

City of Portland, Maine - Building or Use Permit Application

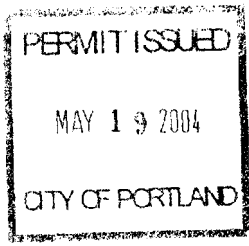
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0456	PERMIT ISSUED Issue Date: MAY 19 2004	BL: 392 A007001
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Location of Construction: 140 Hope Ave (Lot #7)		Owner Name: Shaw Larry R &	Owner Address: 23 Longwoods Rd CITY OF PORTLAND	Phone: 207-780-6156
Business Name: n/a		Contractor Name: Longwood Assoc.	Contractor Address: Portland	Phone: 2077806156
Lessee/Buyer's Name n/a		Phone: n/a	Permit Type: Single Family	Zone: R2
Past Use: Vacant	Proposed Use: Build New 28' x 38' Single Family with 28' x 28' garage.		Permit Fee: \$1,806.00	Cost of Work: \$190,000.00
Proposed Project Description: Build New 28' x 38' Single Family with 28' x 28' garage.			CEO District: 5	
		FIRE DEPT: N/A Signature: [Signature]	INSPECTION: Use Group R-3 Type SB BOCA 1999 Signature: [Signature]	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied				
Signature:			Date:	

Permit Taken By: gg	Date Applied For: 04/21/2004
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2004-0081 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK with conditions Date: 3/4/2004	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: [Signature]	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

CONSTRUCTION

PERMIT

Please Read Application And Notes, if Any, Attached

his is to certify that Shaw Larry R & Longwood Soc.

as permission to Build New 28' x 38' Single Family with 28' garage.

T 140 Hope Ave 392 A007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all the provisions of the Statutes of the City of Portland and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in his department.

Apply to Public Works for street line and grade if nature of work requires OTHER REQUIRED APPROVALS

Notification inspection must be given and when permit is procured this kind of work is closed-in. NO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED MAY 19 2004

Health Dept. Appeal Board Other

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

5/19/04

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0456	Date Applied For: 04/21/2004	CBL 392 A007001
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Location of Construction: 140 Hope Ave	Owner Name: Shaw Larry R &	Owner Address: 23 Longwoods Rd	Phone: 207-780-6156
Business Name: n/a	Contractor Name: Longwood Assoc.	Contractor Address: Portland	Phone (207) 780-6156
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: Build New 28' x 38' Single Family with 28' x 28' garage and breezeway.	Proposed Project Description: Build New 28' x 38' Single Family with 28' x 28' garage and breezeway.
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Message
140 Hope Ave.

Permit # 04-0456
392-A-7

Kevin Shaw
780-6156

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK	OK OK	
Foundation Drainage Dampproofing (Section 406)	OK	Diarrage w/ 2x4 brif- get Short	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	N/A	
Anchor Bolts/Straps (Section 403.1.4)	N/A	Shows - 8'oc - Code is 6'oc -	5/12/04 - OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK		
Built-Up Wood Center Girder Dimension/Type (Table 503.3.4(2))		3-2x12's - OK largest span is 6'-10" Footing 512". 24"x24" - Need 26"x26"	
Sill/Band Joist Type & Dimesions		2x6 - OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK	Shows - 2x10's 16"oc OK	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))		- Garage - TJI's - size ?	40's 9 1/2" BCZ'S OK - 14' span

①
②
③

6 Drawing

<p>Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))</p>	<p>Truss</p>	
<p>Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))</p>	<p>Tresses } Need specs</p>	
<p>Sheathing; Floor, Wall and roof (Table 503.2.1(1))</p>	<p>OK</p>	
<p>Fastener Schedule (Table 602.3(1) & (2))</p>	<p>Not shown</p>	
<p>Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? Yes</p>	<p>Not shown where</p>	
<p>Fire separation</p>	<p>OK shows 1 hour</p>	
<p>Fire rating of doors to living space Door Sill elevation (407.5 BOCA)</p>	<p>Not noted as egress</p>	
<p>Egress Windows (Section 310)</p>	<p>OK</p>	
<p>Roof Covering (Chapter 9)</p>	<p>OK</p>	
<p>Safety Glazing (Section 308)</p>	<p>OK</p>	
<p>Attic Access (BOCA 1211.1)</p>	<p>Shows 21"x36" - Min is 22"x30"</p>	
<p>Draft Stopping around chimney</p>	<p>Clearances + draft stopping -</p>	<p>Not shown</p>

6

6

7

18

6

10

Need for
all windows + doors

Header Schedule	Not shown	
Type of Heating System	OK	
Stairs		
Number of Stairways		
Interior 2		
Exterior 2		
Treads and Risers - OK - not ok - Exterior - Not shown (Section 314)		
Width 3' - OK		
Headroom OK		
Guardrails and Handrails (Section 315)	Not shown	
Smoke Detectors Location and type/Interconnected	Not shown	
Plan Reviewer Signature		

See Chimney Summary Checklist

13 Steel Beam - need stamped by engineer.

14 Need all Laminates spec'd out.

11

12

13

14

15

16

17



Subject: 140 HOPE AVE

Date: MAY 10 2004

TAMMY MUNSON

Daily Notes

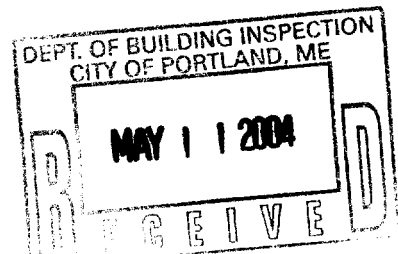
1. Anchor bolts Noted 6' OC
2. Footing Size - 12' X 24" X 24"
3. GARAGE TJI's - W140 9 1/2 X 14 16" OC / 9 1/2 R.M. Board
4. ROOF TRUSS
5. Cement work checked on plan
6. Fastener Schedule / AND Truss Hanger / Steel bolted
7. Noted on plan 5/8 Sheet Rock between breezeway AND GARAGE plus ceiling
8. All bedrooms will have AT LEAST 2 egress means of exit This includes AT LEAST ONE WINDOW OR MORE
9. Noted on plan Attic Access to be INCREASED to AT LEAST 22" X 30"
10. CLEARANCE AROUND Chimney MIN 2" ALL THE WAY TO ROOF with Flashing between Floors
11. Headers will be 2x10 in ALL load bearing openings
12. Outside will be granite steps (2 steps total) - 7 3/4" R 10" T
13. Noted on plan HANDRAIL to second floor
14. Noted on plan smoke detector in ALL bedrooms, kitchen living room AREA, basement, breezeway
15. Steel W16 X 26 28 long
16. Subfloors will be Advantech 3/4 TG / 11 AM ~~3 1/4" X 15'~~
 Exterior will be 7/16 OSB 7 X 14 VL
 Roof will be Advantech 5/8 TG OR W8 X 28

Any MORE Questions please CALL ME

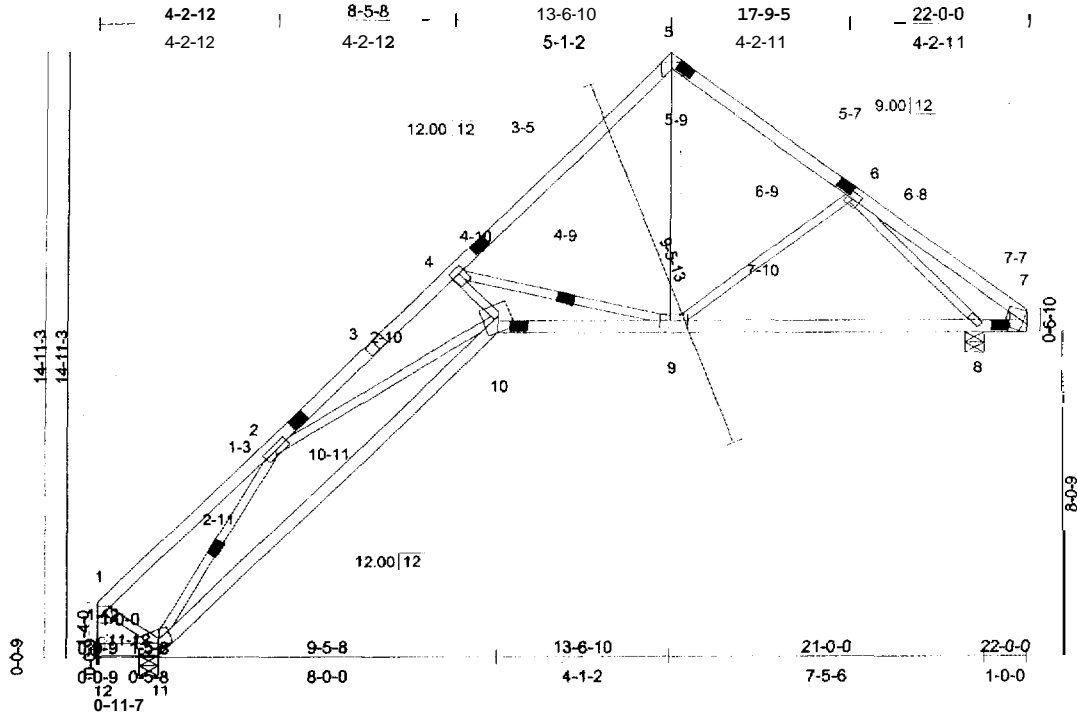
780-6156

THANK YOU

KEVIN SHAW



Job	Truss	Truss Type	Qty	Ply	Shaw
67226	A	CAPE	15	1	
Sprowl Building Components, Searsmont, ME 04973, PJM					
Job Reference(optional) 6.000 s Mar 8 2004 MiTek Industries, Inc. Wed May 12 09:52:44 2604 Page 1					



Scale = 1:55.2

Plate Offsets (X,Y): [1:Edge,0-2-8], [4:0-1-12,0-1-12], [9:0-2-8,0-2-0], [10:0-3-4,0-4-0], [11:0-4-0,Edge]

LOADING(psf)	SPACING	2-0-0	CSI	DEFL	In (ioc)	l/defl	L/d	PLATES	GRIP
TCLL 45.0	Plates Increase	1.15	TC 0.72	Vert(LL)	-0.36	10-11	>653	MT20	197/144
TCDL 7.0	Lumber Increase	1.15	BC 0.83	Vert(TL)	-0.53	10-11	>443	MT20H	1481108
BCLL 0.0	Rep Stress Incr	YES	WB 0.95	Horz(TL)	0.57	8	n/a		
BCDL 10.0	Code	BOCA/ANSI95	(Matrix)						Weight: 93 lb

LUMBER
 TOP CHORD 2 X 4 SPF No.2
 BOT CHORD 2 X 4 SPF No.2 *Except*
 7-10 2 X 4 SPF 1650F 1.5E
WEBS
 2 X 3 SPF No.2 *Except*
 4-9 2 X 3 SPF 2100F 1.8E
OTHERS
 WEDGE
 Right: 2 X 3 SPF No.2
BRACING
 TOP CHORD
 Installation
 1 Stabilizer(s) at 9-4-8 (max) oc, Except:
 15-0-0 oc: 1-2,6-7.
 Permanent
 Sheathed or 2-9-5 oc purlins.
BOT CHORD
 Installation
 1 Stabilizer(s) at 15-0-0 (max) oc, Except:
 9-4-8 oc: 7-8.
 Permanent
 Rigid ceiling directly applied or 5-5-14 oc bracing.
WEBS
 1 row(s) of 1 Stabilizer(s) at 112 pts.
 2-11, 4-9

TOP CHORD			
1-2	=	-160/209	2-3 = -3646/1124
3-4	=	-3473/1137	4-5 = -13991333
5-6	=	-1217/366	6-7 = -1991146
BOT CHORD			
11-12	=	-110/177	10-11 = -108211749
9-10	=	-160014137	8-9 = -1831934
7-8	=	-21107	
WEBS			
1-11	=	-244/224	2-11 = -26221905
2-10	=	-21911466	4-10 = -102012583
4-9	=	-3481/1463	5-9 = -306/970
6-9	=	-2521178	6-8 = -13211363

8) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.

LOAD CASE(S)
Standard

REACTIONS (lb/size)	
11	= 1376/0-5-8
8	= 1339/0-5-8
Max Horz	
11	= 388(load case 6)
Max Uplift	
11	= -115(load case 6)
8	= -236(load case 6)
Max Grav	
11	= 1473(load case 2)
8	= 1339(load case 1)

FORCES (lb)
 Maximum Compression/Maximum Tension
 TOP CHORD
 1-12 = -99/0

NOTES
 1) Wind: ASCE 7-98; 90mph; h=20ft; TCDL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
 2) Unbalanced snow loads have been considered for this design.
 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 4) All plates are MT20 plates unless otherwise indicated.
 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 115 lb uplift at joint 11 and 236 lb uplift at joint 8.
 7) For bracing specified, use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System installation Guide. Cross bracing required at each end and at these spacings: Webs: 12-16; TC: Inst. 20-0-0.



Job Truss Truss Type
67226 a COMMON

Qty Ply Shaw
18 1

Sprowl Building Components, Searsport, ME 04973, PJM

Job Reference (optional)
6.000s Mar 8 2004 MITek Industries, Inc. Wed May 12 09:52:25 2004 Page 1

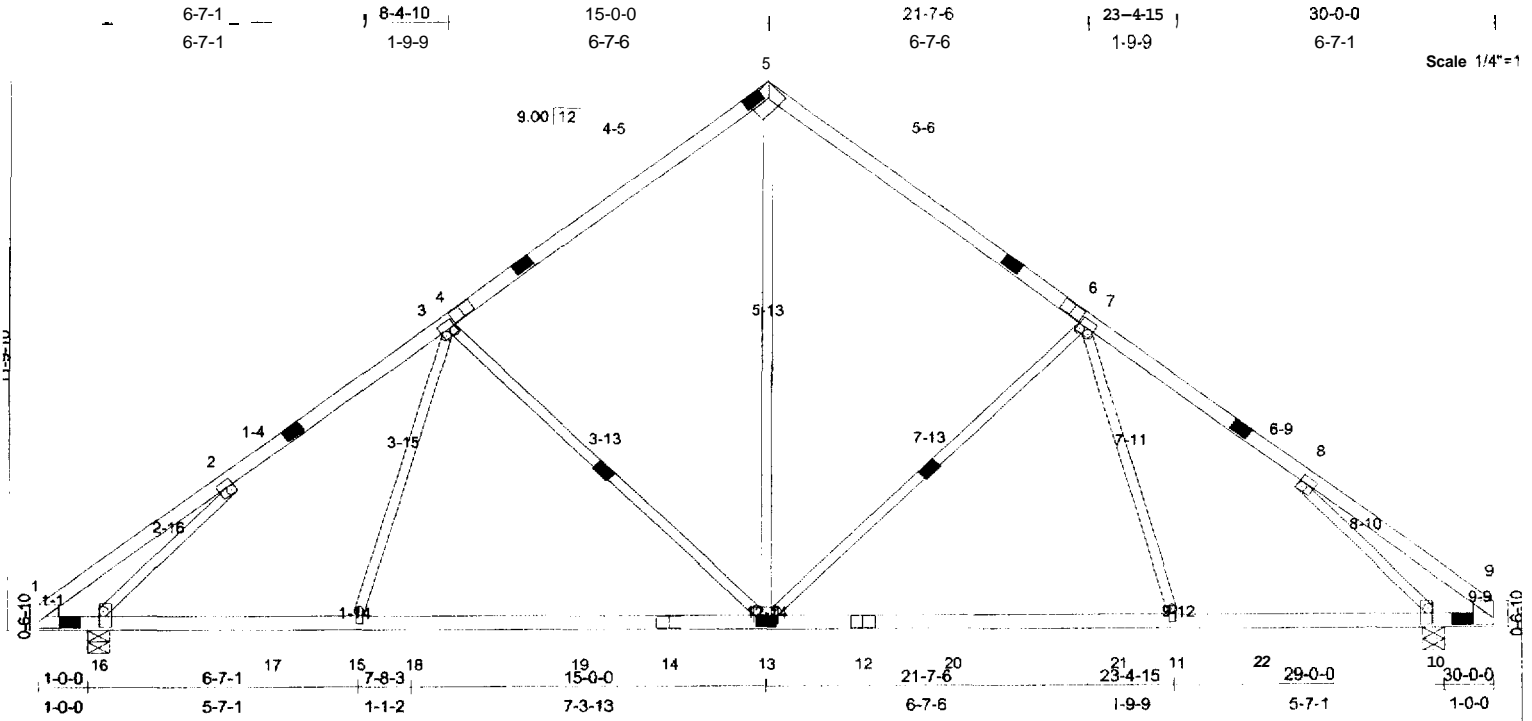


Plate Offsets (X,Y): [2:0-1-4,0-1-12], [8:0-1-4,0-1-12], [10:0-2-12,0-1-0], [16:0-2-12,0-1-0]

LOADING(psf)	SPACING 2-0-0	CSI	DEFL in (loc) l/defl L/d	PLATES GRIP
TCLL 45.0	Plates increase 1.15	TC 0.98	Vert(LL) -0.3313-15 >999 360	MT20 1971144
TCDL 7.0	Lumbar Increase 1.15	BC 0.92	Vert(TL) -0.5113-15 >654 240	
BCLL 0.0	Rep Stress Incr YES	WB 0.96	Horz(TL) 0.07 10 n/a n/a	
BCDL 10.0	Code BOCA/ANSI95	(Matrix)		Weight: 118 lb

LUMBER
 TOP CHORD 2 X 4 SPF No.2
 BOT CHORD 2 X 4 SPF 1650F 1.5E "Except"
 12-142 X 4 SPF No.2
 WEBS 2 X 3 SPF No.2
 WEDGE
 Left: 2 X 3 SPF No.2
 Right: 2 X 3 SPF No.2

BOT CHORD		LOAD CASE(S)	
16-17	= -227/1623	15-17	= -227/1623
15-18	= -238/1567	18-19	= -238/1567
14-19	= -238/1567	13-14	= -238/1567
12-13	= -99/1567	12-20	= -99/1567
20-21	= -99/1567	11-21	= -99/1567
11-22	= -83/1623	10-22	= -83/1623
9-10	= -11342		
WEBS			
3-15	= -3/238	5-13	= -172/1000
7-11	= -3/238	3-13	= -703/291
7-13	= -703/291	2-16	= -2075/378
8-10	= -2075/378		

BRACING
 TOP CHORD
 Installation
 1 Stabilizer(s) at 9-4-8 (max) oc.
 Permanent
 Sheathed or 2-7-15 oc purlins.
 BOT CHORD
 Installation
 1 Stabilizer(s) at 15-0-0 (max) oc.
 Permanent
 Rigid ceiling directly applied or 10-0-0 oc bracing.
 WEBS
 1 row(s) of 1 Stabilizer(s) at 1/2 pts.
 3-13, 7-13

REACTIONS(lb/size)

16	=	2066/0-5-8
10	=	2066/0-5-8
Max Horz		
16	=	-343(load case 4)
Max Uplift		
16	=	-248(load case 6)
10	=	-248(load case 7)

FORCES (lb)
 Maximum Compression/Maximum Tension

TOP CHORD

1-2	=	-430/2	2-3	=	-2203/243
3-4	=	-1688/268	4-5	=	-1646/302
5-6	=	-1646/302	6-7	=	-1688/268
7-a	=	-2203/243	8-9	=	-430/2

BOT CHORD

1-16	=	-11342
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NOTES

- 1) WInd: ASCE 7-98; 90mph; h=20ft; TCDL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 2) Unbalanced snow loads have been considered for this design.
- 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
- 4) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 248 lb uplift at joint 16 and 248 lb uplift at joint 10.
- 6) For bracing specified, use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Gross bracing required at each end and at these spacings: Webs: 20-0-0; TC: Inst. 20-0-0; BC: ; tnst. 20-0-0.
- 7) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.



Job	Truss	Truss Type	Qty	Ply	Shaw
67226	C	GABLE	2	1	
Sprowl Building Components, Searsmont, ME 04973, PJM					
Job Reference (optional) 6.000 s Mar 8 2004 MITek Industries, Inc. Wed May 12 09:52:13 2004 Page 1					

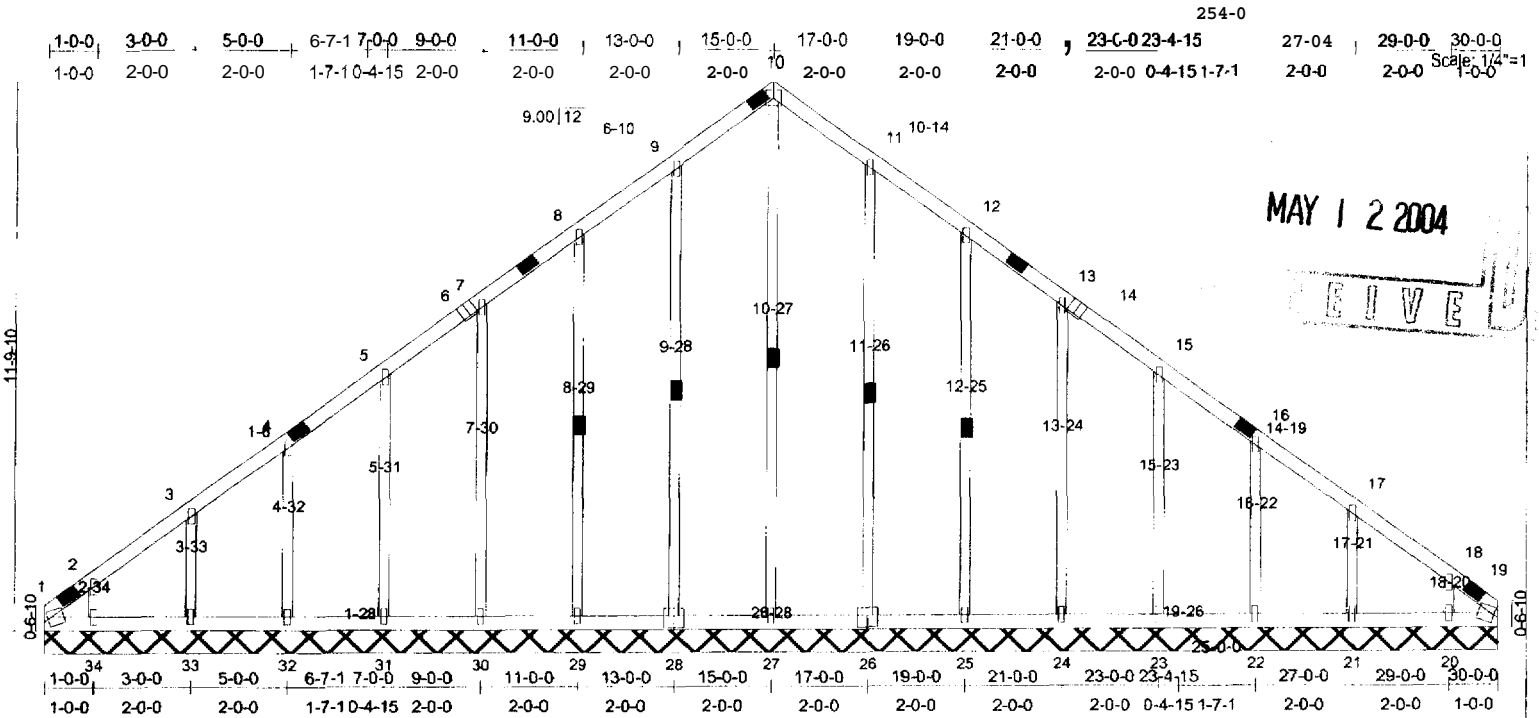


Plate Offsets (X,Y): [1:0-0-0,0-2-0], [19:0-0-0,0-2-0], [26:0-2-8,0-3-0], [28:0-2-8,0-3-0]

LOADING(psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/def	L/d	PLATES	GRIP
TCLL 45.0	Plates Increase	1.15	TC 0.13	Vert(LL)	n/a	n/a	999	MT20	1971144
TCDL 70	Lumber Increase	1.15	BC 0.06	Vert(TL)	n/a	n/a	999		
BCLL 0.0	Rep Stress Incr	YES	WB 0.30	Horz(TL)	0.01	19	n/a		
BCDL 10.0	Code	BOCA/ANSI95	(Matrix)					Weight: 146 lb	

LUMBER	TOP CHORD	2 X 4 SPF No.2	Max Uplift	30 = -86(load case 6)	TOP CHORD	12-13 = -115/111	13-14 = 30169
	BOT CHORD	2 X 4 SPF No.2	31 = -88(load case 6)	31 = -115/64	14-15 = -115/64	15-16 = -115/68	
	OTHERS	2 X 3 SPF No.2	32 = -87(load case 6)	32 = -142/174	16-17 = -142/174	17-18 = -219/181	
BRACING			33 = -91(load case 6)	33 = -321/194	18-19 = -321/194		
TOP CHORD			34 = -136(load case 6)				
Installation			26 = -60(load case 7)				
1 Stabilizer(s) at 9-4-8 (max) oc.			25 = -97(load case 7)				
Permanent			24 = -88(load case 7)				
Sheathed or 6-0-0 oc purlins.			23 = -88(load case 7)				
BOT CHORD			22 = -87(load case 7)				
Rigid ceiling directly applied or 9-10-0 oc bracing.			21 = -91(load case 7)				
WEBS			20 = -126(load case 7)				
1 row(s) of 1 Stabilizer(s) at 1/2 pts.			1 = 260(load case 6)				
10-27, 9-28, 8-29, 11-26, 12-25			19 = 212(load case 7)				

REACTIONS (lb/size)							
1 = 71/30-0-0							
19 = 71/30-0-0							
27 = 271/30-0-0							
28 = 323/30-0-0							
29 = 330/30-0-0							
30 = 326/13044							
31 = 334/13044							
32 = 286/30-0-0							
33 = 250/30-0-0							
34 = 204/30-0-0							
26 = 323/30-0-0							
25 = 330/30-0-0							
24 = 326/30-0-0							
23 = 334/30-0-0							
22 = 286/30-0-0							
21 = 250/130-0-0							
20 = 204/30-0-0							

10-27 = -206/0	9-28 = -259/87
8-29 = -254/115	7-30 = -253/106
5-31 = -253/108	4-32 = -251/106
3-33 = -261/112	2-34 = -206/1144
11-26 = -259/180	12-25 = -254/117
13-24 = -253/106	15-23 = -253/108
16-22 = -251/106	17-21 = -261/112
18-20 = -206/1135	

FORCES (lb)				
Maximum Compression/Maximum Tension				
TOP CHORD				
1-2 = -379/211	2-3 = -296/1187			
3-4 = -244/1180	4-5 = -195/1174			
5-6 = -145/163	6-7 = -136/168			
7-8 = -115/171	8-9 = -116/218			
9-10 = -116/243	10-11 = -116/229			
11-12 = -116/170				

Continued on page 2

NOTES

- 1) Wind: ASCE 7-98; 90mph; h=20ft; TC DL=4.2psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFR gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to face), see MiTek "Standard Gable End Detail"
- 3) Unbalanced snow loads have been considered in this design.
- 4) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
- 5) All plates are 1.5x4 MT20 unless otherwise indicated.
- 6) Gable requires continuous bottom chord bearing

L & L STRUCTURAL

ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207)767-4830
Fax: (207)799-5432

May 11, 2004

Kevin Shaw

L.R. Shaw & Son

23 Longwoods Road

Cumberland, Maine 04021

Subject: 140 Hope Avenue - Portland, Maine

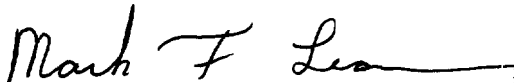
Dear Mr. Greenlaw.

We have completed our review of the required steel beam in the garage floor, as well as, the garage door headers and the main support beam in the second level framing. We understand the main support beam above the living room may support attic framing as well. Our office has proportioned this beam to carry attic loading in accordance with Boca 1999.

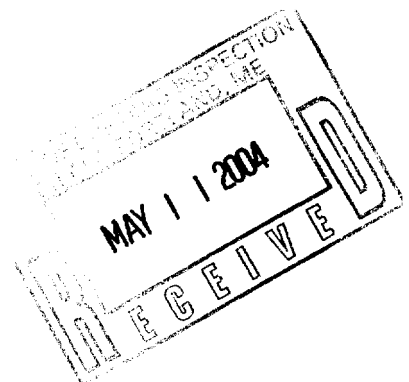
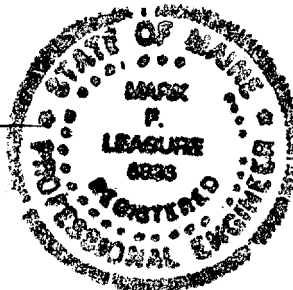
If you have any questions, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.



Mark F. Leasure, P.E.
Principal



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2004-0081

Application I. D. Number

04/21/2004

Application Date

140 Hope Ave. Lot #7

Project Name/Description

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland, ME 04021

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #140 HOPE AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0081

Application I. D. Number

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland, ME 04021

Applicant's Mailing Address

04/21/2004

Application Date

140 Hope Ave. Lot#7

Project Name/Description

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ **Agent Fax:** _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3500 sq. Ft.

Proposed Building square Feet or # of Units

33,112 sq. Ft.

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **04/21/2004**

Status:

Reviewer **Jay Reynolds**

- Approved** **Approved w/Conditions** **Denied**
- See Attached

~~Approval Date~~ **05/17/2004**

Approval Expiration **05/17/2005**

Extension to _____

Additional Sheets

Condition Compliance

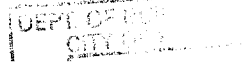
Jay Reynolds

05/17/2004

Attached

signature

date



Revised site plan attached.

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

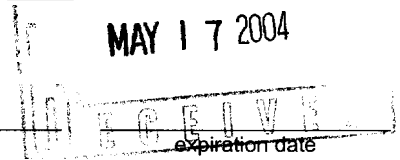
amount

expiration date

Defect Guarantee Released

date

signature



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2004-0081

Application I. D. Number

04/21/2004

Application Date

140 Hope Ave. Lot #7

Project Name/Description

Shaw Larry R &

Applicant

23 Longwoods Rd , Cumberland, ME 04021

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

140 - 140 Hope Ave , Portland, Maine

Address of Proposed Site

392 A007001

Assessor's Reference: Chart-Block-Lot

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Prmt

Text93

Constr Type

New

Num1

40456

Permit Nbr

04-0456

Location of Construction

140

Hope Ave

Appl. Date

04/21/2004

Status

Hold

Permit Type

Single Family

Issue Date

CBL

392 A007001

District Nbr

5

Estimated Cost

\$190,000.00

Date Closed

Comment Date

05/07/2004

Comment

Met w/owner - gave him a copy of plan review sheets for corrections - will submit more info.

Name

fmm

Follow Up Date

Completed

CreatedBy

gg

CreateDate

04/22/2004

ModBy

fmm

ModDate

05/07/2004

04 0456

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

140	
Total Square Footage of Proposed Structure 3500	Square Footage of Lot 33,112 sf
Tax Assessor's Chart, Block & Lot Chart# 392 Block# A Lot# 007	Owner: KEVIN SHAW LARRY SHAW
Telephone: 780-6156	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: KEVIN SHAW PMB 1270 89 Auburn St LARRY SHAW Portland Me 04104 780-6156
Cost Of Work: \$190,000 \$165,000.00	Fee: \$ 1731.00
Current use: <u>LOT / New Sub Div</u>	75.00
If the location is currently vacant, what was prior use: <u>open</u>	1806.00
Approximately how long has it been vacant: <u>New Sub Div</u>	300.00
	\$2106.00
Proposed use: <u>Single Family Home to be built</u>	28x38 + 28x28 gar.
Project description: <u>3440 sf</u> 2268 sf	+ 12x22
Contractor's name, address & telephone: (SEIF) LONGWOODS ASSC 780-6156	
Who should we contact when the permit is ready: KEVIN SHAW 780-6156	
Mailing address: PMB 1270 89 Auburn St Portland Me 04104	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 780-6156	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in this application is issued, I certify that the Code Enforcement Representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kevin Shaw</u>	Date: <u>April 20 2004</u>
---	----------------------------

APR 21 2004
 RECEIVED
 PLANNING DEPARTMENT
 CITY OF PORTLAND

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2004-0081
Application I. D. Number
4/21/2004
Application Date
140 Hope Ave. Lot #7
Project Name/Description

Shaw Larry R &
Applicant
23 Longwoods Rd , Cumberland, ME 04021
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

140- 140 Hope Ave , Portland, Maine
Address of Proposed Site
392 A007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3500 sq. Ft. _____ **33,112 sq. Ft.** _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBNPB) Zoning Variance Other _____

Fees Paid: Site Pla **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **4/21/2004**

Insp Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required' Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Applicant: Kevin Shaw

Date: 4/28/04

Address: 140 Hope Ave (LT#7) C-B-L: 392-A-007

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct new 28' x 38' single family - breezeway and attached 28' x 28' garage

Sevage Disposal - City - NO exterior decks

Lot Street Frontage - 50' req. min. - 100' shown - shown

Front Yard - 25' min req - 75' scaled - NO Daylight basement shown

Rear Yard - 25' min req - 18' scaled

Side Yard - 14' min - 18' & 42' scaled

Projections - 2 story chimney on left side - 2' x 5.5' - 2' x 10' front entry

Width of Lot - 80' min req - 100' scaled

Height - 35' MAX - 25.5' scaled

Lot Area - 10,000 sqm - 33,112 sq ft shown

Lot Coverage/Impervious Surface - 20% MAX

Area per Family - 10,000 sqm

Off-street Parking - 2 spaces required -> 2 car garage shown

Loading Bays - N/A

Site Plan - minor/minor # 2004-0081

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

LARRY R. SHAW and KEVIN L. SHAW, with a mailing address of 23 Longwoods Road, Cumberland, Maine 04021, as JOINT TENANTS

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 7 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650.
2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph 12 of said Notes.

MAINE REAL ESTATE TAX PAID

3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December 29, 1955 and recorded at said Registry of Deeds in Book 2276, Page 277.
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for Robert Adam dated August 1978 and recorded at said Registry of Deeds in Plan Book 125, Pages 45 and 46.
5. A ten (10) foot and thirty (30) foot pedestrian easement as shown on said Plan recorded in Plan Book 202, Page 650.
6. ~~A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland, to be recorded at said Registry of Deeds, relating to said easements as shown on Plan recorded in Plan Book 202, Page 650, and any amendments thereto.~~
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August 23, 2002 and recorded at said Registry of Deeds in Book 18084, Page 64 (incorrectly referred to as 94 in previous deed) together with the requirement that all future conveyances shall include reference to this permit.
8. Terms and conditions of a Declaration of Covenants and Restrictions dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 59.
9. The owner of Lot 7, being the lot herein conveyed, shall retain either a licensed civil engineer or landscape architect to assist in design of the improvements of this lot. The owner of this lot shall also retain that professional to provide construction phase services including, but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in field conditions which require modification to the design of the lot improvements. The minimum site inspection requirements are set forth in Note 5 on said Plan to which reference is hereby made for a more specific description. The professional (civil engineer or landscape architect) shall provide a written statement to the Portland Planning Authority upon completion of construction of lot improvements affirming that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by LLOYD B. WOLF, its Treasurer thereunto duly authorized this 14th day of November, 2003.

GOLDENEYE CORP.

Leslie A. Raifsnider

By: Lloyd B. Wolf
Its Treasurer

STATE OF MAINE
CUMBERLAND, SS.

November 14, 2003

Then personally appeared the above-named LLOYD B. WOLF, Treasurer of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

Leslie A. Raifsnider
Attorney at Law/Notary Public

LESLIE A. RAIFSNIDER
Maine Notary Public
My Commission Expires May 9, 2009

Received
Recorded Register of Deeds
Nov 17, 2003 01:16:02P
Cumberland County
John E. D Brien

SEAL