

Design: DER	Date: 7/31/03
Draft: CAM	Job No.: 630
Checked: AMP	Scale: 1"=30'
File Name: 98089-ALL-LOTS	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237  
19 Solar Road  
Group, Inc. 04039  
207-857-0910  
FAX: 207-857-0912  
E-mail: gorrill@gorrillpalmer.com

Drawing Name: **Lot 6 Site and Utility Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No. **2**

DRAINAGE EASEMENT

LOT 6  
36,179 S.F.  
0.83 AC.

**NOTE:**

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

UNDISTURBED ZONE PER CITY OF PORTLAND SUBDIVISION APPROVAL. NO TREE CUTTING, GRADING, DISTURBANCE OF VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

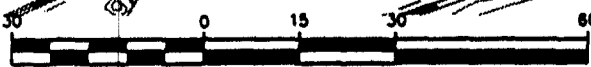
LOT OWNER TO COORDINATE WITH NEIGHBORS FOR PLACEMENT OF DITCH ALONG PROPERTY LINES

8" FOUNDATION DRAIN. GRAVITY TO DAYLIGHT S=0.0104 MIN.

SILT FENCE

LOT OWNER TO COORDINATE WITH NEIGHBORS FOR PLACEMENT OF DITCH ALONG PROPERTY LINES

WETLAND AREA PERMITTED FOR FILL/ALTERATION AS PART OF PRESUMPCOT RIVER PLACE PHASE III PERMIT APPLICATION



1 inch = 30 ft.

Design:	DER	Date:	7/31/03
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**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

90 Box 1237  
12 South Road  
Burlington, VT 05403  
207-687-8000  
FAX: 207-687-8012  
E-Mail: info@gpce.com

Drawing Name:  
**Lot 6 Grading and Drainage Plan**

Project:  
**PRESUMPCOT RIVER PLACE**

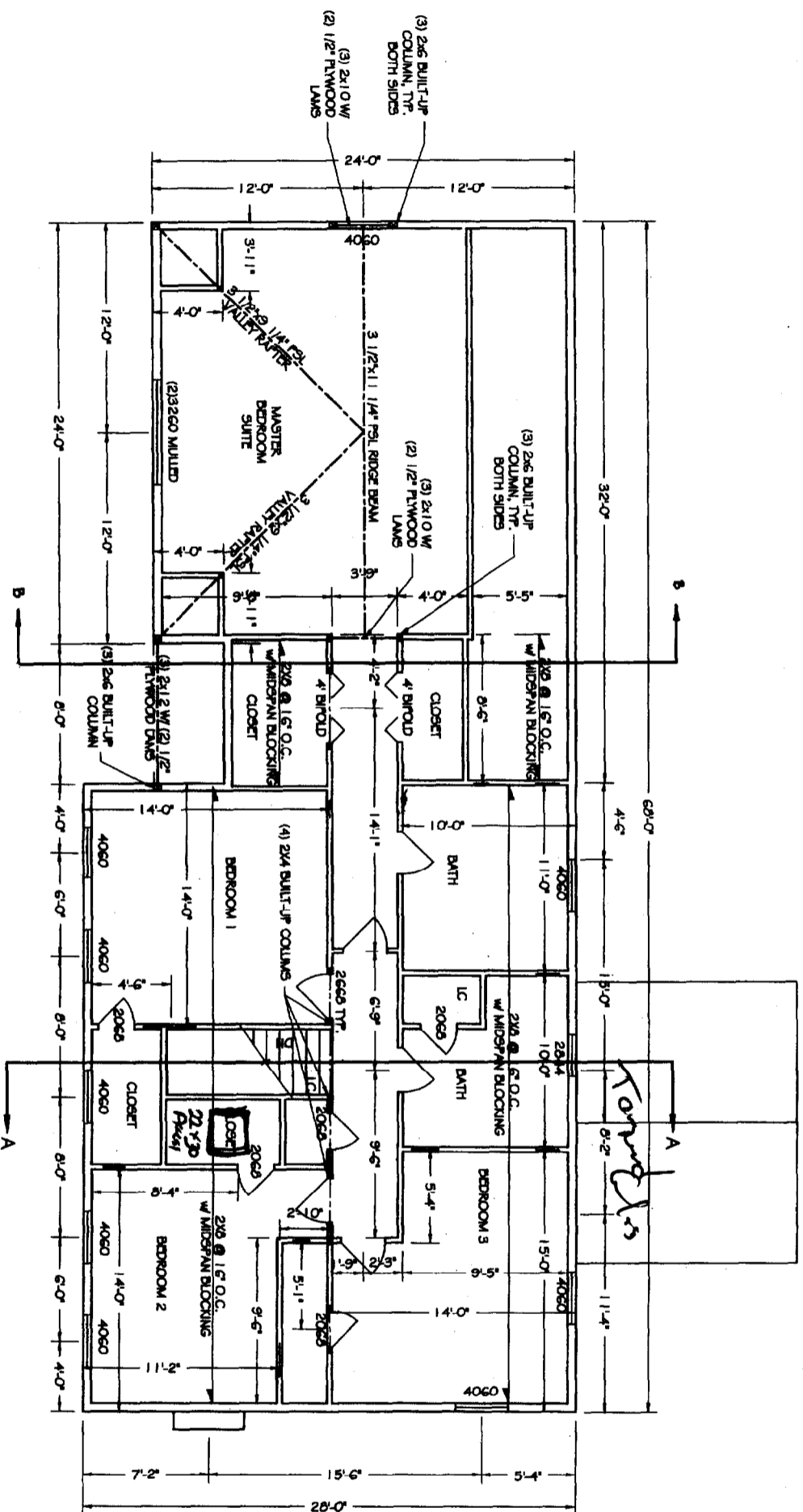
Figure No.  
**3**







THIS P.L. REVIEW COVERS STRUCTURAL FRAMING MEMBERS SIZES FOR NEW OR MODIFIED STRUCTURE ONLY. DESIGN AND DETAIL FOR FOUNDATION ELEMENTS, FRAMING CONNECTIONS (UNLESS OTHERWISE NOTED), COMPONENTS AND CLADDING FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.L. SEAL.



CEILING FRAMING PLAN

NOTE:  
 INTERIOR HEADERS @ SECOND FLOOR TO BE:  
 (2) 2x6 W/ (1) 1/2\"/>

EXTERIOR HEADERS @ SECOND FLOOR TO BE:  
 (3) 2x10 W/ (2) 1/2\"/>

OTHERWISE NOTED.

Smoke detectors  
 in Every Bedroom & Porch  
 on Every Floor  
 Hold Wind + Rain

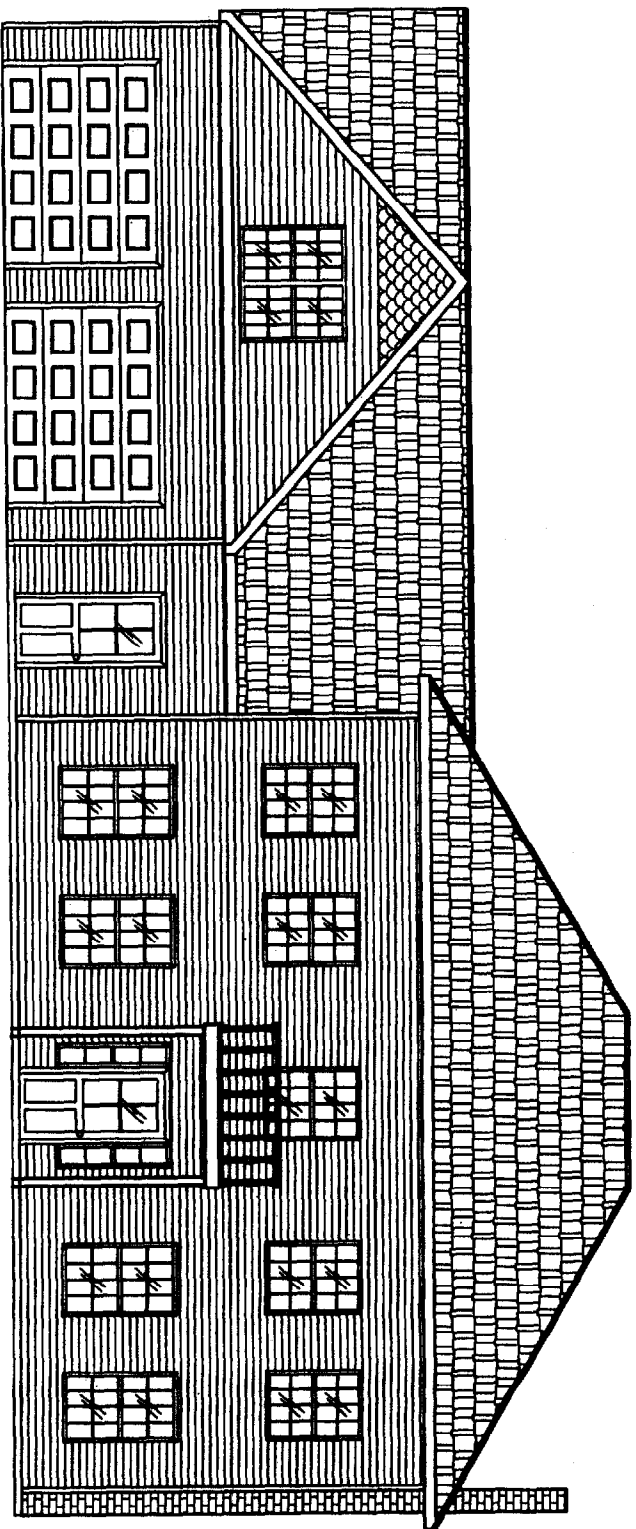


**ASSOCIATED DESIGN PARTNERS INC.**  
 80 Lakeside Road  
 Farmington, Maine 04105  
 Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: adp@adpinc.com

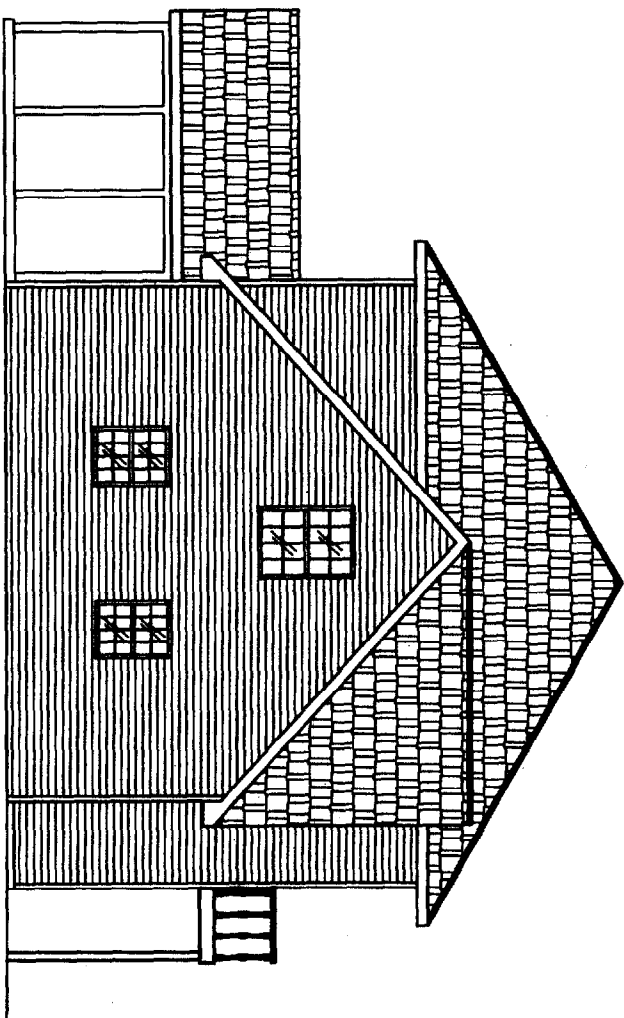
PROJECT: **HOPE AVENUE/PORTLAND**  
 FOR: VISTA CORP.  
 SHEET TITLE: **SECOND FLOOR FRAMING PLAN**

NO.	REVISION	DATE

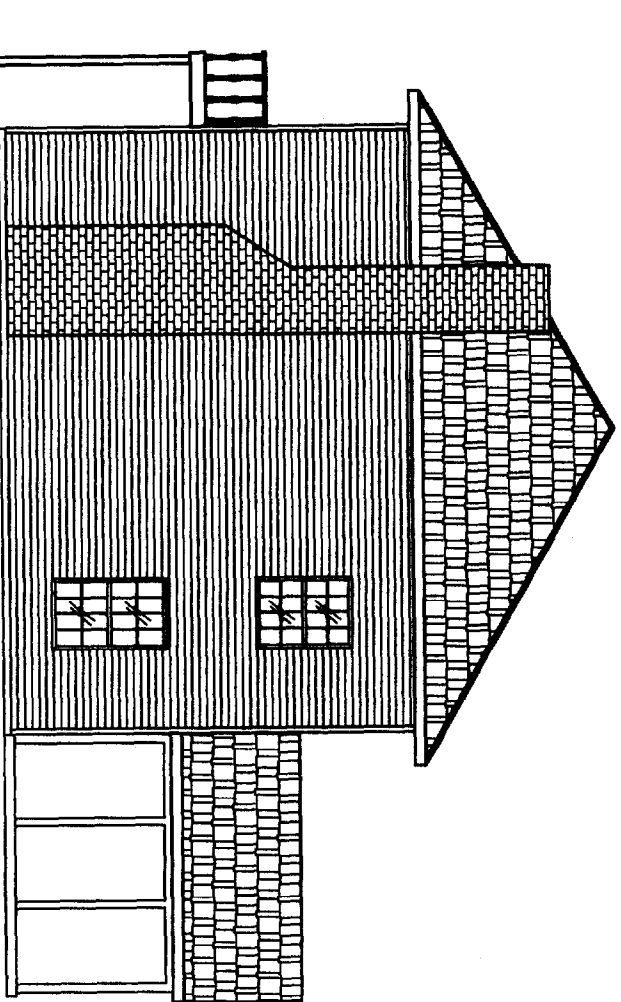
DATE: 08/08/03  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: JAC  
 CHECKED BY: JAC  
 PROJECT NUMBER: 03139  
 SHEET NO. OF 3



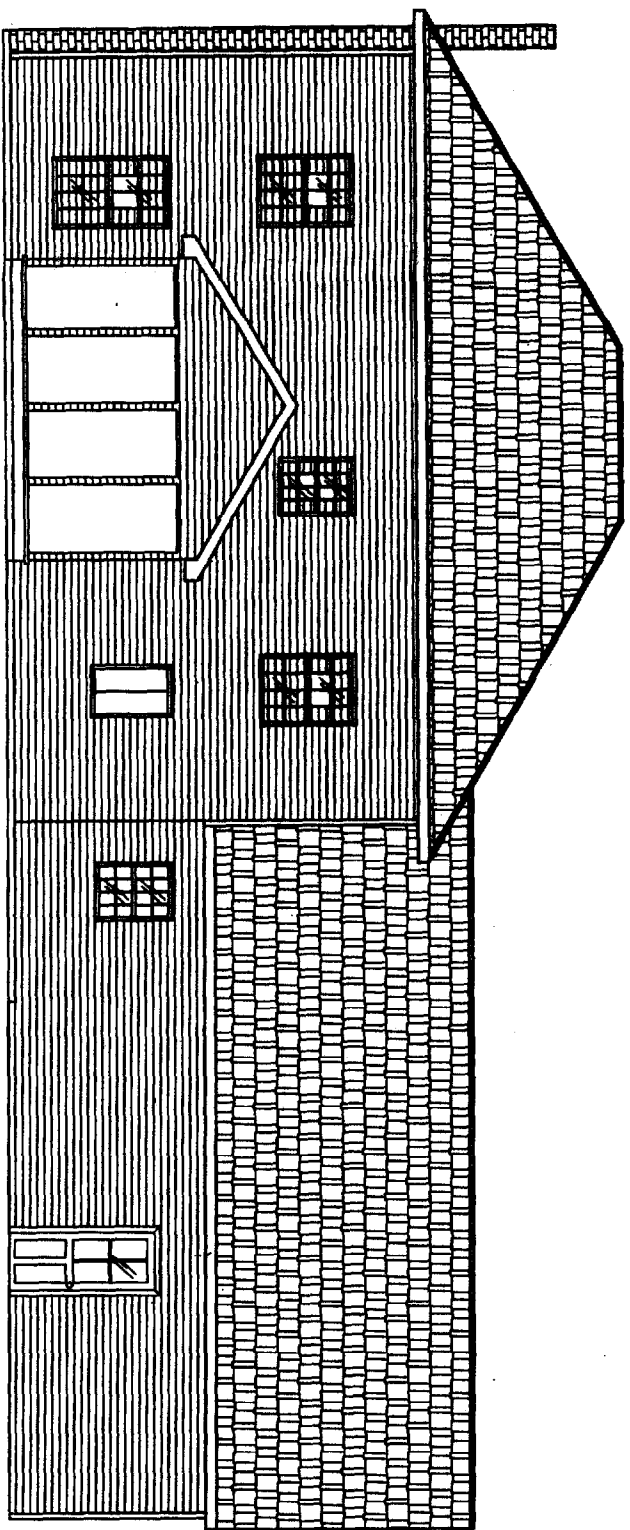
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

NO.	REVISIONS	DATE

PROJECT: **BOULEVARD ROVER, ELLIMOUTH**  
*1025 AVENUE / Portland*  
 VISTA CORP

SHEET TITLE:  
**BUILDING ELEVATIONS**

NOT TO SCALE  
 UNLESS OTHERWISE NOTED  
 ALL DIMENSIONS IN FEET AND INCHES  
 UNLESS OTHERWISE NOTED

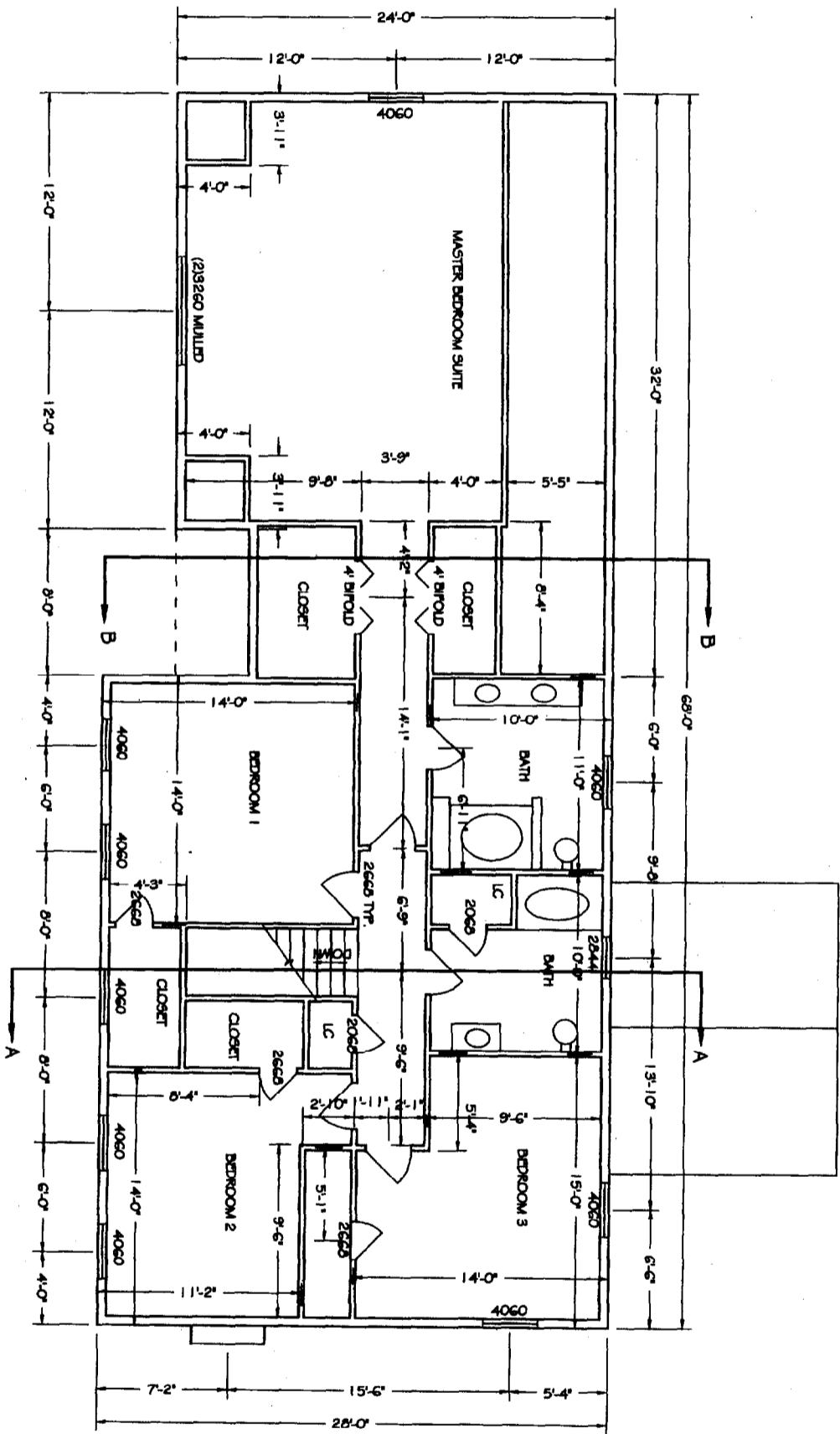
**ASSOCIATED DESIGN PARTNERS INC.**

80 Leighton Road  
 Portsmouth, Maine 04105

Office: (207) 878-1751  
 Fax: (207) 878-1788  
 E-Mail: [adp@adpinc.com](mailto:adp@adpinc.com)

DATE: 02/04/03  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: MJC/CLB  
 CHECKED BY: GJM/CLB/AVP  
 PROJECT NUMBER: 03139

SHEET:  
**A3**  
 OF  
**4**



SECOND FLOOR PLAN

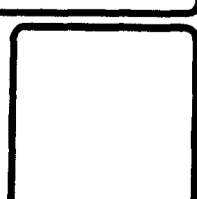
DATE:	03/09/03
SCALE:	1/4" = 1'
DESIGNED BY:	JAN
DRAWN BY:	DL
PROJECT NUMBER:	03139
SHEET:	A2 OF 4

NO.	REVISION	DATE

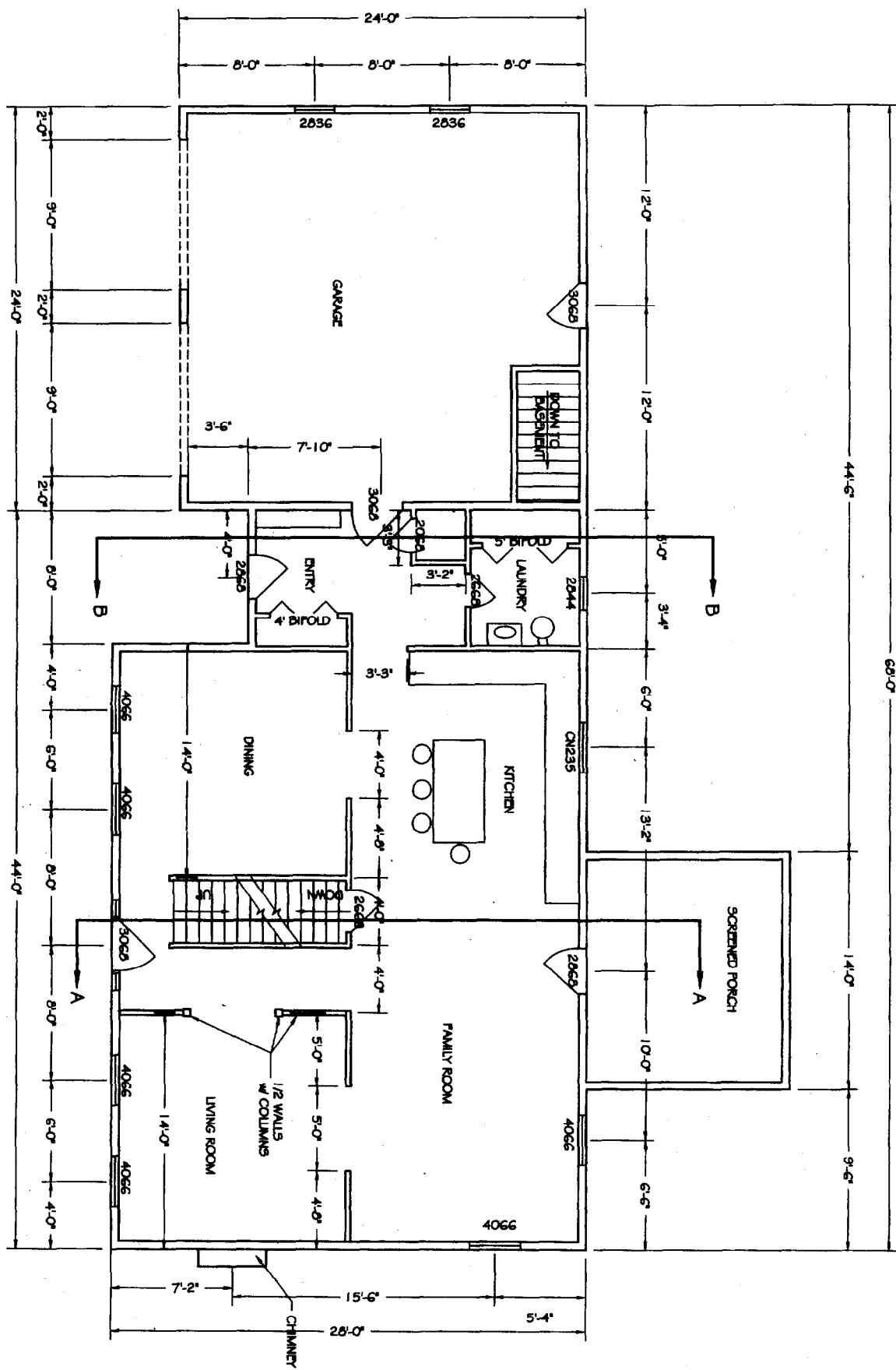
PROJECT: HOPE AVENUE/PORTLAND  
 FOR: VISTA CORP.  
 SHEET TITLE: SECOND FLOOR PLAN

NOTES:  
 1. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.  
 2. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.  
 3. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

**ASSOCIATED DESIGN PARTNERS INC.**  
 80 Leighton Road  
 Portland, Maine 04105  
 Office: (207) 876-1751  
 Fax: (207) 876-1786  
 E-Mail: adp@adpinc.com







FIRST FLOOR PLAN

NO.	REVISIONS	DATE

PROJECT: HOPE AVENUE/PORTLAND  
 FOR: VERZA CORP.  
 SHEET TITLE: FIRST FLOOR PLAN

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 80 Leighton Road  
 Portland, Maine 04105  
 Office: (207) 878-1751  
 Fax: (207) 878-1758  
 E-Mail: info@adpinc.com

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 PROJECT NO.: 03139  
 SHEET: A1 OF 4