

Builder to submit ^{7/2/09} revised grading plan

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2009-0060
Application I. D. Number
6/16/2009
Application Date
Single Family Home
Project Name/Description

Mack Francis X &
Applicant
73 Allison St , Portland , ME 04103
Applicant's Mailing Address
Glen Gervais
Consultant/Agent
Agent Ph: (207)650-6989 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Phil DiPierro

89 - 89 Hope Ave , Portland, Maine
Address of Proposed Site
390 B030001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site _____ Zoning _____

Check Review Required:
 Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____ Design Review
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Housing Replacement
 After the Fact - Minor PAD Review 14-403 Streets Review Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 6/16/2009

DRC Approval Status:

Reviewer Phil DiPierro

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration DiPierro Extension to 7/9/09 Additional Sheets Attached
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

MEMORANDUM

To: FILE

From: Philip DiPierro

Dept: DRC

Subject: Application ID: 2009-0060

Date: 7/9/2009

see conditions.

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

- 4 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

- 5 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

- 7 A revised drainage plan shall be submitted to and approved by the Development Review Coordinator prior to pouring the foundation, showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

- 9 Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.

- 01 The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 20, 2009

RE: C. of O. for # 89 Hope Avenue,
(Id#2009-0060) (CBL 390 B 030001)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Inspection Services Manager
File: Urban Insight



Gorrill-Palmer Consulting Engineers, Inc.

Transportation and Civil Engineering Services

PO Box 1237
15 Shaker Rd.
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

October 19, 2009

Mr. Phil DiPierro
Development Review Coordinator
City of Portland
389 Congress Street
Portland, ME 04101

RE: Lot 30 Presumpscot River Place
Portland, Maine

Dear Phil:

It has come to Gorrill-Palmer Consulting Engineers, Inc.'s attention that the owner of Lot 30 of Presumpscot River Place, Glen Gervais, of Custom Built Homes of Maine, has requested a permanent certificate of occupancy for the recently constructed home on the lot. A condition of approval for the development of this lot is listed below:

The construction phase services required by the City include, but are not limited to periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in field conditions, which require modification to the design of the lot improvements. At a minimum, the following site inspection must be conducted:

- *Subsequent to staking of house and driveway, installation of silt fence and prior to clearing.*
- *Upon completion of clearing and grubbing.*
- *Upon completion of rough grading.*
- *Upon completion of foundation.*
- *Upon completion of final grading.*
- *Upon completion of surface restoration.*
- *Prior to removal of erosion control measures.*

Upon completion of construction, the lot owner must have a written statement from the review engineer, indicating that the construction was in substantial conformance to the approved plans and all conditions of approval have been met.

This letter is intended to satisfy the requirements of the written statement from the review engineer.

Gorrill-Palmer is providing this written statement indicating that construction of the lot is in substantial conformance with the approved plans as stated by the site inspection milestones listed above, with the exception that final surface restoration is not complete at this time. Therefore it is our recommendation that the erosion control measures remain in place until there is a substantial grass catch in the areas above the silt fence and bark mulch berms.

Gorrill-Palmer Consulting Engineers, Inc.

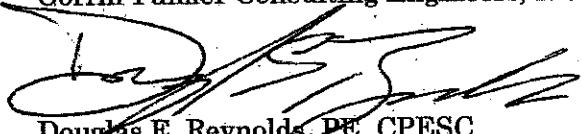
Mr. Phil DiPierro
October 19, 2009
Page 2 of 2

The field notes for each of the site visits are attached to this letter.

Please feel free to contact this office with any questions or comments you may have.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Douglas E. Reynolds, PE, CPESC
Project Engineer

Cc: Glen Gervais, Custom Built Homes of Maine

DER/der/JN98089.06/Letterof Cert10-18-09

DAILY FIELD REPORT

Project: Presumpscot River Place, Lot 30

Project No: 98089.06

Client: Custom Built Homes of Maine

Date: 10-19-09

Gorrill-Palmer Consulting Engineers Inc. Field Rep: Doug Reynolds

Weather: Sunny

Temp. Range: Mid 50's

Time Arrived on site: 1:00 PM

Departed site at: 1:30 PM

Work in Progress: None, Driveway had been paved earlier in the day

Work Conducted by GPCEI Representative: General Site Observation

Observations - Discussions - Recommendations

Lot 30

A site visit was conducted following the completion of the final grading milestone.

The final grading of the site had been completed. Loam, seed and mulch have been placed appropriately over the entire site. At this time, there was not any significant grass catch with the final graded areas. All silt fence and mulch berms were in place as required. It would not be appropriate to remove the silt fence at this time. However, it would be acceptable if the contractor elected to replace the silt fence with bark mulch along the frontage of the lot to have less of a visual detraction to the new home owners.

The remaining milestones to be met are completion of surface restoration and prior to removal of erosion control measures. Due to the late time of year, it is not known whether surface restoration will occur prior to winter conditions or prior to occupancy. Additional site reviews may be required, to ensure proper grass catch is obtain prior to removal of all measures.

Reminder: Custom Built Homes of Maine shall contact Gorrill-Palmer Consulting Engineers Inc. subsequent to the completion of the milestones as specified by the plans.

Reviewed By: _____

Distribution: Glen Gervais, Custom Built Homes , File

If there are any discrepancies, please notify the sender immediately.

DAILY FIELD REPORT

Project: Presumpscot River Place, Lot 30

Project No: 98089.06

Client: Custom Built Homes of Maine

Dates: 8-21-09

Gorrill-Palmer Consulting Engineers Inc. Field Rep: Doug Reynolds

Weather: Sunny

Temp. Range: Mid 80's

Time Arrived on site: 11:00 AM

Departed site at: 11:30 AM

Work in Progress: Building Contractor onsite working of building frame

Work Conducted by GPCEI Representative: General Site Observation

Observations - Discussions - Recommendations

Lot 30

A site visit was conducted following the completion of foundation and prior to the final grading milestone.

The foundation completion milestone has been accomplished. All erosion control measures and land disturbances were located outside of the do not disturb zone. All silt fence was toed in as necessary. Hope Avenue did not show any evidence of sediment from the site.

Reminder: Custom Built Homes of Maine shall contact Gorrill-Palmer Consulting Engineers Inc. subsequent to the completion of the milestones as specified by the plans.

Reviewed By: _____

Distribution: Glen Gervais, Custom Built Homes , File

If there are any discrepancies, please notify the sender immediately.

DAILY FIELD REPORT

Project: Presumpscot River Place, Lot 30

Project No: 98089.06

Client: Custom Built Homes of Maine

Dates: 7-13-09

Gorrill-Palmer Consulting Engineers Inc. Field Rep: Doug Reynolds

Weather: Sunny

Temp. Range: Mid 70's

Time Arrived on site: 1:00 PM

Departed site at: 1:30 PM

Work in Progress: Contractor onsite completing rough grading and starting foundation preparation.

Work Conducted by GPCEI Representative: General Site Observation

Observations - Discussions - Recommendations

Lot 30

A site visit was conducted following the completion of rough grading and prior to the completion of foundation milestone.

The rough grading milestone has been accomplished. All erosion control measures were located outside of the do not disturb zone. All silt fence was toed in as necessary. Hope Avenue did not show any evidence of sediment from the site. Glen from Custom Built was onsite and indicated that the existing grades appeared to be higher than those shown on existing conditions plan. Glen indicated he would obtain a revised grading plan from Gorrill-Palmer and submit to the City.

Reminder: Custom Built Homes of Maine shall contact Gorrill-Palmer Consulting Engineers Inc. subsequent to the completion of the milestones as specified by the plans.

Reviewed By: _____

Distribution: Glen Gervais, Custom Built Homes , File

If there are any discrepancies, please notify the sender immediately.

PO Box 1237
15 Shaker Road
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

DAILY FIELD REPORT

Project: Presumpscot River Place, Lot 30

Project No: 98089.06

Client: Custom Built Homes of Maine

Dates: 7-10-09

Gorrill-Palmer Consulting Engineers Inc. Field Rep: Doug Reynolds

Weather: Sunny

Temp. Range: Mid 70's

Time Arrived on site: 1:30 PM

Departed site at: 2:00 PM

Work in Progress: Contractor onsite completing clearing and grubbing and starting rough grading.

Work Conducted by GPCEI Representative: General Site Observation

Observations - Discussions - Recommendations

Lot 30

A site visit was conducted following the completion of clearing and grubbing and prior to the rough grading milestone.

The clearing and grubbing milestone has been accomplished. The do not disturb zone had been delineated at the time of visit. All erosion control measures were located outside of the do not disturb zone. The contractor has elected to use stump grindings and silt fence at the appropriate locations. All silt fence was toed in as necessary. Hope Avenue did not show any evidence of sediment from the site.

Reminder: Custom Built Homes of Maine shall contact Gorrill-Palmer Consulting Engineers Inc. subsequent to the completion of the milestones as specified by the plans.

Reviewed By: _____

Distribution: Glen Gervais, Custom Built Homes , File

If there are any discrepancies, please notify the sender immediately.

DAILY FIELD REPORT

Project: Presumpscot River Place, Lot 30

Project No: 98089.06

Client: Custom Built Homes of Maine

Dates: 7-10-09

Gorrill-Palmer Consulting Engineers Inc. Field Rep: Doug Reynolds

Weather: Sunny

Temp. Range: Mid 70's

Time Arrived on site: 10:30 AM

Departed site at: 11:00 AM

Work in Progress: Contractor onsite installing Silt Fence

Work Conducted by GPCEI Representative: General Site Observation

Observations - Discussions - Recommendations

Lot 30

A site visit was conducted following the completion of staking of the house and driveway, installation of silt fence, and prior to clearing milestone.

Approximately 30% of the clearing and grubbing milestone has also been accomplished. Staking of the house, garage, and driveway has been completed. The do not disturb zone had not been delineated at the time of visit. The contractor indicated the surveyor would be staking the zone later in the day. The contractor has elected to use stump grindings and silt fence at the appropriate locations.

Reminder: Custom Built Homes of Maine shall contact Gorrill-Palmer Consulting Engineers Inc. subsequent to the completion of the milestones as specified by the plans.

Reviewed By: _____

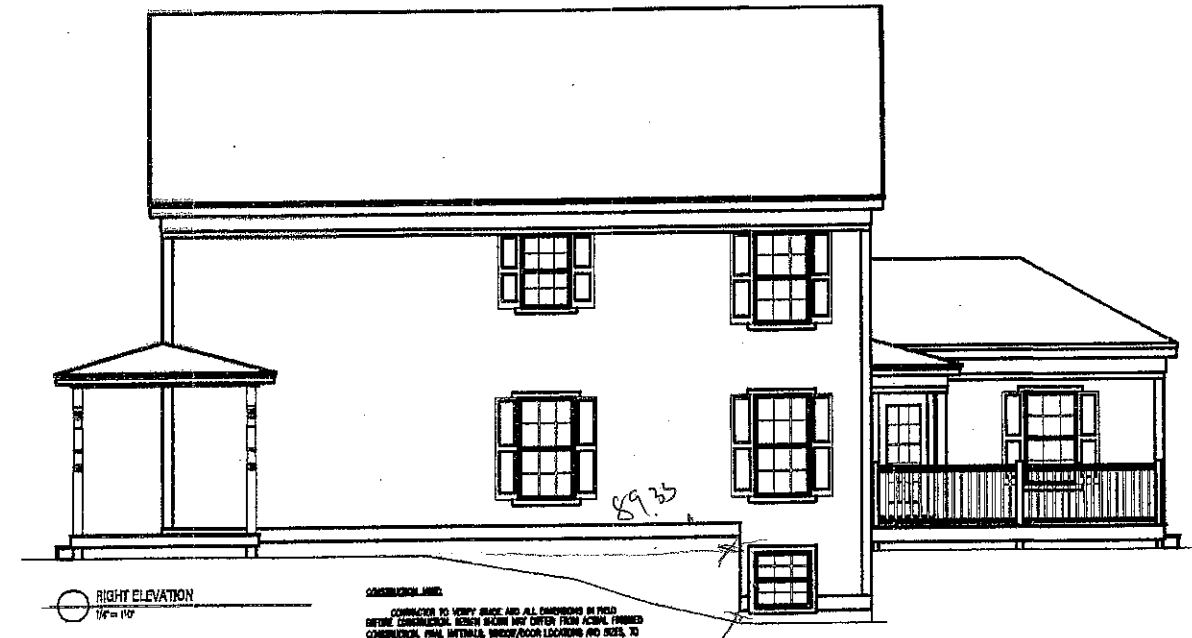
Distribution: Glen Gervais, Custom Built Homes , File

If there are any discrepancies, please notify the sender immediately.



FRONT ELEVATION
1/4" = 1'-0"

CONSTRUCTION LINE
CONSTRUCTION TO VERIFY SPACE AND ALL DIMENSIONS IN FIELD
SETLINE CONSTRUCTION. BEHIND SHOWN MAY DIFFER FROM ACTUAL FINISHED
CONSTRUCTION. FINAL INTERIORS, WINDOW/DOOR LOCATIONS AND SIZES, TO
BE DETERMINED PER OWNER/OWNER OR LOCAL AGENCIES.



RIGHT ELEVATION
1/4" = 1'-0"

CONSTRUCTION LINE
CONSTRUCTION TO VERIFY SPACE AND ALL DIMENSIONS IN FIELD
SETLINE CONSTRUCTION. BEHIND SHOWN MAY DIFFER FROM ACTUAL FINISHED
CONSTRUCTION. FINAL INTERIORS, WINDOW/DOOR LOCATIONS AND SIZES, TO
BE DETERMINED PER OWNER/OWNER OR LOCAL AGENCIES.



PROPOSED ELEVATIONS
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FALMOUTH, ME

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Revisions:

Date: 05/28/09
Scale: 1/4" = 1'-0"
Drawn by: JTN
Project: 09042800
Sheet Number:

1 of 6



REAR ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. NUMBER SHOWN MAY VARY FROM ACTUAL. FINISH CONSTRUCTION, FLOOR MATERIALS, WINDOW/DOOR SIZES AND SETS, TO BE DETERMINED PER OWNER/ARCHITECT OR LOCAL CODES.



LEFT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. NUMBER SHOWN MAY VARY FROM ACTUAL. FINISH CONSTRUCTION, FLOOR MATERIALS, WINDOW/DOOR SIZES AND SETS, TO BE DETERMINED PER OWNER/ARCHITECT OR LOCAL CODES.



PROPOSED ELEVATIONS
MAC, RESIDENCE
FALMOUTH, ME

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Revisions:

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2	
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Date: 05/26/09

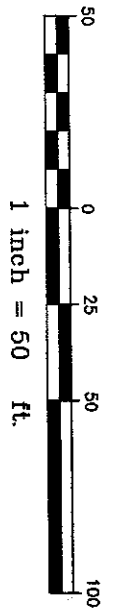
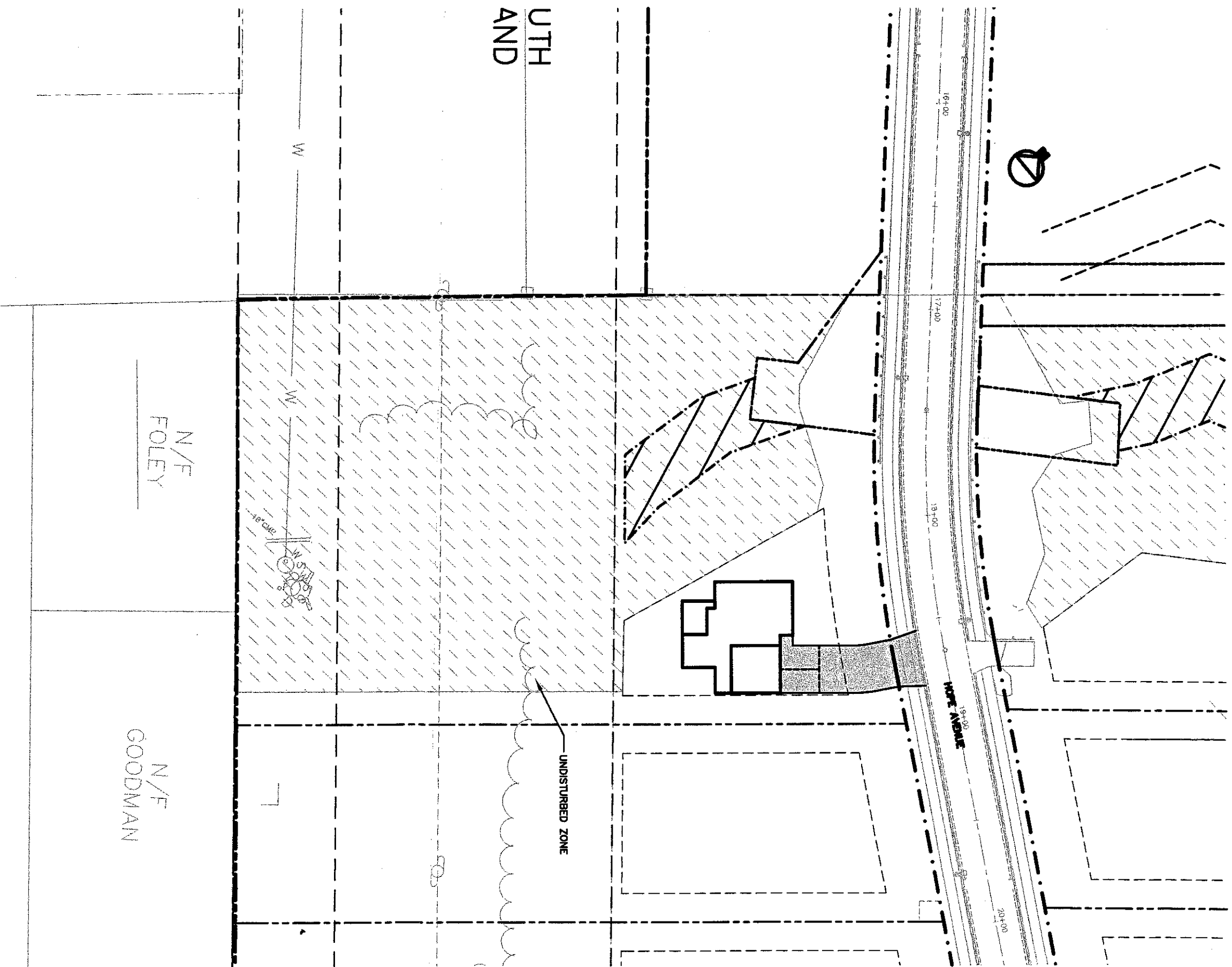
Scale: 1/4" = 1'-0"

Drawn By: JRM

Project: 07042000

Sheet Number:

2 of 6



Design: JWA	Date: 6/09
Draft: CS	Job No.: 98089 S
Checked: AMP	Scale: 1"=50'
File Name: 98089-LOT30	

GP Gorrell-Palmer Consulting Engineers, Inc.
 Engineering Excellence since 1998

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 E-Mail: info@gorrellpalmer.com

Drawing Name: **Space and Bulk Requirements**

Project: **LOT 30 - PRESUMPCOT RIVER PLACE**

Figure No. **2**

