows 1 hour	
Ⓞ	Egress Windows (Section 310)		Not noted as egress	
	Roof Covering (Chapter 9)	OK	OK	
	Safety Glazing (Section 308)	OK	OK	
Ⓞ	Attic Access (BOCA 1211.1)		Shows 21" x 36" - Min is 22" x 30"	
Ⓞ	Draft Stopping around chimney		Clearances + draft stopping - Not shown	

Need for
All windows + doors
opening in bearing walls (Arches)

11	Header Schedule	Not shown	
	Type of Heating System	OK	
	Stairs		
	Number of Stairways		
	Interior 2		
	Exterior 2		
12	Treads and Risers (Section 314)	OK - Int OK - Exterior - Not shown	
	Width 3' - OK		
	Headroom OK		
13	Guardrails and Handrails (Section 315)	Not shown	
14	Smoke Detectors Location and type/Interconnected	Not shown	
	Plan Reviewer Signature		

See Chimney Summary Checklist

15 Steel Beam - need stamped by engineer.

16 Need all Laminates spec'd out.



Subject: 140 HOPE AVE

Date: MAY 10 2004

TAMMY MUNSON

Daily Notes

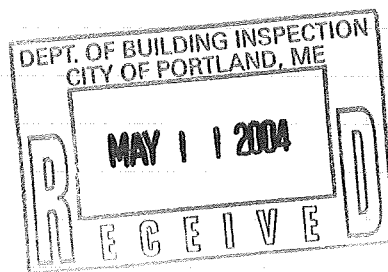
1. Anchor bolts Noted 6' OC
2. Footing Size - 12" X 24" X 24"
3. GARAGE TJI's - W140 9 1/2 X 14 16" OC / 9 1/2 RIM board
4. ROOF TRUSS
5. Cement work checked on plan
6. FASTENER Schedule / AND Tish Hama / Steel bolted
7. Noted on plan 5/8 Sheet Rock between breezeway AND garage plus ceiling
8. All bedrooms will have at least 2 egress means of exit this includes at least one window or more
9. Noted on plan Attic Access to be increased to at least 20" X 30"
10. Clearance Around Chimney Min 2" All the way to Roof with Flashing between Floors
11. Headers will be 2ND in All load bearing openings
12. Outside will be Granite Steps (2 Steps total) - 7 3/4" R 10" T
13. Noted on plan handrail to second floor
14. Noted on plan Smoke detectors in All bedrooms, Kitchen living room AREA, basement, breezeway
15. Steel W 16 X 26 28 long
16. Subfloors will be Advantech 3/4 TG / 11AM ~~3 1/2" / 15'~~
 Exterior will be 7/16 OSB 7X14 VL
 Roof will be Advantech 5/8 TG 4R W8 X 28

Any More Questions please call me

780-6156

Thank you

Kevin Shaw



Job	Truss	Truss Type	Qty	Ply	Shaw
67226	A	CAPE	15	1	
Sprowl Building Components, Searsmont, ME 04973, PJM			6.000 s Mar 8 2004 MITek Industries, Inc. Wed May 12 09:52:44 2004 Page 1		

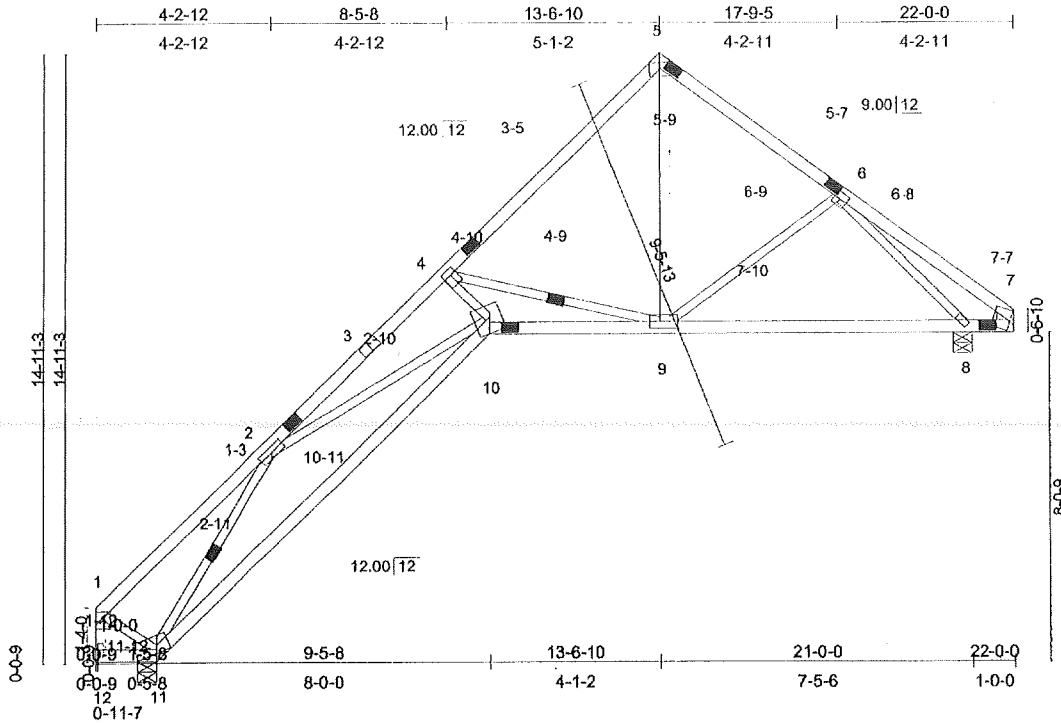


Plate Offsets (X,Y): [1:Edge,0-2-8], [4:0-1-12,0-1-12], [9:0-2-8,0-2-0], [10:0-3-4,0-4-0], [11:0-4-0,Edge]

LOADING(psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 45.0	Plates Increase	1.15	TC 0.72	Vert(LL)	-0.36 10-11	>653	360	MT20	197/144
TCDL 7.0	Lumber Increase	1.15	BC 0.83	Vert(TL)	-0.53 10-11	>443	240	MT20H	148/108
BCLL 0.0 *	Rep Stress Incr	YES	WB 0.95	Horz(TL)	0.57 8	n/a	n/a	Weight: 93 lb	
BCDL 10.0	Code	BOCA/ANSI95	(Matrix)						

LUMBER
 TOP CHORD 2 X 4 SPF No.2
 BOT CHORD 2 X 4 SPF No.2 *Except*
 7-10 2 X 4 SPF 1650F 1.5E
WEBS 2 X 3 SPF No.2 *Except*
 4-9 2 X 3 SPF 2100F 1.8E
OTHERS 2 X 3 SPF No.2
WEDGE
 Right: 2 X 3 SPF No.2

BRACING
 TOP CHORD
 Installation
 1 Stabilizer(s) at 9-4-8 (max) oc, Except:
 15-0-0 oc: 1-2,6-7.
 Permanent
 Sheathed or 2-9-5 oc purlins.
BOT CHORD
 Installation
 1 Stabilizer(s) at 15-0-0 (max) oc, Except:
 9-4-8 oc: 7-8.
 Permanent
 Rigid ceiling directly applied or 5-5-14 oc bracing.
WEBS
 1 row(s) of 1 Stabilizer(s) at 1/2 pts.
 2-11, 4-9

REACTIONS (lb/size)

11	=	1376/0-5-8
8	=	1339/0-5-8
Max Horz		
11	=	388(load case 6)
Max Uplift		
11	=	-115(load case 6)
8	=	-236(load case 6)
Max Grav		
11	=	1473(load case 2)
8	=	1339(load case 1)

FORCES (lb)
 Maximum Compression/Maximum Tension
TOP CHORD
 1-12 = -99/0

TOP CHORD

1-2	=	-160/209	2-3	=	-3646/1124
3-4	=	-3473/1137	4-5	=	-1399/333
5-6	=	-1217/366	6-7	=	-199/146

BOT CHORD

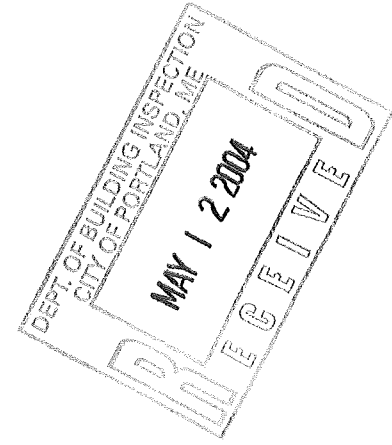
11-12	=	-110/177	10-11	=	-1082/1749
9-10	=	-1600/4137	8-9	=	-183/934
7-8	=	-2/107			

WEBS

1-11	=	-244/224	2-11	=	-2622/905
2-10	=	-219/1466	4-10	=	-1020/2583
4-9	=	-3481/1463	5-9	=	-306/970
6-9	=	-252/178	6-8	=	-1321/363

NOTES

- 1) Wind: ASCE 7-98; 90mph; h=20ft; TCDL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 2) Unbalanced snow loads have been considered for this design.
- 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
- 4) All plates are MT20 plates unless otherwise indicated.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 115 lb uplift at joint 11 and 236 lb uplift at joint 8.
- 7) For bracing specified, use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: Webs: 12-1-0; TC: Inst. 20-0-0.



Job	Truss	Truss Type	Qty	Ply	Shaw
67226	B	COMMON	18	1	
Sprowl Building Components, Searsmont, ME 04973, PJM			6.000 s Mar 8 2004 MITek Industries, Inc. Wed May 12 09:52:25 2004 Page 1		
Job Reference (optional)					

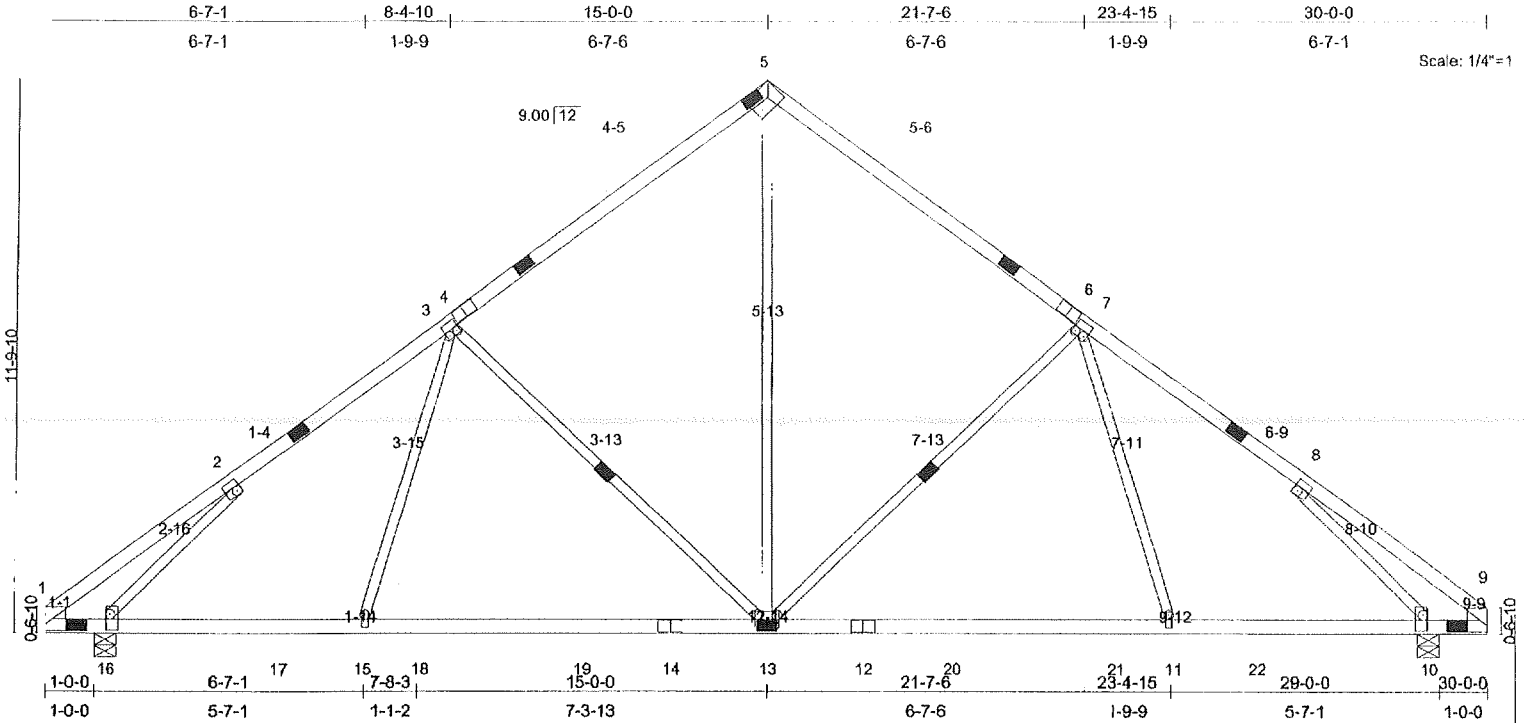


Plate Offsets (X,Y): [2:0-1-4,0-1-12], [8:0-1-4,0-1-12], [10:0-2-12,0-1-0], [16:0-2-12,0-1-0]

LOADING(psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl	L/d	PLATES	GRIP
TCLL 45.0	Plates Increase 1.15	TC 0.98	Vert(LL) -0.33 13-15 >999	360	MT20	197/144
TCDL 7.0	Lumber Increase 1.15	BC 0.92	Vert(TL) -0.51 13-15 >654	240		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.96	Horz(TL) 0.07 10 n/a	n/a		
BCDL 10.0	Code BOCA/ANSI95	(Matrix)				Weight: 118 lb

LUMBER
 TOP CHORD 2 X 4 SPF No.2
 BOT CHORD 2 X 4 SPF 1650F 1.5E *Except*
 12-14 2 X 4 SPF No.2
 WEBS 2 X 3 SPF No.2
 WEDGE
 Left: 2 X 3 SPF No.2,
 Right: 2 X 3 SPF No.2

BRACING
 TOP CHORD
 Installation
 1 Stabilizer(s) at 9-4-8 (max) oc.
 Permanent
 Sheathed or 2-7-15 oc purlins.
 BOT CHORD
 Installation
 1 Stabilizer(s) at 15-0-0 (max) oc.
 Permanent
 Rigid ceiling directly applied or 10-0-0 oc bracing.
 WEBS
 1 row(s) of 1 Stabilizer(s) at 1/2 pts.
 3-13, 7-13

REACTIONS (lb/size)

16	=	2066/0-5-8
10	=	2066/0-5-8
Max Horz		
16	=	-343(load case 4)
Max Uplift		
16	=	-248(load case 6)
10	=	-248(load case 7)

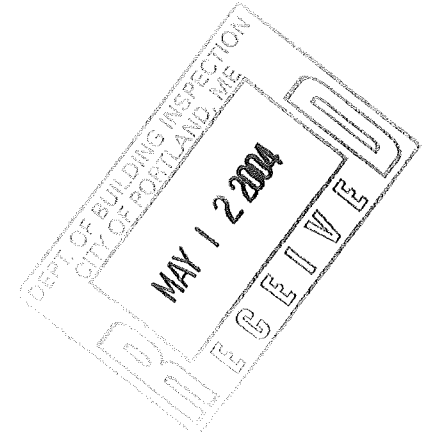
FORCES (lb)
 Maximum Compression/Maximum Tension
 TOP CHORD

1-2	=	-430/2	2-3	=	-2203/243
3-4	=	-1688/268	4-5	=	-1646/302
5-6	=	-1646/302	6-7	=	-1688/268
7-8	=	-2203/243	8-9	=	-430/2
BOT CHORD					
1-16	=	-1/342			

BOT CHORD

16-17	=	-227/1623	15-17	=	-227/1623
15-18	=	-238/1567	18-19	=	-238/1567
14-19	=	-238/1567	13-14	=	-238/1567
12-13	=	-99/1567	12-20	=	-99/1567
20-21	=	-99/1567	11-21	=	-99/1567
11-22	=	-83/1623	10-22	=	-83/1623
9-10	=	-1/342			
WEBS					
3-15	=	-3/238	5-13	=	-172/1000
7-11	=	-3/238	3-13	=	-703/291
7-13	=	-703/291	2-16	=	-2075/378
8-10	=	-2075/379			

NOTES
 1) Wind: ASCE 7-98; 90mph; h=20ft; TCDL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
 2) Unbalanced snow loads have been considered for this design.
 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 248 lb uplift at joint 16 and 248 lb uplift at joint 10.
 6) For bracing specified, use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: Webs: 20-0-0; TC: Inst. 20-0-0; BC: ; Inst. 20-0-0.
 7) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.



Job 67226	Truss C	Truss Type GABLE	Qty 2	Ply 1	Shaw
Sprowl Building Components, Searsmont, ME 04973, PJM					Job Reference (optional)
6.000 s Mar 8 2004 MITek Industries, Inc. Wed May 12 09:52:13 2004 Page 1					

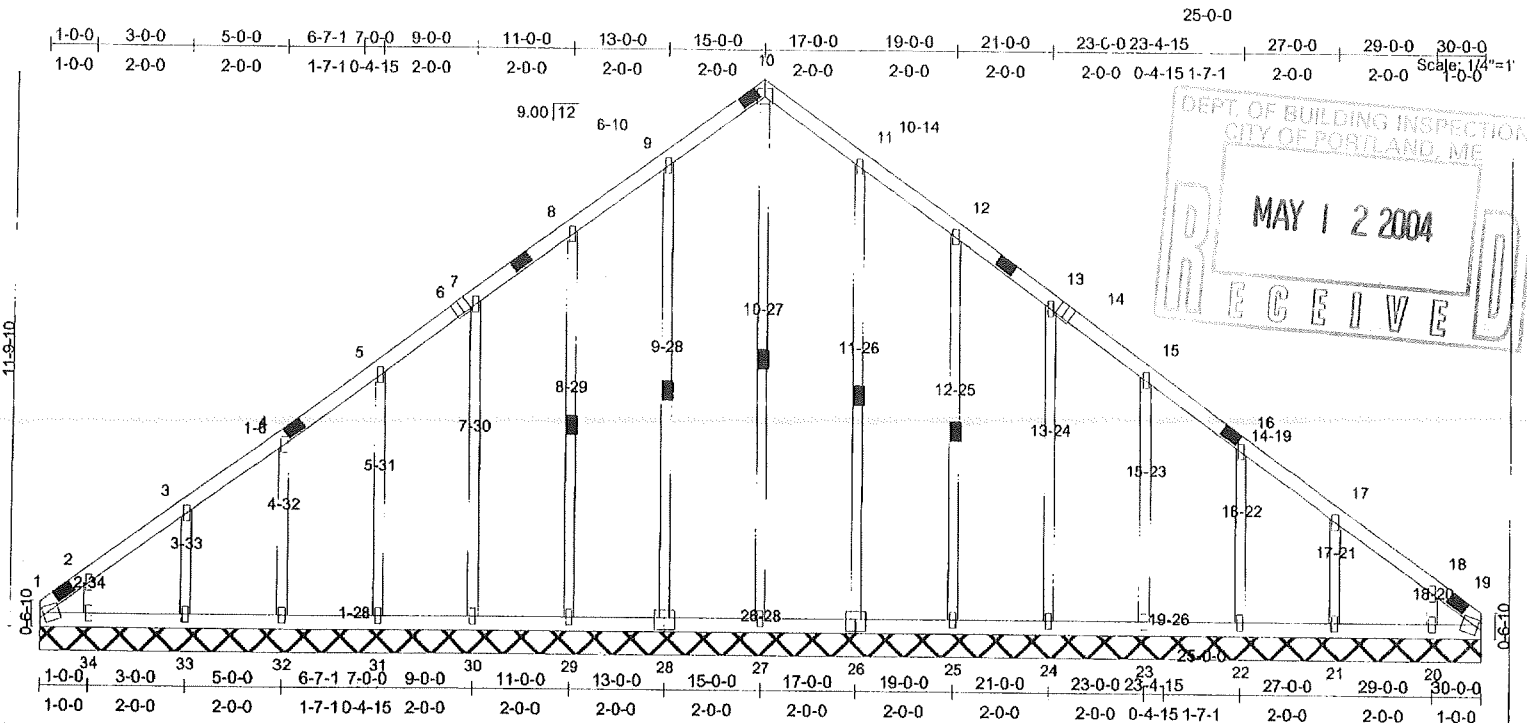


Plate Offsets (X, Y): [1:0-0-0,0-2-0], [19:0-0-0,0-2-0], [26:0-2-8,0-3-0], [28:0-2-6,0-3-0]

LOADING(psf) TCLL 45.0 TCDL 7.0 BCLL 0.0 * BCDL 10.0	SPACING 2-0-0 Plates Increase 1.15 Lumber Increase 1.15 Rep Stress Incr YES Code BOCA/ANSI95	CSI TC 0.13 BC 0.06 WB 0.30 (Matrix)	DEFL Vert(LL) n/a Vert(TL) n/a Horz(TL) 0.01	in (loc) - l/defl n/a L/d 999	PLATES MT20	GRIP 197/144	Weight: 146 lb
---	---	---	--	--	-----------------------	------------------------	-----------------------

LUMBER TOP CHORD 2 X 4 SPF No.2 BOT CHORD 2 X 4 SPF No.2 OTHERS 2 X 3 SPF No.2	Max Uplift 30 = -86(load case 6) 31 = -88(load case 6) 32 = -87(load case 6) 33 = -91(load case 6) 34 = -136(load case 6)	TOP CHORD 12-13 = -115/111 13-14 = -30/69 14-15 = -115/64 15-16 = -115/68 16-17 = -142/74 17-18 = -219/81 18-19 = -312/94
--	---	---

BRACING TOP CHORD Installation 1 Stabilizer(s) at 9-4-8 (max) oc. Permanent Sheathed or 6-0-0 oc purlins. BOT CHORD Rigid ceiling directly applied or 9-10-0 oc bracing.	Max Grav 1 = 260(load case 6) 19 = 212(load case 7) 27 = 271(load case 1) 28 = 379(load case 2) 29 = 375(load case 2) 30 = 371(load case 2) 31 = 379(load case 2) 32 = 331(load case 2) 33 = 296(load case 2) 34 = 245(load case 2)	BOT CHORD 1-34 = -66/238 33-34 = -66/238 32-33 = -66/238 31-32 = -66/238 30-31 = -66/238 29-30 = -66/238 28-29 = -66/238 27-28 = -66/238 26-27 = -66/238 25-26 = -66/238 24-25 = -66/238 23-24 = -66/238 22-23 = -66/238 21-22 = -66/238 20-21 = -66/238 19-20 = -66/238
--	--	---

REACTIONS (lb/size) 1 = 71/30-0-0 19 = 71/30-0-0 27 = 271/30-0-0 28 = 323/30-0-0 29 = 330/30-0-0 30 = 326/30-0-0 31 = 334/30-0-0 32 = 286/30-0-0 33 = 250/30-0-0 34 = 204/30-0-0 26 = 323/30-0-0 25 = 330/30-0-0 24 = 326/30-0-0 23 = 334/30-0-0 22 = 286/30-0-0 21 = 250/30-0-0 20 = 204/30-0-0	WEBS 10-27 = -206/0 8-29 = -254/115 5-31 = -253/108 3-33 = -261/112 11-26 = -259/80 13-24 = -253/106 16-22 = -251/106 18-20 = -206/135	WEBS 9-28 = -259/87 7-30 = -253/106 4-32 = -251/106 2-34 = -206/144 12-25 = -254/117 15-23 = -253/108 17-21 = -261/112
--	---	--

FORCES (lb) Maximum Compression/Maximum Tension TOP CHORD 1-2 = -379/211 3-4 = -244/180 5-6 = -145/163 7-8 = -115/171 9-10 = -116/243 11-12 = -116/170	TOP CHORD 2-3 = -296/187 4-5 = -195/174 6-7 = -136/168 8-9 = -116/218 10-11 = -116/229
--	--

- NOTES**
- 1) Wind: ASCE 7-98; 90mph; h=20ft; TCDL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFR gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
 - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to face), see MITek "Standard Gable End Detail"
 - 3) Unbalanced snow loads have been considered in this design.
 - 4) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - 5) All plates are 1.5x4 MT20 unless otherwise indicated.
 - 6) Gable requires continuous bottom chord bearing

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

May 11, 2004

Kevin Shaw
L.R. Shaw & Son
23 Longwoods Road
Cumberland, Maine 04021

Subject: 140 Hope Avenue - Portland, Maine

Dear Mr. Greenlaw,

We have completed our review of the required steel beam in the garage floor, as well as, the garage door headers and the main support beam in the second level framing. We understand the main support beam above the living room may support attic framing as well. Our office has proportioned this beam to carry attic loading in accordance with Boca 1999.

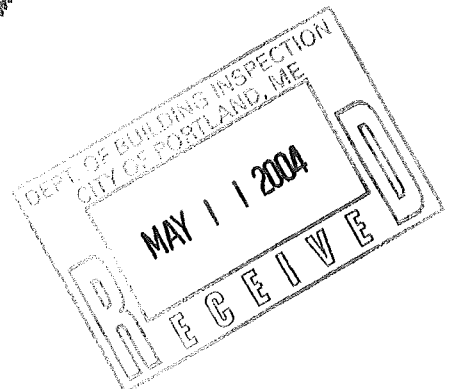
If you have any questions, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.

Mark F. Leasure

Mark F. Leasure, P.E.
Principal



Please Attach to Permit

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2004-0081

Application I. D. Number

04/21/2004

Application Date

140 Hope Ave. Lot #7

Project Name/Description

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland , ME 04021

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #140 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0081
Application I. D. Number

04/21/2004
Application Date

140 Hope Ave. Lot #7
Project Name/Description

Shaw Larry R &
Applicant
23 Longwoods Rd , Cumberland , ME 04021
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine
Address of Proposed Site
392 A007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3500 sq. Ft. _____ 33,112 sq. Ft. _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

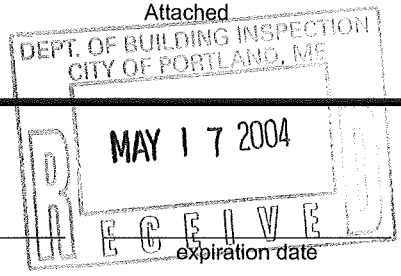
- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 04/21/2004

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 05/17/2004 Approval Expiration 05/17/2005 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds signature 05/17/2004 date
Reviewer Jay Reynolds

Revised site plan attached!



Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2004-0081

Application I. D. Number

04/21/2004

Application Date

140 Hope Ave. Lot #7

Project Name/Description

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland , ME 04021

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #140 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Delete Schedule Add End Print Permit Print C of O Print Insp Invoicing Taxes Due Close

Prmt Text93 0 Constr Type New Num1 40456

Permit Nbr 04-0456 Location of Construction 140 Hope Ave Appl. Date 04/21/2004
Status Hold Permit Type Single Family Issue Date
CBL 392 A007001 District Nbr 5 Estimated Cost \$190,000.00 Date Closed

Comment Date	Comment	Add	Delet	Save	Print
05/07/2004	Met w/owner - gave him a copy of plan review sheets for corrections - will submit more info.				
Name	tmm	Follow Up Date		Completed	<input type="checkbox"/>

CreatedBy gg CreateDate 04/22/2004 ModBy tmm ModDate 05/07/2004

04 0456

All Purpose Building Permit Application

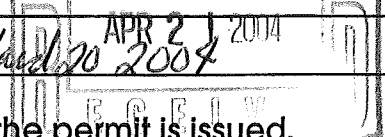
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>140 HOPE AVE LOT #7 PORTLAND</u>		
Total Square Footage of Proposed Structure <u>3500</u>	Square Footage of Lot <u>33,112 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>392</u> Block# <u>A</u> Lot# <u>007</u>	Owner: <u>KEVIN SHAW</u> <u>LARRY SHAW</u>	Telephone: <u>780-6156</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>KEVIN SHAW</u> <u>PMB 1270 89 Auburn St</u> <u>LARRY SHAW</u> <u>Portland Me 04104</u> <u>780-6156</u>	Cost Of Work: <u>190,000.00</u> <u>\$165,000.00</u> Fee: \$ <u>1731.00</u>
Current use: <u>LOT / New Sub Div</u>		<u>75.00</u> (copy)
If the location is currently vacant, what was prior use: <u>OPEN</u>		<u>1806.00</u>
Approximately how long has it been vacant: <u>New Sub Div</u>		<u>300.00</u>
Proposed use: <u>Single Family Home to be built</u>		<u>\$2106.00</u>
Project description: <u>28x38 + 28x28 gar.</u> <u>3940</u> <u>2368 SF</u> <u>+ 12x22</u>		
Contractor's name, address & telephone: <u>(SELF) LONGWOODS ASSC 780-6156</u>		
Who should we contact when the permit is ready: <u>KEVIN SHAW 780-6156</u>		
Mailing address: <u>PMB 1270 89 Auburn St Portland Me 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 780-6156		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Kevin Shaw Date: March 20 2004



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2004-0081
Application I. D. Number

4/21/2004
Application Date

140 Hope Ave. Lot #7
Project Name/Description

Shaw Larry R &
Applicant
23 Longwoods Rd , Cumberland , ME 04021
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine
Address of Proposed Site
392 A007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3500 sq. Ft. _____ 33,112 sq. Ft. _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 4/21/2004

Insp Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

LARRY R. SHAW and KEVIN L. SHAW, with a mailing address of 23 Longwoods Road, Cumberland, Maine 04021, as JOINT TENANTS

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 7 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.

MAINE REAL ESTATE TAX PAID

3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
5. A ten (10) foot and thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650.
6. ~~A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland, to be recorded at said Registry of Deeds, relating to said easements as shown on Plan recorded in Plan Book 202, Page 650, and any amendments thereto.~~
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.
8. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.
9. The owner of Lot 7, being the lot herein conveyed, shall retain either a licensed civil engineer or landscape architect to assist in design of the improvements of this lot. The owner of this lot shall also retain that professional to provide construction phase services including, but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in field conditions which require modification to the design of the lot improvements. The minimum site inspection requirements are set forth in Note 5 on said Plan to which reference is hereby made for a more specific description. The professional (civil engineer or landscape architect) shall provide a written statement to the Portland Planning Authority upon completion of construction of lot improvements affirming that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by LLOYD B. WOLF, its Treasurer thereunto duly authorized this 14th day of November, 2003.

GOLDENEYE CORP.

Leslie A. Raifsnider

By: Lloyd B. Wolf
Its Treasurer

STATE OF MAINE
CUMBERLAND, SS.

November 14, 2003

Then personally appeared the above-named LLOYD B. WOLF, Treasurer of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Leslie A. Raifsnider
Attorney at Law/Notary Public

LESLIE A. RAIFSNIDER
Maine Notary Public
My Commission Expires May 9, 2009

Received
Recorded Register of Deeds
Nov 17, 2003 01:16:02P
Cumberland County
John B. O'Brien

SEAL

SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

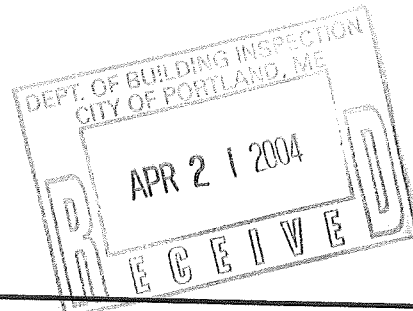
2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH:
OTHER USES: 80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

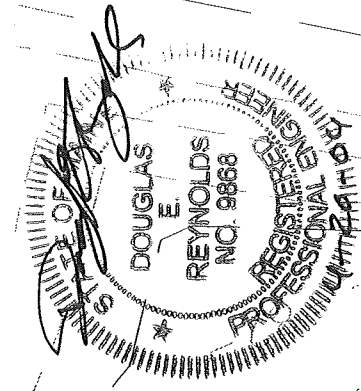


Design: DER	Date: 7/31/03
Draft: SGB	Job No.: 830
Checked: AMP	Scale: NTS
File Name: 759-sp.dwg	

GP Traffic and Civil Engineering Services
PO Box 1237, 15 Shaker Road
Gray, ME 04039
207-657-6910

Drawing Name:
Space & Bulk Requirements
Project:
PRESUMPCOT RIVER PLACE

Figure No.
1



LOT 6
36,179 S.F.
0.83 AC.

LOT 7
33,112 S.F.
0.76 AC.

6" GRAVITY FOUNDATION
DRAIN TO DAYLIGHT,
S=0.0025 MIN. - PROVIDE
DOUBLE CLENOT AS
NECESSARY

SILT FENCE (TYP.)

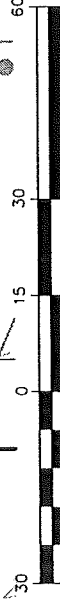
TENAX MULTIMAT FABRIC ON
SLOPES EQUAL TO OR STEEPER
THAN 8% FOR OCTOBER 1st
THROUGH APRIL 15th AND
EQUAL TO OR STEEPER THAN
15% FOR APRIL 15th THROUGH
OCTOBER 1st (TYP)

NOTE: ALL DISTURBED AREAS
NOT SUBJECT TO PAVEMENT OR
BUILDINGS SHALL RECEIVE 4"
OF LOAM & SEED.

STONE CHECK DAM AS
NECESSARY

HOMEOWNER TO COORDINATE
WITH LOT 6 & 8 OWNERS FOR
GRADING OF DITCH ALONG
PROPERTY LINES

WETLAND AREA
PERMITTED FOR
FILL/ALTERATION AS
PART OF PRESUMPCOT
RIVER PLACE PHASE III
PERMIT APPLICATION



1 inch = 30 ft.

Design:	WHS	Date:	APRIL 04
Drawn:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
Cory, ME 04039
207-697-6610
E-Mail: mhbax@gpengineers.com

Drawing Name:

Lot 7 Grading and Drainage Plan

Project:

PRESUMPCOT RIVER PLACE

Figure No.

3



LOT 6
36,179 S.F.
0.83 AC.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND-WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

DATE OF APPROVAL

LOT 7
33,112 S.F.
0.76 AC.

14' SIDE SETBACKS

REFER TO BUILDING PLANS FOR DIMENSIONS

2 CAR GARAGE

2-STORY SINGLE FAMILY RESIDENCE

2 - 2.5" CAL. RED MAPLES OR EQUIVALENT

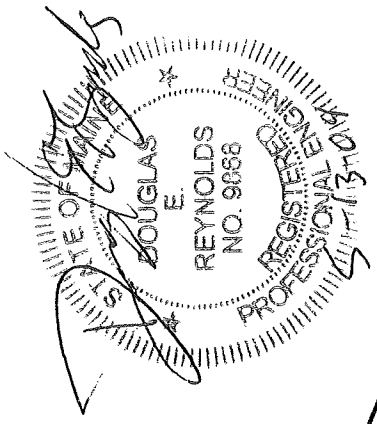
3/4" DOMESTIC WATER

16" SAN L= 73' S= 0.0104 MIN

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALK PER CITY OF PORTLAND DETAILS

DOUBLE CLEANOUT

WETLAND AREA PERMITTED FOR FILL/ALTERATION AS PART OF PRESUMPCOT RIVER PLACE PHASE III PERMIT APPLICATION



CITY OF PORTLAND
APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL CONDITIONS

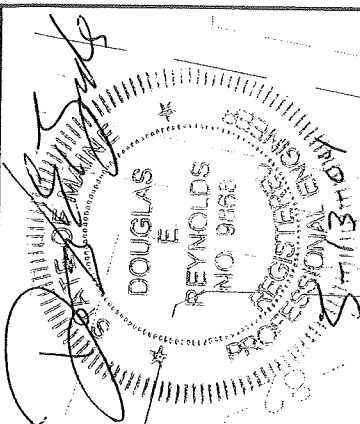
RETRACT SETBACK

Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Saker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbo@gorrillpalmer.com

Drawing Name: Lot 7 Site and Utility Plan
Project: PRESUMPCOT RIVER PLACE

Figure No. 2



LOT 6
36,179 S.F.
0.83 AC.

LOT 7
33,112 S.F.
0.76 AC.

6" GRAVITY FOUNDATION
DRAIN TO DAYLIGHT,
S=0.0025 MIN. - PROVIDE
DOUBLE CLENOT AS
NECESSARY

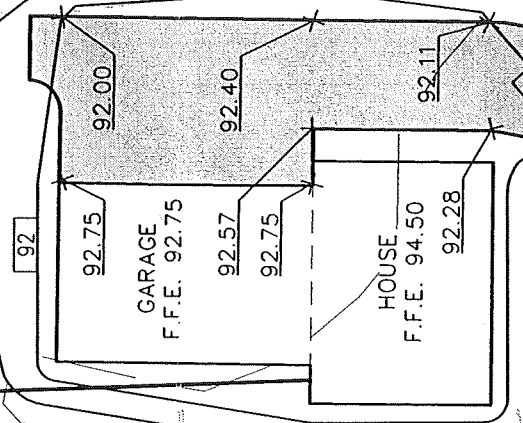
SILT FENCE (TYP.)

TENAX MULTIMAT FABRIC ON
SLOPES EQUAL TO OR STEEPER
THAN 8% FOR OCTOBER 1st
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NOTE: ALL DISTURBED AREAS
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STONE CHECK DAM AS
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HOMEOWNER TO COORDINATE
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1 inch = 30 ft.

Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
297-657-6910
297-657-6910
FAX: 207-657-6912
E-Mail: mail@gorrillpalmer.com

PO Box 1337
15 Shaw Road
Orono, ME 04439

Drawing Name:

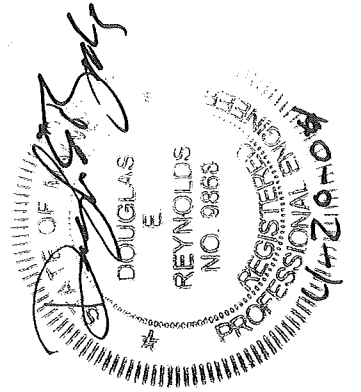
Lot 7 Grading and Drainage Plan

Project:

PRESUMPCOT RIVER PLACE

Figure No.

3

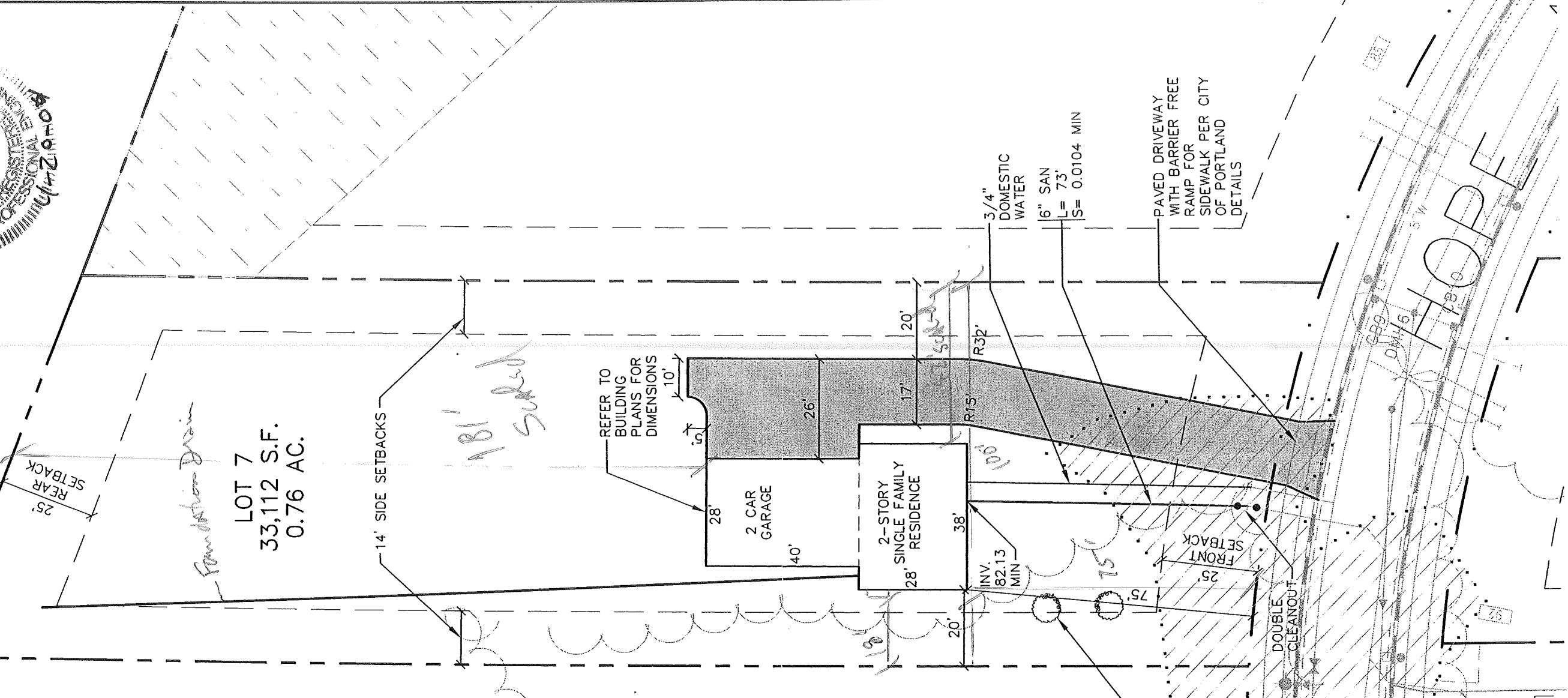


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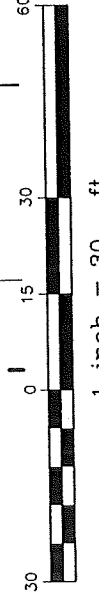
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WETLAND AREA PERMITTED FOR FILL/ALTERATION AS PART OF PRESUMPCOT RIVER PLACE PHASE III PERMIT APPLICATION.

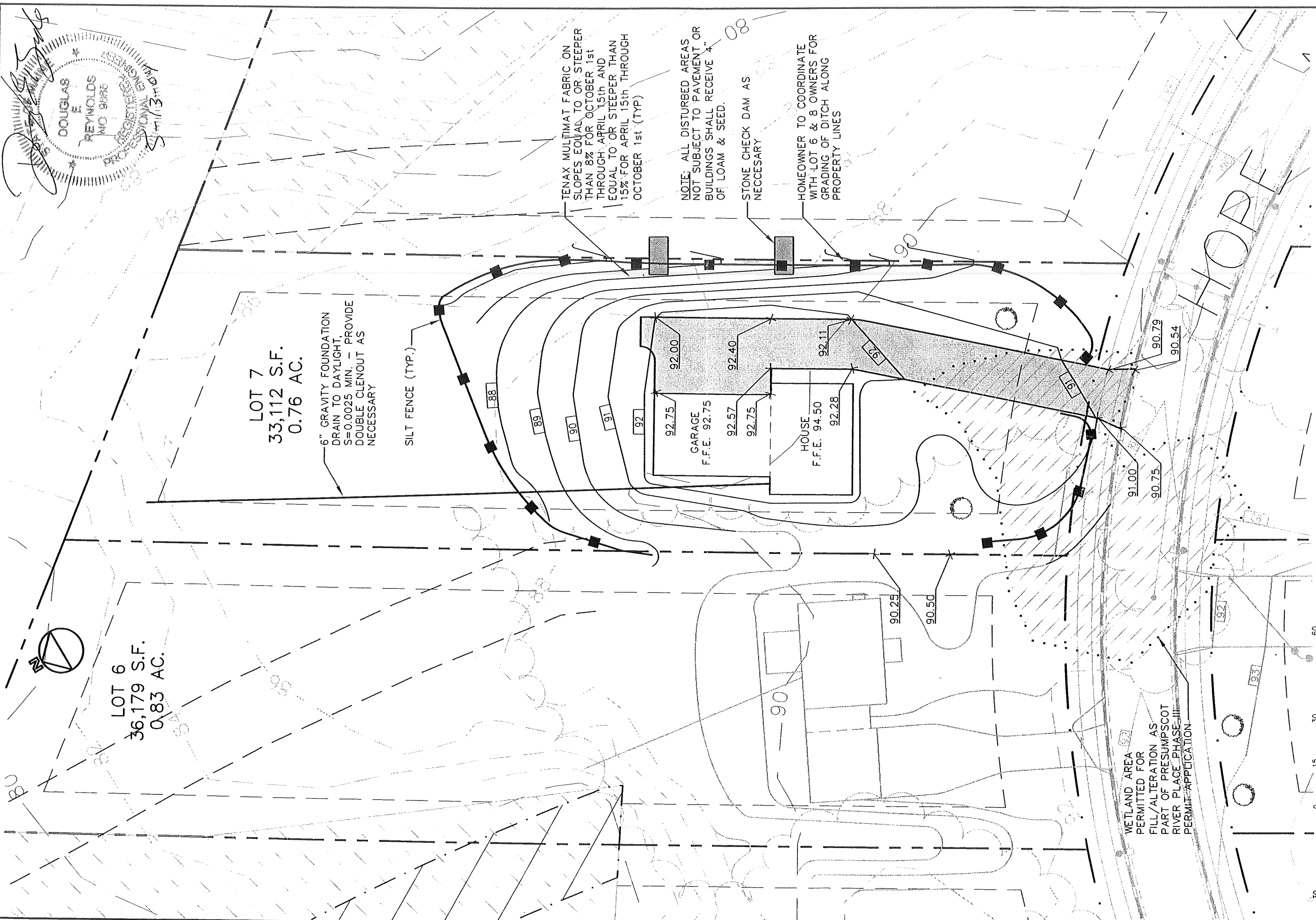


Design:	WHS	Date:	APRIL 04
Drawn by:	CAH	Job No.:	959
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File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
South Portland, ME 04089
207-657-6910
E-Mail: mbois@gorrillpalmer.com

Drawing Name: Lot 7 Site and Utility Plan
Project: PRESUMPCOT RIVER PLACE



DOUGLAS E. REYNOLDS
 PROFESSIONAL ENGINEER
 NO. 9556
 STATE OF NEBRASKA
 APR 11 2004

LOT 6
 36,179 S.F.
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STONE CHECK DAM AS
 NECESSARY

HOMEOWNER TO COORDINATE
 WITH LOT 6 & 8 OWNERS FOR
 GRADING OF DITCH ALONG
 PROPERTY LINES

WETLAND AREA
 PERMITTED FOR
 FILL/ALTERATION AS
 PART OF PRESUMPCOT
 RIVER PLACE PHASE III
 PERMIT APPLICATION



1 inch = 30 ft.

Design:	WHS	Date:	APRIL 04
Draft:	CAH	Job No.:	959
Checked:	AMP	Scale:	1"=30'
File Name:	98089-ALL-LOTS		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1337
 15 Safer Road
 Gray, NE 68439
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:

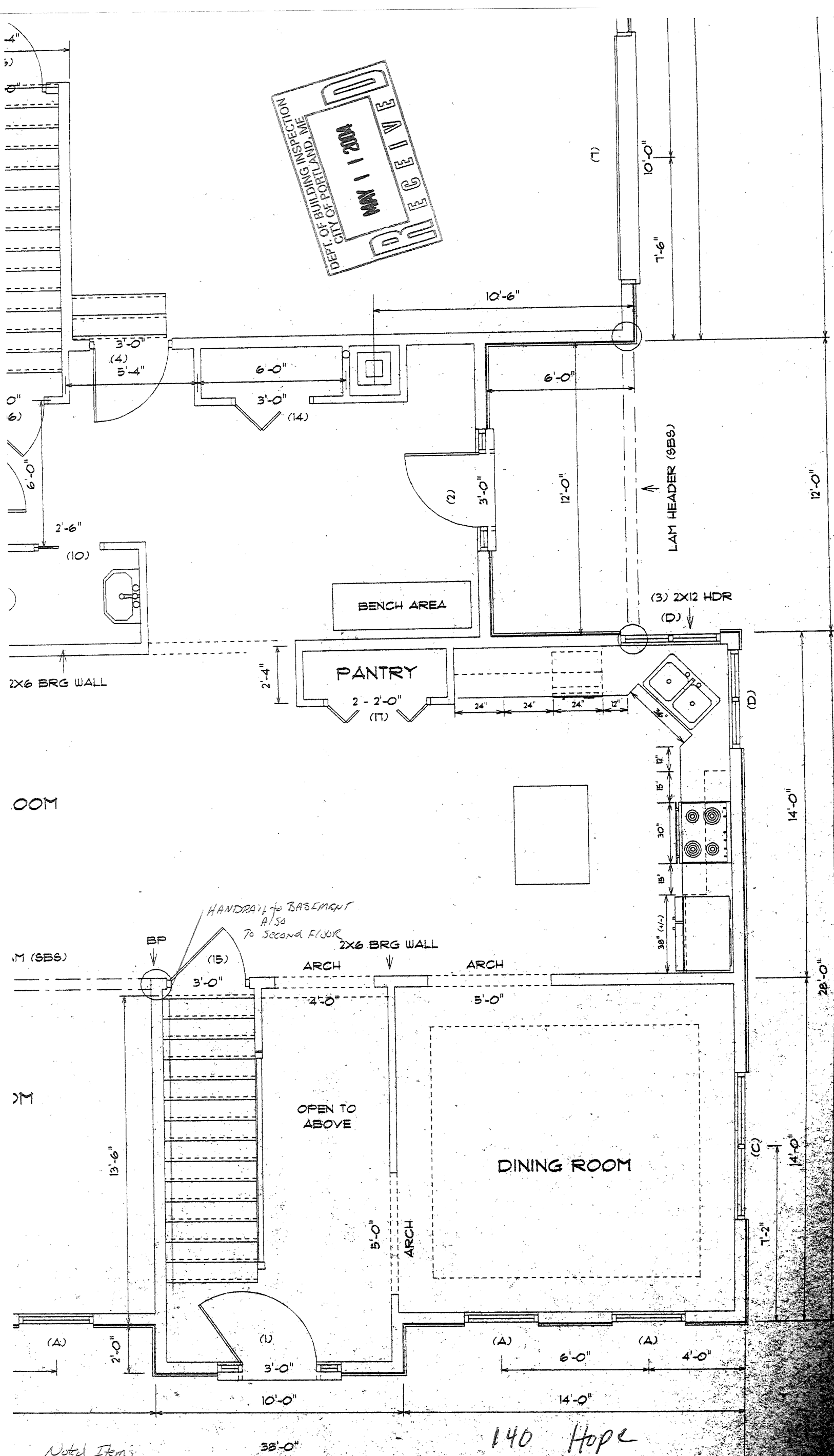
Lot 7 Grading and Drainage Plan

Project:

PRESUMPCOT RIVER PLACE

Figure No.

3



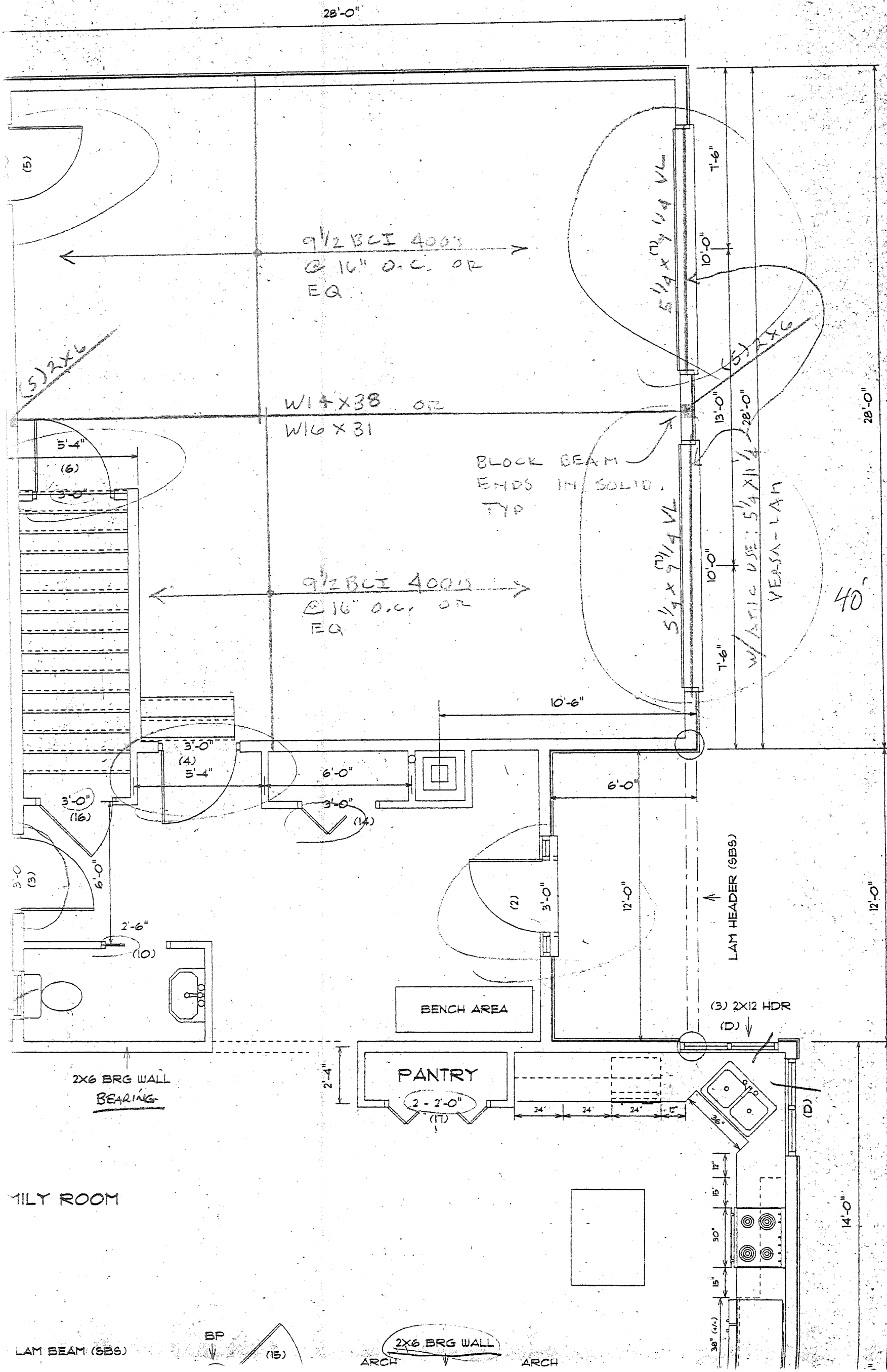
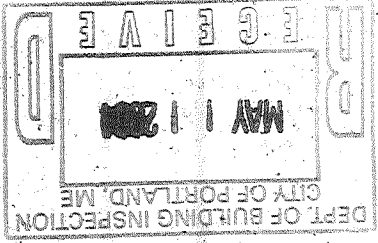
SCALE	1/4" = 1'	DRAWN BY	J. CAL
DATE	3/04	PAGE	2 OF 2
NAME		DRAWING	
7 HOPE AVE. PORTLAND		FLOOR PLANS	

Noted Items:

- KS All Bedrooms will have Egress Window & Door
- KS Arch Access to be changed to MIN 82" X 30"
- KS Chimney Clearance MIN 2" to Roof with Flashing at each Floor
- KS All Headers 2x10 ON BEARING WALLS
- KS Exterior Stairs NO MORE THAN 7 1/4" RISE / AT LEAST 10" TREAD
- KS Smoke detectors in all bedrooms / basement / living room / kitchen / breezeway / garage
- KS Anchor bolts to be NO MORE THAN 6" OC

140 Hope

KEVIN L SHAW
Kevin L. Shaw



IN ACCEPTING THESE DRAWINGS, OWNERS, REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY ERRORS ARE FOUND, HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.

SCALE 1/4" = 1'

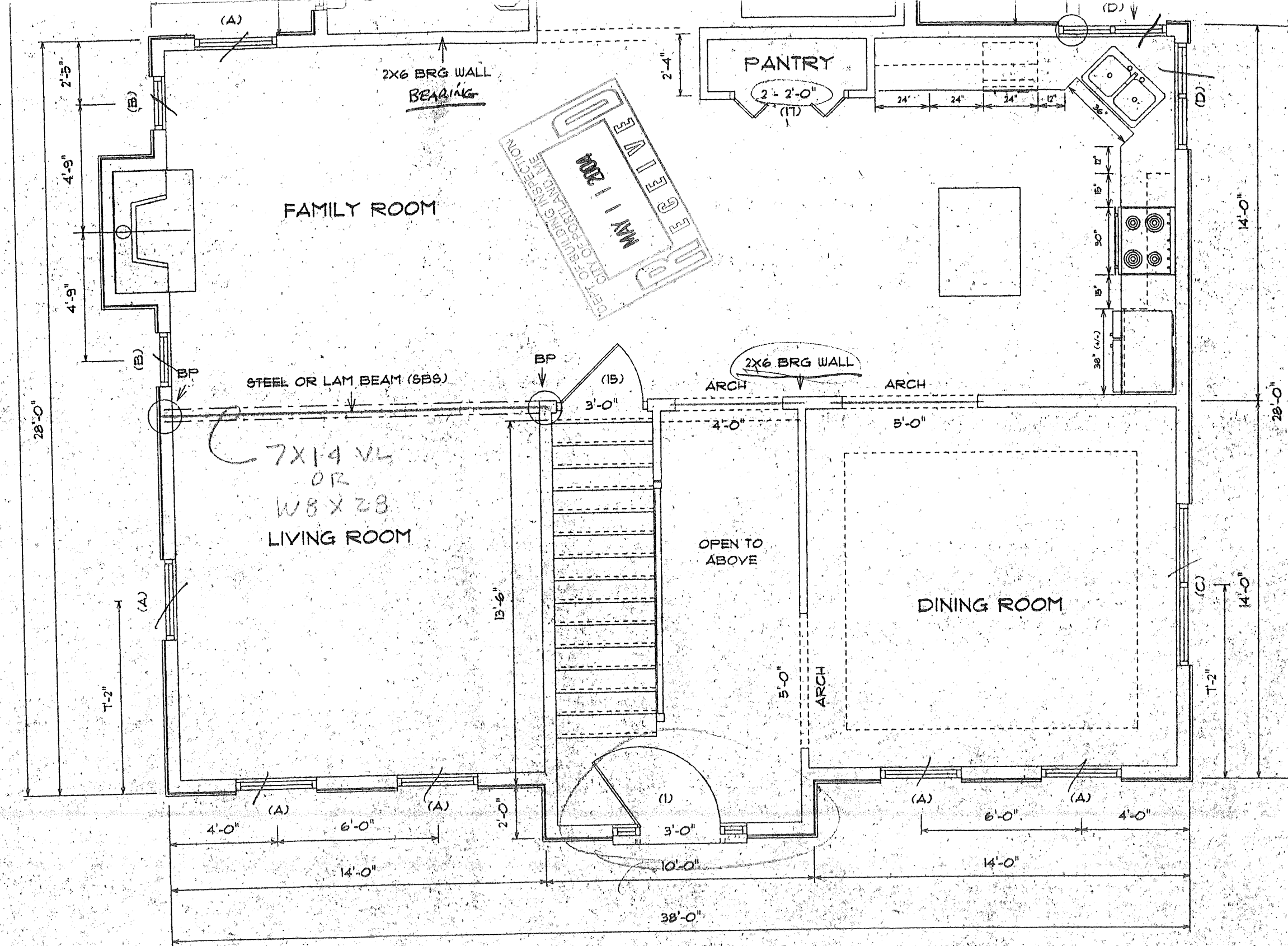
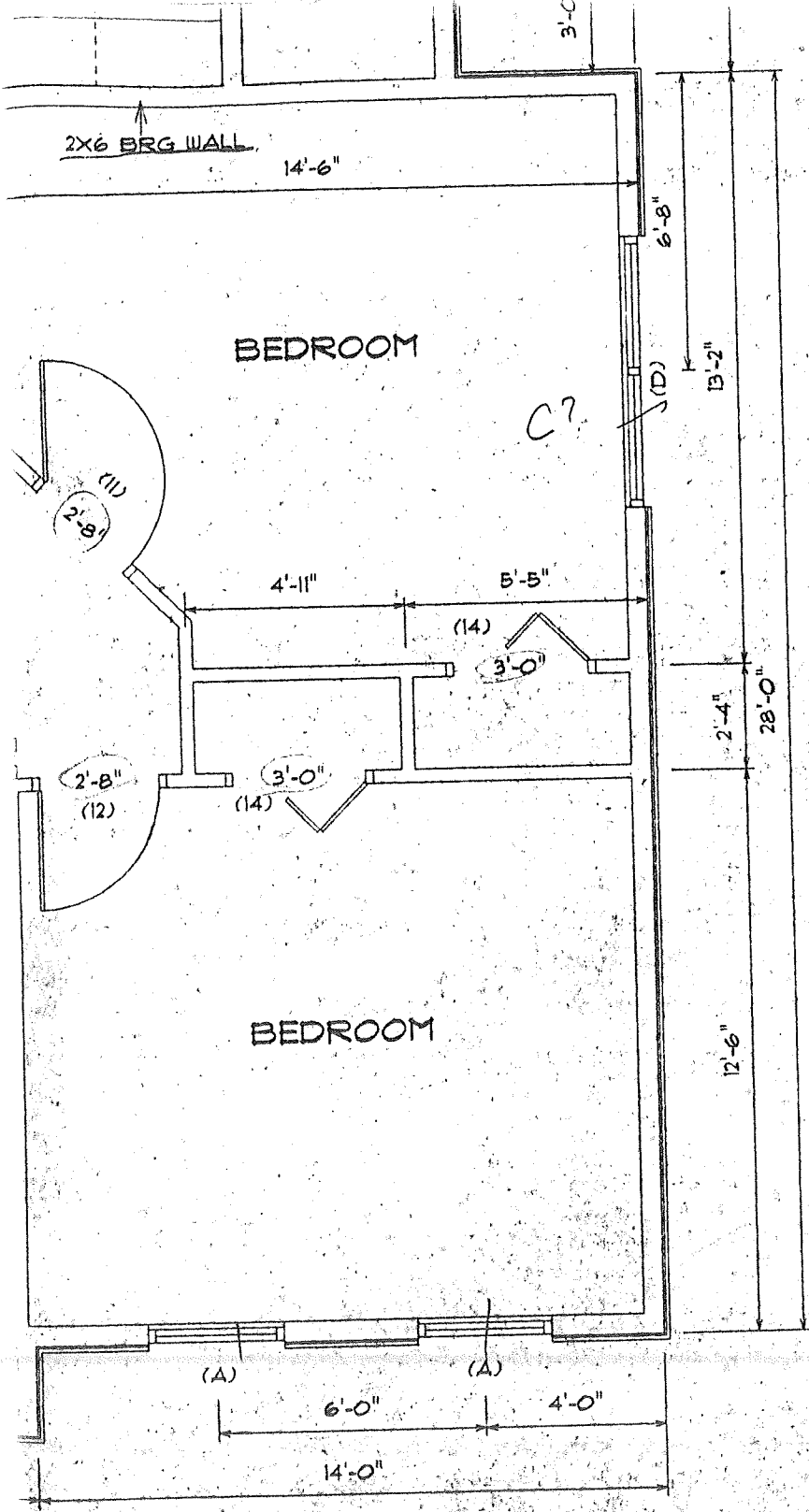
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PAGE 2 OF 3

DATE 3/04

NAME 7 HOPE AVE. PORTLAND

DRAWING FLOOR PLANS



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THE FINAL KITCHEN DESIGN IS TO BE DONE BY OTHERS.
 PLEASE GO OVER ALL MEASUREMENTS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE WHAT YOU WANT.
 IF THERE ARE ANY MEASUREMENT ERRORS HOUSE CALLS INC. WILL BE GLAD TO CORRECT THEM BEFORE CONSTRUCTION STARTS.

WINDOW SIZES SHOWN ON PLAN:
 (A) 3'-0" x 5'-0" DH
 (B) 2'-0" x 5'-0" DH
 (C) 6'-0" x 5'-0" DCH
 (D) 4'-0" x 3'-3" SLIDER
 (E) 2'-6" x 3'-0" CAS
 (F) 2'-6" x 4'-0" DH TEMPERED
 (G) 4'-0" x 4'-6" DCHS TEMPERED
 (H) 5'-0" x 6'-0" CUSTOM

WINDOW SCHEDULE:

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(A)		13
(B)		4
(C)		2
(D)		1
(E)		1
(F)		1
(G)		2
(H)		1

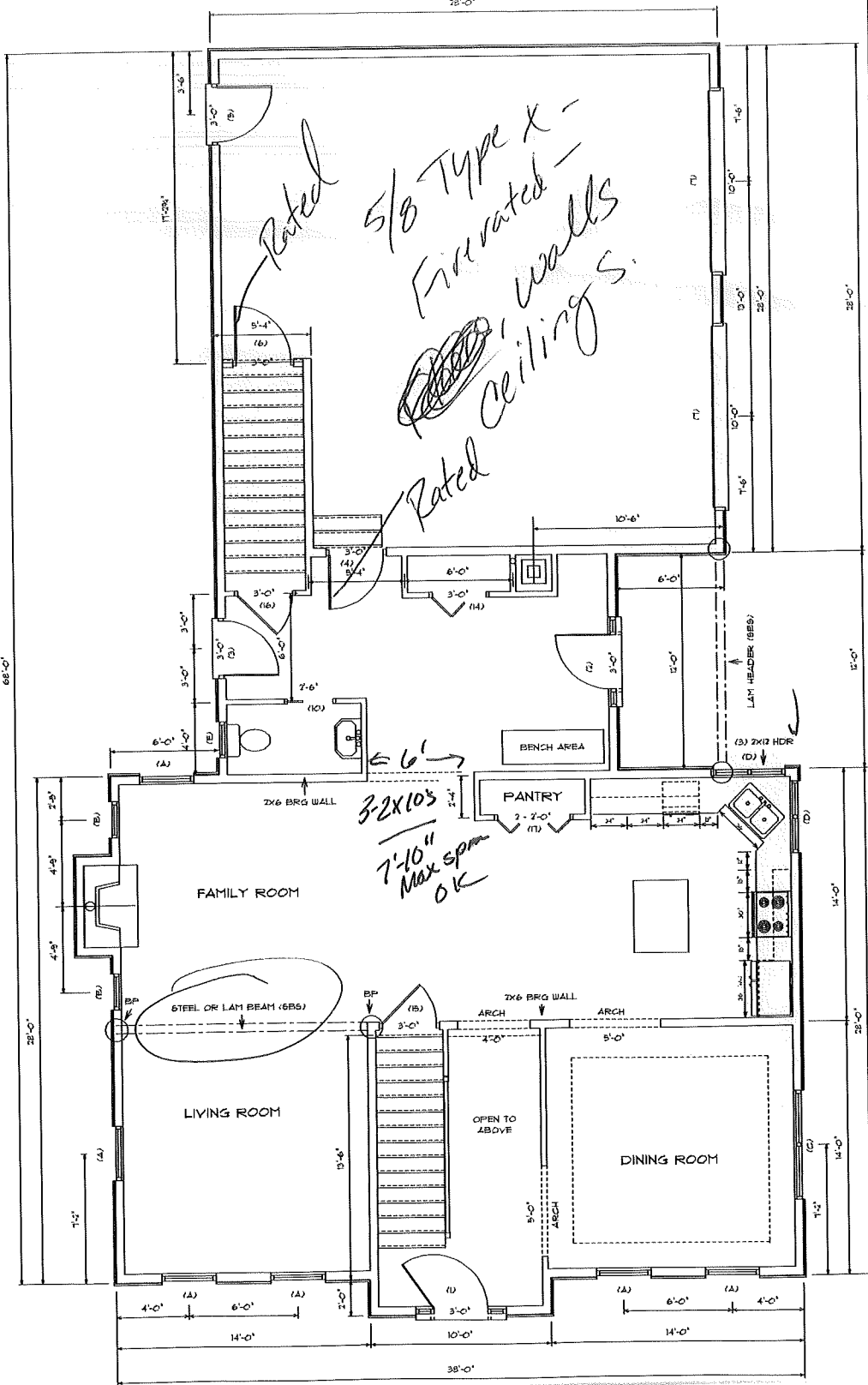
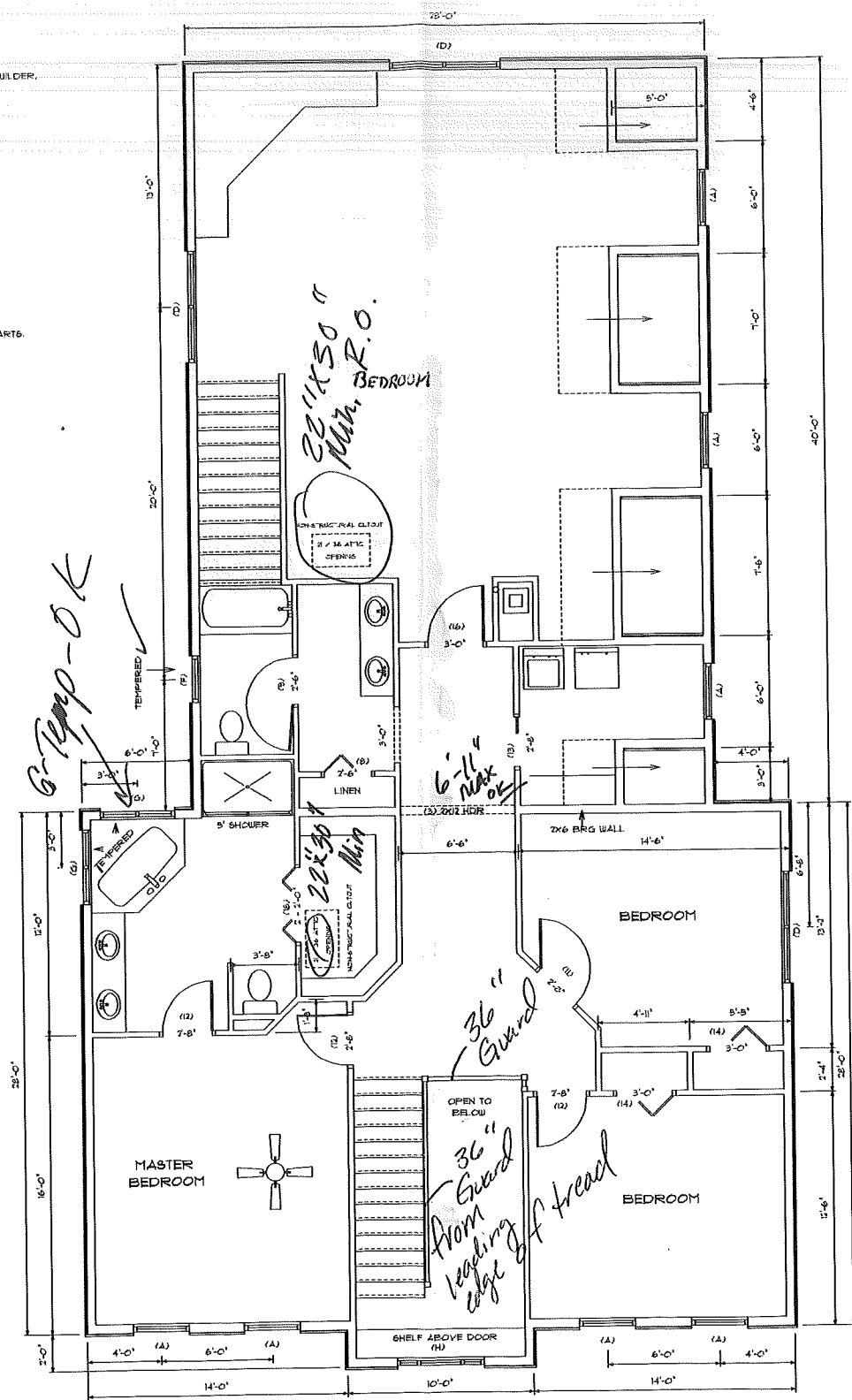
EXTERIOR DOOR SCHEDULE:

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(1) 3' FRONT ENTRY W/SIDELITES		1
(2) 3' BREEZEWAY ENTRY W/SIDELITES		1
(3) 15 LITE 3' BACK DOOR		1
(4) 3' BREEZEWAY TO GARAGE 1 HR. FIRE DOOR		1
(5) 3' GARAGE REAR ENTRY		1
(6) 3' GARAGE TO CELLAR 1 HR. FIRE DOOR		1
(7) 10' x 8' GARAGE O.H.		2

INTERIOR DOOR SCHEDULE:

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(8) 2'-6" EF		1
(9) 2'-6" L		1
(10) 2'-6" PKT		1
(11) 2'-8" L		1
(12) 2'-8" R		3
(13) 2'-8" PKT		1
(14) 3'-0" EF		3
(15) 3'-0" L		1
(16) 3'-0" R		2
(17) 4'-0" EF		1
(18) 4'-0" EF MIRROR		1

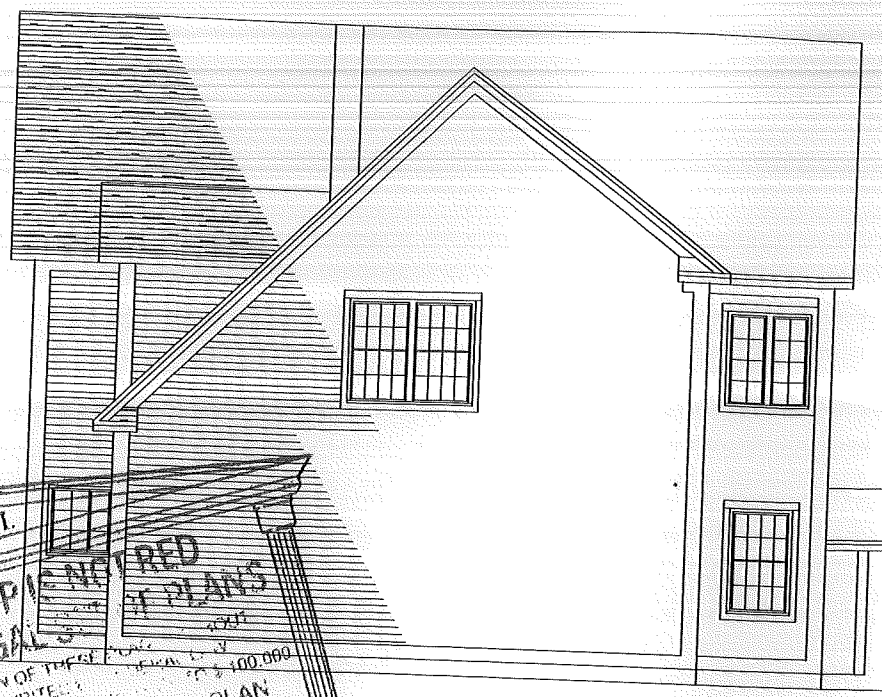
VERIFY ALL WINDOW AND DOOR STYLES, SIZES, SWINGS, AND QUANTITIES BEFORE ORDERING.
 SOME DOORS ARE IN 3 1/2" WALLS AND SOME ARE IN 2 1/2" WALLS - BUILDER TO VERIFY



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DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 APR 21 2004

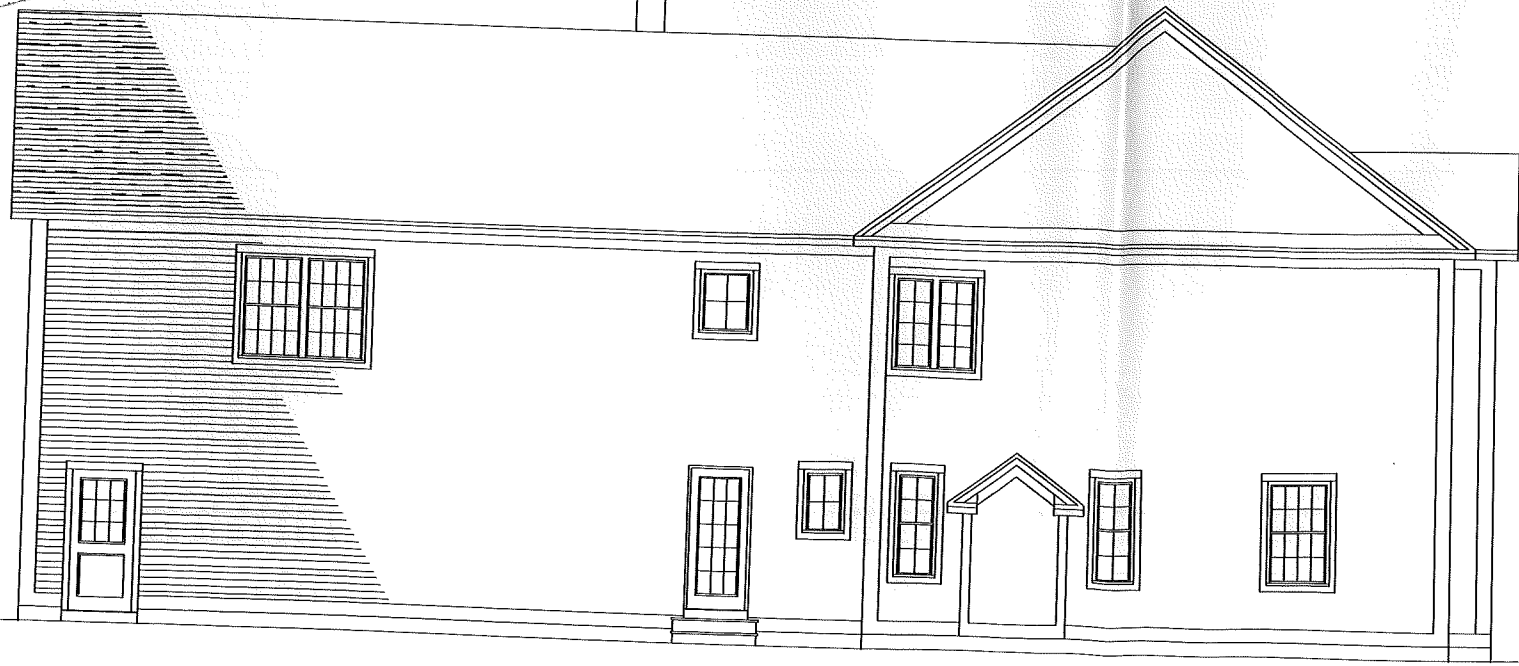
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



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DRAWN BY J. CALL
SCALE 1/4" = 1'
DATE 3/04
PAGE 1 OF 3

7 HOPE AVE. PORTLAND
ELEVATIONS

HOUSE CALLS INC.
HOME PLANNING & DESIGN
151 ROOSEVELT TRAIL, WINDHAM, ME

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 21 2004

