

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1143	Issue Date:	CBL: 390 B030001
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Location of Construction: 89 HOPE AVE	Owner Name: MACK FRANCIS X & LUCY A M	Owner Address: 73 ALLISON ST	Phone:
Business Name:	Contractor Name: Tim Davis Plumbing & Heating	Contractor Address: P.O. Box 255 Lyman	Phone: 2073245237
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone:

Past Use: Single Family Home	Proposed Use: Single Family Home - install a Biasi B10-5 Boiler w/ 275 Gallon oil Tank in basement	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>HVAC</i> <i>IRC 2003</i> <i>ST OIL + Solid Fuel B</i>	

Proposed Project Description: install a Biasi B10-5 Boiler w/ 275 Gallon oil Tank in basement	Signature:	Signature: <i>Jm 10/16/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 10/14/2009	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>Jm 10/16/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Jm 10/16/09</i>
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**PERMIT ISSUED**

**OCT 16 2009**

**City of Portland**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

PERMIT ISSUED

OCT 16 2009

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 89 HOPE LANE 390 B30 Use of Building RESIDENTIAL Date 9/15/09  
 Name and address of owner of appliance MR & MRS Cyr 89 HOPE LANE  
PORTLAND ME. C  
 Installer's name and address TIM DAVIS PLUMBING & HEATING INC.  
P.O. Box 255 LYMAN ME. 04002 Telephone 207-324-5237

### Location of appliance:

- Basement
- Attic
- Floor
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: BIASI B10-5 Boiler

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # TIM DAVIS #MS 60007706
- Solid Fuel # \_\_\_\_\_
- Oil # CHRIS RYAN #MS 10007867
- Gas # TIM DAVIS # PNT 4629
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined
- Factory built \_\_\_\_\_

- Metal

Factory Built U.L. Listing # \_\_\_\_\_

- Direct Vent

Type \_\_\_\_\_

RECEIVED

OCT 14 2009

Dept. of Building Inspections  
City of Portland Maine

### Type of Fuel Tank

- Oil
- Gas

Size of Tank 275 Gallon

Number of Tanks 1

Distance from Tank to Center of Flame 40' feet.

Cost of Work: \$ 5,000.00

Permit Fee: \$ 70

### Approved

Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

### Approved with Conditions

- See attached letter or requirement

Inspector's Signature \_\_\_\_\_

Date Approved \_\_\_\_\_

Signature of Installer Tim Davis

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 20, 2009

RE: C. of O. for # 89 Hope Avenue,  
(Id#2009-0060) (CBL 390 B 030001)

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After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Tammy Munson, Inspection Services Manager  
File: Urban Insight

3245237

TRANSMISSION VERIFICATION REPORT

STATE OF MAINE

CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION DISCLOSURE

TIME : 10/01/2009 08:44

NAME : Jay Veerill  
CPBM : 207-998-4851  
TEL : 207-998-4851  
SER.# : 000073234148

Dear Consumer: State law, specifically 32 M.R.S.A. § 2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

DATE: 10/01/09  
TIME: 08:44  
DURATION: 02  
PAGE(S): 2  
RESULT: OK  
MODE: 02

INSTALLER INFORMATION

Name of Installer: Jay Veerill	D/B/A: Jay Veerill Masonry
Name of Installer (if incorporated):	D/B/A:
Legal Address: 37 Arthurs Way	
City: Poland	State: Maine
	Zip Code: 04274
County: Androscoggin	Home Telephone: (207) 998-4851
	Work Telephone: (207) 212-6488
Years of experience doing fireplace or chimney installations:	

CONSUMER INFORMATION

Name of Consumer: FRANCIS MAC		
Mailing Address: 89 Hope Ln		
City: PORTLAND	State: ME	Zip Code:
County: CUMBERLAND	Home Telephone: ( ) 318-3828	
	Work Telephone: ( )	

Installer, please give a brief description of installation being offered: Chimney - Block & Brick

I hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined in Title 32, M.R.S.A. Chapter 33 and the Oil and Solid Fuel Board Rules.

Signature of Installer: [Signature] Date: 10-5-09

### INSTALLATION STANDARDS

The 1996 Edition of NFPA #211 contains provisions for chimney, fireplaces, venting systems, and solid fuel burning appliances including their installations. The standards applies to residential as well as commercial and industrial installations.

#### PLEASE CHECK THE TYPE OF CONSTRUCTION TO BE BUILT:

**Factory-Built Chimney and Chimney Units.**

Factory-built chimney and chimney units shall be listed and installed in accordance with the temperature conditions of the listing, the manufacturer's instructions and all applicable sections of NFPA #211.

**Factory-Built Fireplaces.**

Factory-built fireplaces shall be listed and shall be installed in accordance with the terms of the listing. Hearth extensions shall be provided in accordance with the manufacturer's instructions or shall be of masonry on non combustible construction in accordance with applicable sections of NFPA #211.

**Unlisted Metal Chimney (smokestacks) for Non Residential Applications.**

Single wall metal chimneys or unlisted metal chimneys shall not be used inside or outside of one and two family dwellings. Metal chimneys shall be constructed and installed in accordance with the appropriate sections of NFPA #211

**Masonry Chimney.**

Masonry chimneys shall be constructed by appropriate sections of NFPA #211 for proper design, support, re-enforced, and installation..

**Masonry Fireplace.**

Masonry fireplaces shall comply with all requirements of NFPA #211 and all other pertinent sections.

### CONSUMER CHECKLIST

1. Has the installer provided you with a written contract? 10 M.R.S.A., Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$3,000.
2. Have you asked the local fire department or code enforcement officials to inspect the installation during and after construction?
3. Is the installer familiar with current NFPA #211 standards and does he have a copy of same?
4. Have you asked for references to be provided by the installer?

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1143	<b>Date Applied For:</b> 10/14/2009	<b>CBL:</b> 390 B030001
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<b>Location of Construction:</b> 89 HOPE AVE	<b>Owner Name:</b> MACK FRANCIS X & LUCY A M	<b>Owner Address:</b> 73 ALLISON ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Tim Davis Plumbing & Heating	<b>Contractor Address:</b> P.O. Box 255 Lyman	<b>Phone</b> (207) 324-5237
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> HVAC	

<b>Proposed Use:</b> Single Family Home - install a Biasi B10-5 Boiler w/ 275 Gallon oil Tank in basement	<b>Proposed Project Description:</b> install a Biasi B10-5 Boiler w/ 275 Gallon oil Tank in basement
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/16/2009

**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/16/2009

**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Installation shall comply with 2003 International Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules

# B10 SERIES BOILER

## B3 – B9

### Boiler Manual And Installation Instructions for Atmospheric Venting

Please Read Instructions Carefully  
Save for Future Reference

#### WARNING

If the information in this manual is not followed exactly, a fire or explosion may result causing property damage, personal injury or loss of life.

#### DANGER

##### WHAT TO DO IF YOU SMELL GAS

- Do not try to light any appliance.
- Do not touch any electric switch; do not use any phone in your building.
- Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
- If you can not reach your gas supplier call the fire department.

Installation and service must be performed by a qualified licensed installer, service agency or the gas supplier.

Manufactured by:

Biasi S.p.A.

Verona, Italy

Distributed By:

**QHT**

**QUINCY HYDRONIC TECHNOLOGY, INC.**

3560 LAFAYETTE ROAD

BUILDING 2, UNIT A

PORTSMOUTH, NH 03801

PHONE: 603-334-6400

FAX: 603-334-6401



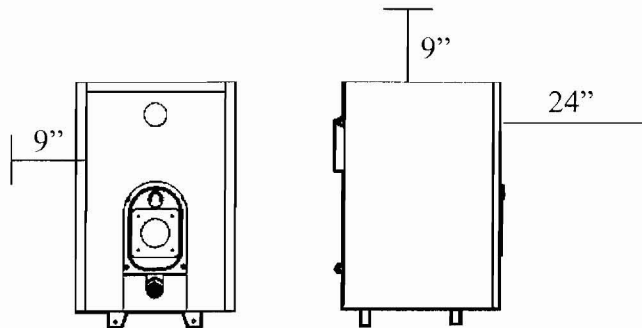
REV. H

**QHT BIASI**  
*The New Style of Warmth*

### 3. Boiler Location

The following are the minimum clearance to construction or combustible materials:

1. 9" from the top, sides, and rear of the boiler.
2. 18" from the flue pipe in any direction.
3. 24" from the front of the boiler.



### DANGER

The boiler must be located on a non-combustible floor. A smooth, level concrete floor is recommended. Locate the boiler as close as possible to the chimney. If boiler is installed on combustible flooring, consult local authorities for proper method of covering floor. The boiler must not be installed on carpeting.

**Caution: Do not store or use flammable materials, chemicals or flammable liquids, especially gasoline, in the vicinity of this heating appliance.**

If the boiler is to be installed in a "direct vent" configuration, please refer to the B10 Direct Vent Addendum supplied with the Direct Vent Kit.

PROVISIONS FOR COMBUSTION AIR AND VENTILATION AIR MUST BE IN ACCORDANCE WITH SECTION 5.3, "AIR FOR COMBUSTION AND VENTILATION", OF THE NATIONAL FUEL GAS CODE, ANSI Z223.1, OR APPLICABLE PROVISIONS OF THE LOCAL BUILDING CODES. **DO NOT INSTALL THE BOILER UNTIL PROPER COMBUSTION AIR HAS BEEN ARRANGED.**

### WARNING

Boiler is certified as an indoor appliance. Do not install boiler outdoors or locate where it will be exposed to freezing temperatures



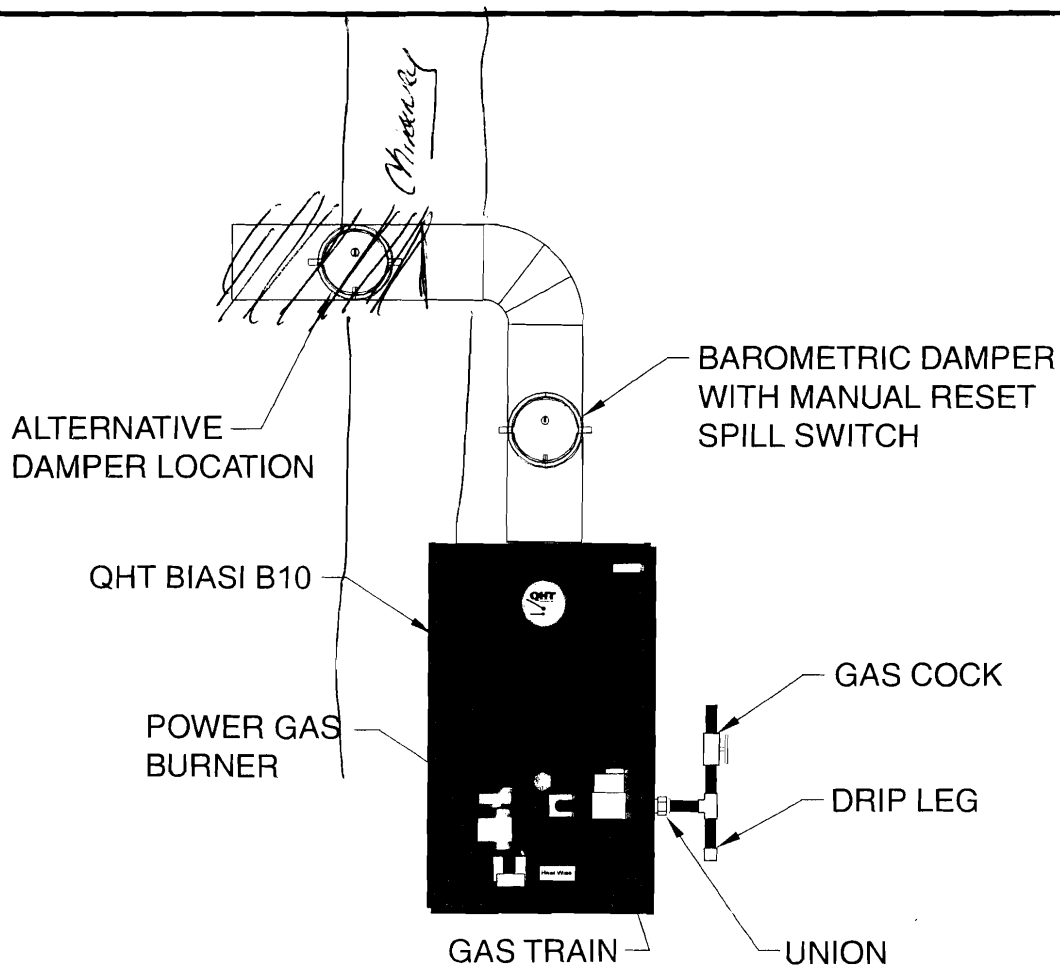
## 4. Installation of Boiler Trim Kit Components

### Trim Kit Components

- |  |  |
|--|--|
| 1 - Honeywell L4006A or 7248U aquastat             | 1 - $\frac{1}{4}$ " X $\frac{1}{2}$ " Bushing  |
| 1 - Combo pressure/temp gauge                      | 2 - $\frac{3}{4}$ " Plugs  |
| 1 - $\frac{3}{4}$ " X 3" Nipple                    | 1 - $\frac{3}{4}$ " 90° Elbow  |
| 1 - 30 PSI pressure relief valve                   | 1 - Immersion well   |
| 1 - $\frac{3}{4}$ " Boiler drain                   | 1 - Double acting barometric damper with manual reset spill switch ( <b>Gas systems only</b> ) |
| 1 - Cera-fiber Pad for floor of combustion chamber |  |

**USE ONLY THE ULC LISTED BOILER COMPONENTS AND UL/CSA LISTED OIL OR GAS BURNER COMPONENTS SUPPLIED WITH THE QHT BIASI B10 SERIES BOILER.**

Please refer to figures below for Barometric Damper location for either oil or gas



NOTE: See Page 19 for available gas burners in North America.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1036	Issue Date:	CBL: 390 B030001
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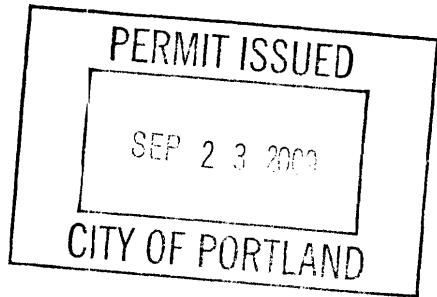
Location of Construction: 89 HOPE AVE	Owner Name: MACK FRANCIS X & LUCY A M	Owner Address: 73 ALLISON ST	Phone:
Business Name:	Contractor Name: Builders Insulation/ Builders Installe	Contractor Address: 515 Riverside Industrial Parkw Portlan	Phone 2078786600
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Install a Heat & Glo Fireplace	Permit Fee: \$40.00	Cost of Work: \$1,700.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: HVAC IRC 2103 S+ME GAS PERM Signature: Jim 9/23/09	

Proposed Project Description: Install a Heat & Glo Fireplace	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 09/18/2009	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/22/09	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Signature: <i>ok with conditions</i> Date: 9/22/09		



SCANNED

**CERTIFICATION**

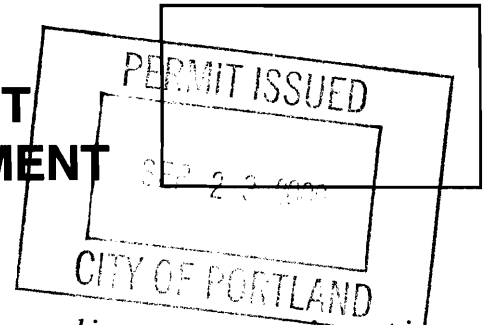
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 89 Hope Lane 390-B-30 Use of Building Home Date 9/18/09  
 Name and address of owner of appliance Custom Built Homes of Maine  
35 Main St. Windham  
 Installer's name and address Builders Installed Products  
515 Riverside Ind. Bldg. Portland Telephone 878-6600

### Location of appliance:

- Basement
- Floor
- Attic
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: FM Heat N' Glo Fireplace

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # \_\_\_\_\_
- Solid Fuel # \_\_\_\_\_
- Oil # \_\_\_\_\_
- Gas # PNT 3025
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
Factory built \_\_\_\_\_
- Metal  
Factory Built U.L. Listing # \_\_\_\_\_
- Direct Vent  
Type NZ UL# \_\_\_\_\_

### Type of Fuel Tank

- Oil
- Gas

Size of Tank N/A

Number of Tanks N/A

Distance from Tank to Center of Flame \_\_\_\_\_ feet.

Cost of Work: \$ 1700.00

Permit Fee: \$ 40.00

### Approved

### Approved with Conditions

Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

See attached letter or requirement

Inspector's Signature

Date Approved

Signature of Installer Bill Burr

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1036	<b>Date Applied For:</b> 09/18/2009	<b>CBL:</b> 390 B030001
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<b>Location of Construction:</b> 89 HOPE AVE	<b>Owner Name:</b> MACK FRANCIS X & LUCY A M	<b>Owner Address:</b> 73 ALLISON ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Builders Insulation/ Builders Installe	<b>Contractor Address:</b> 515 Riverside Industrial Parkw Portlan	<b>Phone</b> (207) 878-6600
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> HVAC	

<b>Proposed Use:</b> Single Family Home - Install a Heat & Glo Fireplace	<b>Proposed Project Description:</b> Install a Heat & Glo Fireplace
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 09/22/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 09/23/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> <li>2) The installation must comply with the State of Maine Gas Regulations.</li> </ol>			

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas H. Markley*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*9/23/09*

\_\_\_\_\_  
Date

*Mail*

Para obtener un ejemplar en Español de este Manual del propietario, visite [www.heatnglo.com](http://www.heatnglo.com).

Pour demander un exemplaire en français de ce Manuel du propriétaire, visitez [www.heatnglo.com](http://www.heatnglo.com).

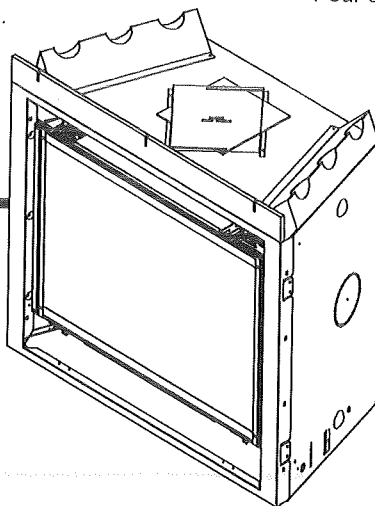
# HEAT & GLO™

No one builds a better fire

## Owner's Manual Installation and Operation

### Models:

6000G  
6000G-LP  
6000G-IP1  
6000G-IP1LP



GAS-FIRED



### NOTICE



#### DO NOT DISCARD THIS MANUAL

- Important operating and maintenance instructions included.
- Read, understand and follow these instructions for safe installation and operation.
- Leave this manual with party responsible for use and operation.

**DO NOT  
DISCARD**

**▲ WARNING: If the information in these instructions is not followed exactly, a fire or explosion may result causing property damage, personal injury, or death.**

- **DO NOT** store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.
- **What to do if you smell gas**
  - **DO NOT** try to light any appliance.
  - **DO NOT** touch any electrical switch. **DO NOT** use any phone in your building.
  - Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
  - If you cannot reach your gas supplier, call the fire department.
- Installation and service must be performed by a qualified installer, service agency, or the gas supplier.

### ▲ WARNING



#### HOT SURFACES!

Glass and other surfaces are hot during operation AND cool down.

#### Hot glass will cause burns.

- **DO NOT** touch glass until it is cooled
- **NEVER** allow children to touch glass
- Keep children away
- **CAREFULLY SUPERVISE** children in same room as fireplace.
- Alert children and adults to hazards of high temperatures.
- High temperatures may ignite clothing or other flammable materials.**
  - Keep clothing, furniture, draperies and other flammable materials away.

***This appliance has been supplied with an integral barrier to prevent direct contact with the fixed glass panel. DO NOT operate the appliance with the barrier removed.***

Contact your dealer or Hearth & Home Technologies if the barrier is not present or help is needed to properly install one.

In the Commonwealth of Massachusetts installation must be performed by a licensed plumber or gas fitter.

See Table of Contents for location of additional Commonwealth of Massachusetts requirements.

This appliance may be installed as an OEM installation in manufactured home (USA only) or mobile home and must be installed in accordance with the manufacturer's instructions and the manufactured home construction and safety standard, *Title 24 CFR, Part 3280* or *Standard for Installation in Mobile Homes, CAN/CSA Z240MH*, in Canada.

*This appliance is only for use with the type(s) of gas indicated on the rating plate.*



Installation and service of this appliance should be performed by qualified personnel. Hearth & Home Technologies suggests NFI certified or factory trained professionals, or technicians supervised by an NFI certified professional.

# 1 Listing and Code Approvals

## A. Appliance Certification

**MODELS:** 6000G, 6000G-IPI  
**LABORATORY:** Underwriters Laboratories, Inc. (UL)  
**TYPE:** Direct Vent Gas Appliance Heater  
**STANDARD:** ANSI Z21.88-2000 • CSA2.33-M98 • UL307B

This product is listed to ANSI standards for "Vented Gas Appliance Heaters" and applicable sections of "Gas Burning Heating Appliances for Manufactured Homes and Recreational Vehicles", and "Gas Fired Appliances for Use at High Altitudes".

**NOTICE:** This installation must conform with local codes. In the absence of local codes you must comply with the National Fuel Gas Code, ANSI Z223.1-latest edition in the U.S.A. and the CAN/CGA B149 Installation Codes in Canada.

**NOT INTENDED FOR USE AS A PRIMARY HEAT SOURCE.**  
 This appliance is tested and approved as either supplemental room heat or as a decorative appliance. It should not be factored as primary heat in residential heating calculations.

## B. Tempered Glass Specifications

Hearth & Home Technologies appliances manufactured with tempered glass may be installed in hazardous locations such as bathtub enclosures as defined by the Consumer Product Safety Commission (CPSC). The tempered glass has been tested and certified to the requirements of ANSI Z97.1 and CPSC 16 CFR 1202 (Safety Glazing Certification Council SGCC# 1595 and 1597. Architectural Testing, Inc. Reports 02-31919.01 and 02-31917.01).

This statement is in compliance with CPSC 16 CFR Section 1201.5 "Certification and labeling requirements" which refers to 15 U.S. Code (USC) 2063 stating "...Such certificate shall accompany the product or shall otherwise be furnished to any distributor or retailer to whom the product is delivered."

Some local building codes require the use of tempered glass with permanent marking in such locations. Glass meeting this requirement is available from the factory. Please contact your dealer or distributor to order.

## C. BTU Specifications

Models (U.S. or Canada)		Maximum Input BTU/h	Minimum Input BTU/h	Orifice Size (DMS)
6000G (NG)	US (0-2000 FT)	30,000	18,200	37
6000G-IPI (NG)	CANADA (2000-4500 FT)	27,000	16,380	38
6000G-LP	US (0-2000 FT)	30,000	18,200	52
6000GIPILP	CANADA (2000-4500 FT)	27,000	16,380	53

## D. High Altitude Installations

**NOTICE:** If the heating value of the gas has been reduced, these rules do not apply. Check with your local gas utility or authorities having jurisdiction.

When installing above 2000 feet elevation:

- In the USA: Reduce input rate 4% for each 1000 feet above 2000 feet.
- In CANADA: Reduce input rate 10% for elevations between 2000 feet and 4500 feet. Above 4500 feet, consult local gas utility.

Check with your local gas utility to determine proper orifice size.

## E. Non-Combustible Materials Specification

Material which will not ignite and burn. Such materials are those consisting entirely of steel, iron, brick, tile, concrete, slate, glass or plasters, or any combination thereof.

Materials that are reported as passing ASTM E 136, Standard Test Method for Behavior of Materials in a Vertical Tube Furnace at 750 °C and UL763 shall be considered non-combustible materials.

## F. Combustible Materials Specification

Materials made of or surfaced with wood, compressed paper, plant fibers, plastics, or other material that can ignite and burn, whether flame proofed or not, or plastered or unplastered shall be considered combustible materials.

## G. Electrical Codes

**NOTICE:** This appliance must be electrically wired and grounded in accordance with local codes or, in the absence of local codes, with National Electric Code ANSI/NFPA 70-latest edition or the Canadian Electric Code CSA C22.1.

- A 110-120 VAC circuit for this product must be protected with ground-fault circuit-interrupter protection, in compliance with the applicable electrical codes, when it is installed in locations such as in bathrooms or near sinks.

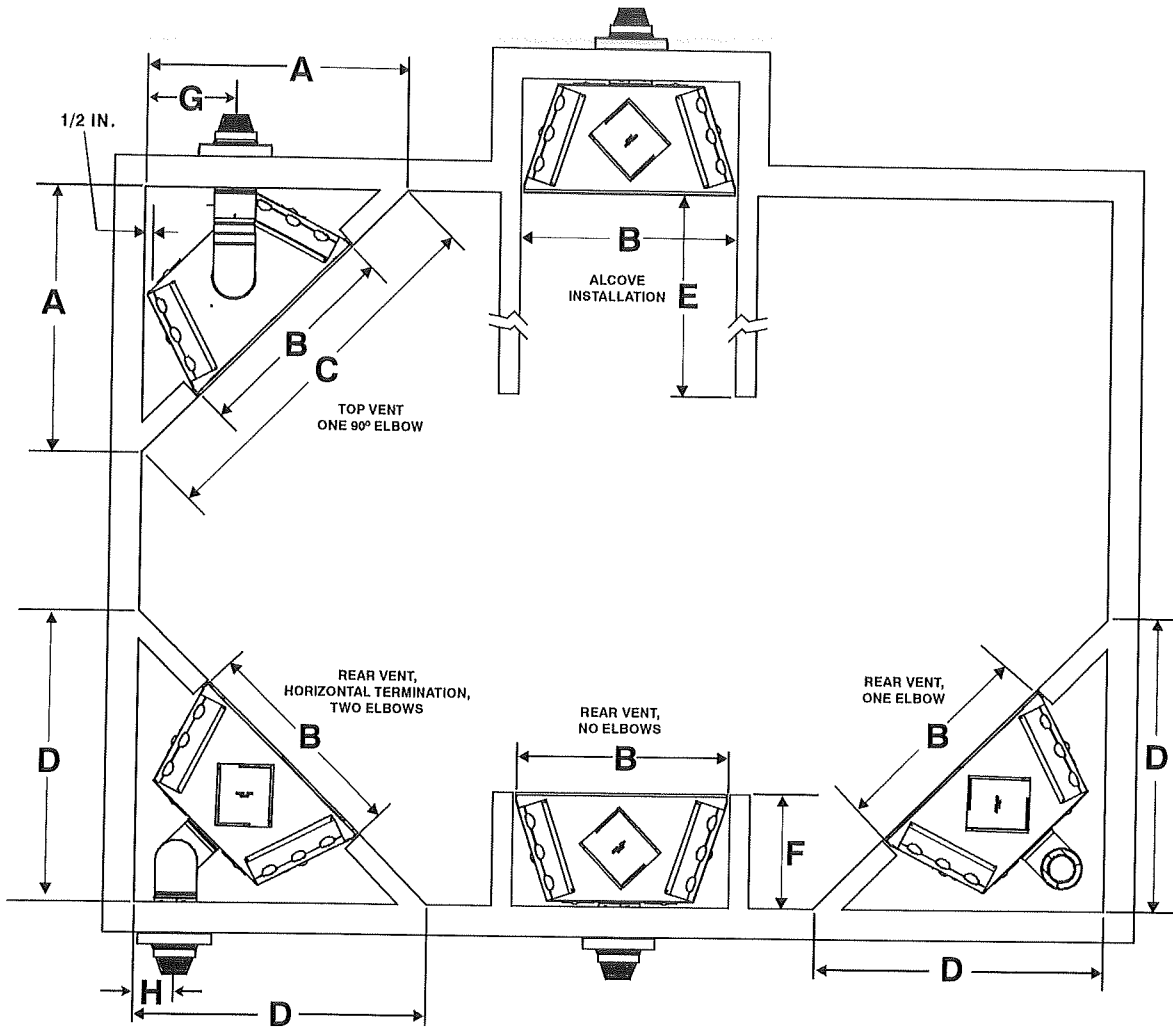
# 5 Framing and Clearances

## A. Selecting Appliance Location

When selecting a location for the appliance it is important to consider the required clearances to walls (see Figure 5.1).

**WARNING! Risk of Fire or Burns! Provide adequate clearance around air openings and for service access. Due to high temperatures, the appliance should be located out of traffic and away from furniture and draperies.**

**NOTICE:** Illustrations reflect typical installations and are FOR DESIGN PURPOSES ONLY. Illustrations/diagrams are not drawn to scale. Actual installation may vary due to individual design preference.



	A	B	C	D	E	F	G	H
Inches	51	42	72	56-5/8	See Section D. Mantel Projections	22	17-3/4	8
Millimeters	1295	1067	1829	1438		559	451	203

Figure 5.1 Appliance Locations



# 6 Termination Locations

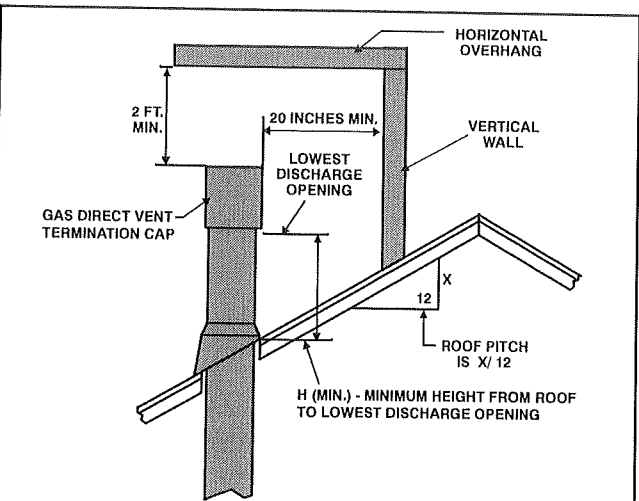
## A. Vent Termination Minimum Clearances

**WARNING**

Fire Risk.  
Maintain vent clearance to combustibles as specified.

- **DO NOT** pack air space with insulation or other materials.

Failure to keep insulation or other materials away from vent pipe may cause overheating and fire.



Roof Pitch	H (Min.) Ft.
Flat to 6/12.....	1.0*
Over 6/12 to 7/12.....	1.25*
Over 7/12 to 8/12.....	1.5*
Over 8/12 to 9/12.....	2.0*
Over 9/12 to 10/12.....	2.5
Over 10/12 to 11/12.....	3.25
Over 11/12 to 12/12.....	4.0
Over 12/12 to 14/12.....	5.0
Over 14/12 to 16/12.....	6.0
Over 16/12 to 18/12.....	7.0
Over 18/12 to 20/12.....	7.5
Over 20/12 to 21/12.....	8.0

\* 3 foot minimum in snow regions

**Figure 6.1 Minimum Height From Roof To Lowest Discharge Opening**

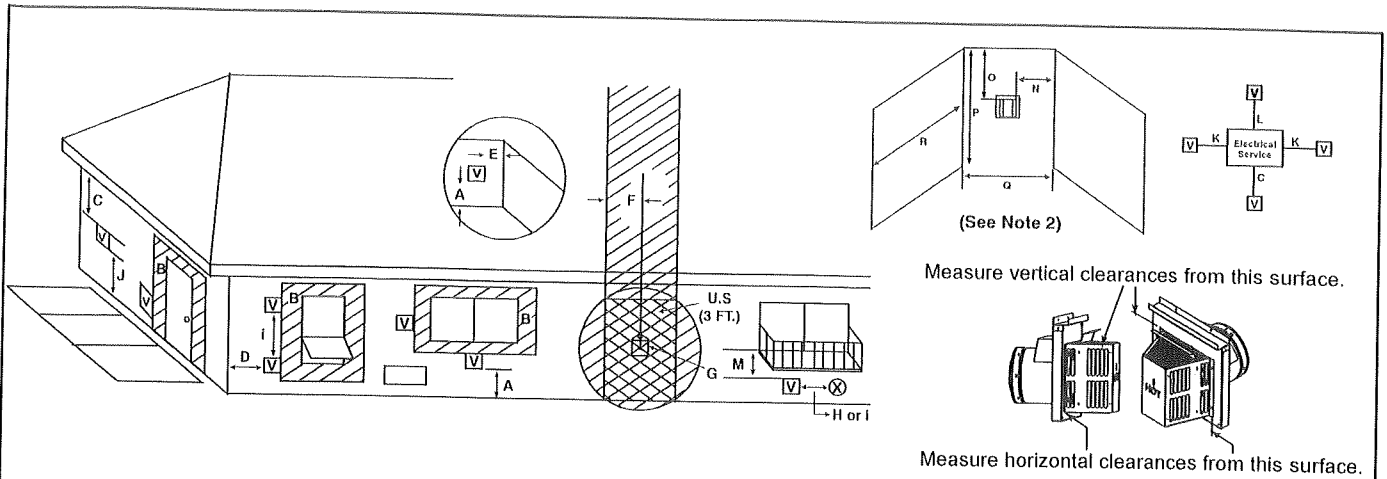
A	B
6 in. (minimum) up to 20 in. 152 mm/508 mm	18 in. minimum 457 mm
20 in. and over	0 in. minimum

\* If using decorative cap cover(s), this distance may need to be increased. Refer to the installation instructions supplied with the decorative cap cover.

\*\* In a staggered installation with both gas and wood terminations, the wood termination cap must be higher than the gas termination cap.

**Figure 6.2 Staggered Termination Caps**



**V** = VENT TERMINAL      **X** = AIR SUPPLY INLET      = AREA WHERE TERMINAL IS NOT PERMITTED

- A = 12 inches.....clearances above grade, veranda, porch, deck or balcony (See Note 1)
- B = 12 inches.....clearances to window or door that may be opened, or to permanently closed window. (Glass)
- C = 18 inches.....vertical clearance to unventilated soffit or to ventilated soffit located above the terminal  
30 inches.....for vinyl clad soffits and below electrical service
- D = 9 inches.....clearance to outside corner
- E = 6 inches.....clearance to inside corner
- F = 3 ft. (Canada).....not to be installed above a gas meter/regulator assembly within 3 feet (90 cm) horizontally from the center-line of the regulator
- G = 3 ft.....clearance to gas service regulator vent outlet
- H = 9 inches (U.S.A.)  
12 inches (Canada) clearance to non-mechanical air supply inlet to building or the combustion air inlet to any other appliance (See Note 2)
- i = 3 ft. (U.S.A.)  
6 ft. (Canada).....clearance to a mechanical (powered) air supply inlet (See Note 2)

- J\*\* = 7 ft..... clearance above paved sidewalk or a paved driveway located on **public** property (See Note 1)
- K = 6 inches.....clearance from sides of electrical service (See Note 5)
- L = 12 inches.....clearance above electrical service (See Note 5)

**Covered Alcove Applications**

- M\*\*\* = 18 inches .....clearance under veranda, porch, deck, balcony or overhang  
42 inches ..... vinyl
- N = 6 inches ..... non-vinyl sidewalls  
12 inches ..... vinyl sidewalls
- O = 18 inches ..... non-vinyl soffit and overhang  
42 inches ..... vinyl soffit and overhang
- P = 8 ft.

	Q <sub>MIN</sub>	R <sub>MAX</sub>
1 cap	3 feet	2 x Q <sub>ACTUAL</sub>
2 caps	6 feet	1 x Q <sub>ACTUAL</sub>
3 caps	9 feet	2/3 x Q <sub>ACTUAL</sub>
4 caps	12 feet	1/2 x Q <sub>ACTUAL</sub>
Q <sub>MIN</sub> = # termination caps x 3      R <sub>MAX</sub> = (2 / # termination caps) x Q <sub>ACTUAL</sub>		

\*\* a vent shall not terminate directly above a sidewalk or paved driveway which is located between two single family dwellings and serves both dwellings.

\*\*\* only permitted if veranda, porch, deck or balcony is fully open on a minimum of 2 sides beneath the floor, or meets Note 2.

**Note 1:** On private property where termination is less than 7 feet above a sidewalk, driveway, deck, porch, veranda or balcony, use of a listed cap shield is suggested. (See vents components page)

**Note 2:** Termination in a covered alcove space (spaces open only on one side and with an overhang) are permitted with the dimensions specified for vinyl or non-vinyl siding and soffits. 1. There must be 3 feet minimum between termination caps. 2. All mechanical air intakes within 10 feet of a termination cap must be a minimum of 3 feet below the termination cap. 3. All gravity air intakes within 3 feet of a termination cap must be a minimum of 1 foot below the termination cap.

**Figure 6.3 Minimum Clearances for Termination**

**Note 3:** Local codes or regulations may require different clearances.

**Note 4:** Termination caps may be hot. Consider their proximity to doors or other traffic areas.

**Note 5:** Location of the vent termination must not interfere with access to the electrical service.

**In the U.S and Canada:** Vent system termination is **NOT** permitted in screened porches.

Vent system termination is permitted in porch areas with two or more sides open. You must follow all side walls, overhang and ground clearances as stated in the instructions.

Heat & Glo assumes no responsibility for the improper performance of the appliance when the venting system does not meet these requirements.

**CAUTION: IF EXTERIOR WALLS ARE FINISHED WITH VINYL SIDING, IT IS SUGGESTED THAT A VINYL PROTECTOR KIT BE INSTALLED.**

# 8 Vent Clearances and Framing

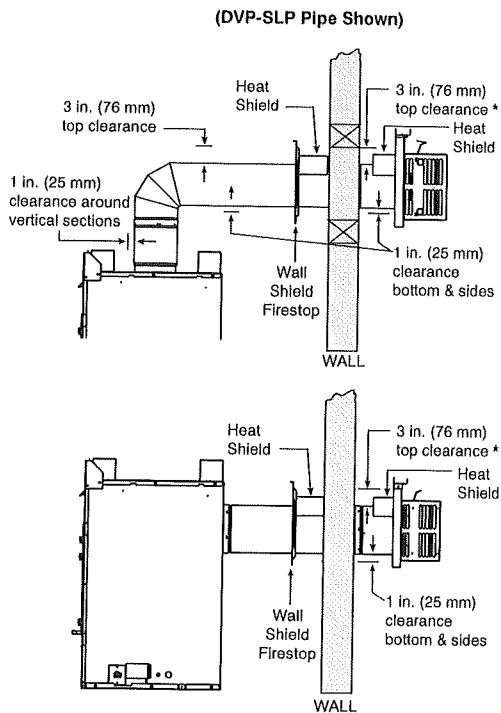
## A. Pipe Clearances to Combustibles

**WARNING! Risk of Fire! Maintain air space clearance to vent. DO NOT pack insulation or other combustibles:**

- Between ceiling firestops
- Between wall shield firestops
- Around vent system

Failure to keep insulation or other material away from vent pipe may cause over heating and fire.

Note: Heat shields MUST overlap by a minimum of 1-1/2 in. (38 mm).  
 • **DVP heat shield** - designed to be used on a wall 4 in. to 7-1/4 in. (102 mm to 184 mm) thick.  
 • If wall thickness is less than 4 in. the existing heat shields must be field trimmed. If wall thickness is greater than 7-1/4 in. a DVP-HSM-B will be required.  
 • **SLP heat shield** - designed to be used on a wall 4-3/8 in. to 7-5/8 in. (111 mm to 194 mm) thick.  
 • If wall thickness is less than 4-3/8 the existing heat shields must be field trimmed. If wall thickness is greater than 7-5/8 in. a DVP-HSM-B will be required.



\* When using SLP or SL-D pipe, minimum clearances from the vent pipe to combustible materials at inside wall firestops are:  
 Top: 2-1/2 in. (64 mm)  
 Bottom: 1/2 in. (13 mm)  
 Sides: 1 in. (25 mm)

Figure 8.1 Horizontal Venting Clearances To Combustible Materials

## B. Wall Penetration Framing

### Combustible Wall Penetration

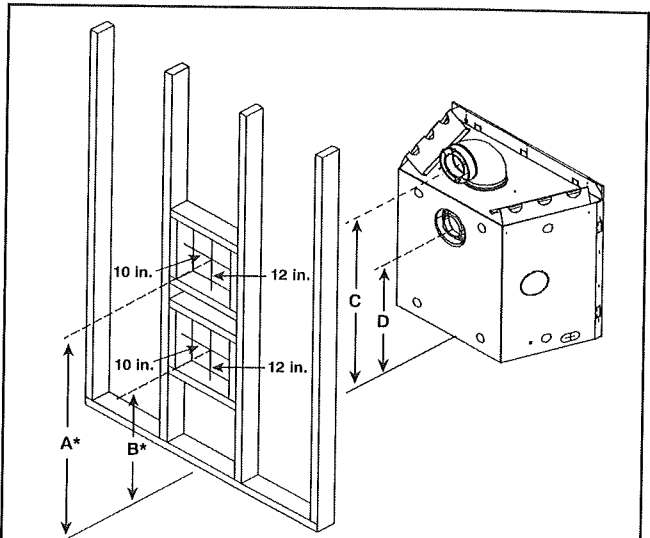
Whenever a combustible wall is penetrated, you must frame a hole for the wall shield firestop(s). The wall shield firestop maintains minimum clearances and prevents cold air infiltration.

- The opening must be framed on all four sides using the same size framing materials as those used in the wall construction.
- SLP pipe - A wall shield firestop must be placed on each side of an interior wall. A minimum 1-1/2 in. (38 mm) overlap of attached heat shields must be maintained.
- DVP pipe - A wall shield firestop is required on one side only on interior walls. If your local inspector requires a wall shield firestop on both sides, then both wall shield firestops must have a heat shield (refer to Section 16.B.) attached to them.
- See Section 10.M. for information for regarding the installation of a horizontal termination cap.

### Non-Combustible Wall Penetration

If the hole being penetrated is surrounded by noncombustible materials such as concrete, a hole with diameter one inch greater than the pipe is acceptable.

Whenever a non-combustible wall is penetrated, the wall shield firestop is only required on one side and no heat shield is necessary.



	A*	B*	C	D
Inches	42-3/4	27-7/8	41-3/4	26-7/8

\* Shows center of vent framing hole for top or rear venting. The center of the hole is one (1) in. (25.4 mm) above the center of the horizontal vent pipe.

Figure 8.2 Wall Penetration

**Note:** When terminating horizontally off the top of the unit using SLP pipe, a 10 in. x 10 in. framing hole is required.