

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ICTION

Permit Number: 090628

This is to certify that MACK FRANCIS X & LUCY MACK MACK Builder & Co
has permission to Build new Single Family Home 4 bedroom 2.5 bath w/ 2 car garage
AT 89 HOPE AVE CE 390 B030001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.	<input checked="" type="checkbox"/>
Health Dept.	<input type="checkbox"/>
Appeal Board	<input type="checkbox"/>
Other	<input type="checkbox"/>

PERMIT ISSUED
JUL 9 2009
Department Name
CITY OF PORTLAND

Thomas M. Malley 7/8/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 89 HOPE AVE CBL 390 B030001

Issued to Mack Francis X & /Custom Builder & Design Inc. Date of Issue 10/20/2009

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0628 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Home
Use Group R-3
Type 5B
IRC 2003

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

10/20/09

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

SCANNED

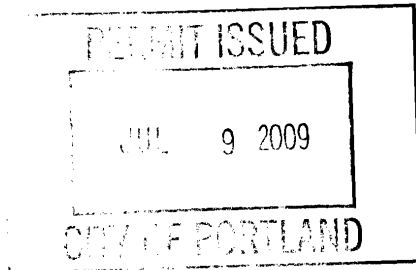
City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0628	Issue Date:	CBL: 390 B030001
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Location of Construction: 89 HOPE AVE	Owner Name: MACK FRANCIS X & LUCY A M	Owner Address: 73 ALLISON ST	Phone:
Business Name:	Contractor Name: Custom Builder & Design Inc.	Contractor Address: 6 Woodland Road Scarborough	Phone: 2078833518
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2
Past Use: Vacant Land	Proposed Use: New Single Family Home - Build new Single Family Home - 4 bedrooms, 2.5 bath w/ 2 car garage	Permit Fee: \$2,825.00	Cost of Work: \$272,000.00
Proposed Project Description: Build new Single Family Home - 4 bedrooms, 2.5 bath w/ 2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003
		Signature: <i>Jm 7/8/09</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: Ldobson	Date Applied For: 06/16/2009	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-0060</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>6/19/09</i> <i>JEM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JEM</i> Date: _____	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7-15-08 OK - Footings - will call to schedule foundation imp. JGR

07/20/09 Foundation / Backfill

At Ready @ 10506 Ret'n 2045 - All-set.

Foundation drainage system installed, tie holes plugged, damp-proofing in place. JGR.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0628	Date Applied For: 06/16/2009	CBL: 390 B030001
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Location of Construction: 89 HOPE AVE	Owner Name: MACK FRANCIS X & LUCY A M	Owner Address: 73 ALLISON ST	Phone:
Business Name:	Contractor Name: Custom Builder & Design Inc.	Contractor Address: 6 Woodland Road Scarborough	Phone: (207) 883-3518
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: New Single Family Home - Build new Single Family Home - 4 bedrooms, 2.5 bath w/ 2 car garage	Proposed Project Description: Build new Single Family Home - 4 bedrooms, 2.5 bath w/ 2 car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/19/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/08/2009

Note:**Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 07/07/2009

Note:**Ok to Issue:**

- 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A revised drainage plan shall be submitted to and approved by the Development Review Coordinator prior to pouring the foundation, showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Location of Construction: 89 HOPE AVE	Owner Name: MACK FRANCIS X & LUCY A M	Owner Address: 73 ALLISON ST	Phone:
Business Name:	Contractor Name: Custom Builder & Design Inc.	Contractor Address: 6 Woodland Road Scarborough	Phone (207) 883-3518
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

6/19/2009-amachado: Received 11" x 17" which shows the porch. Glen will bring a full size plan in on Monday. Moving permit forward in the system.

6/22/2009-amachado: Received full size siteplan that shows front porch.

6/18/2009-amachado: Left vcm for Glen Gervais, contractor. Need front porch on the site plan. Need 11" x 17" or PDF of the whole site plan. Got PDF.

7/8/2009-tm: given plans by Tammy M. And asked to fast track. Spoke to Glen of Custom Homes who said to ignore the plans for daylight basement and new plans will be forthcoming. Zoning and Building reviews are completed and awaiting DRC approval before issuance. Permit is in Tom's hold basket.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

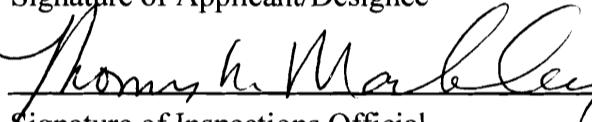
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

Date



Signature of Inspections Official

 7/9/09
Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot # 30 Presumpscot River Pl. 89 Hope Ave</u>		
Total Square Footage of Proposed Structure/Area <u>3192</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>390</u> Block# <u>B</u> Lot# <u>30</u>	Applicant <u>"must be owner, Lessee or Buyer"</u> Name: <u>Francis + Lucy Mack</u> Address: <u>366 Pine Point Rd</u> City, State & Zip: <u>Scarborough ME 04074</u>	Telephone: <u>318-3228</u>
Lessee/DBA (If Applicable) <u>/</u>	Owner (if different from Applicant) Name Address City, State & Zip <u>/</u>	Cost Of Work: \$ <u>30.00</u> 2800.00 C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>3125.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Vacant Lot</u> Proposed Specific use: <u>Single Family Home</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Presumpscot River Place</u> Project description: <u>Lot #30</u>		
Contractor's name: <u>Custom Built Homes of Maine</u> Address: <u>35 Main Street</u> City, State & Zip: <u>Windham Maine 04062</u> Telephone: <u>892-3149</u> Who should we contact when the permit is ready: <u>Glen Gervais</u> Telephone: <u>650-6989</u> Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Glen Gervais Date: June 5, 09

This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: Francis & Lucy Mack

Date: 6/18/09

Address: 89 Hope Ave. (Lot #30)

C-B-L: 390-B-030

permit # 09-0625

* revised site plan
6/22/09
added porch

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build 2 story single family w/ 2 car garage

Savage Disposal - City

Lot Street Frontage - 50' min - 209' scaled

Front Yard - 25' min - 43.5' scaled to house - 37.5' scaled to porch

Rear Yard - 25' min - 215' scaled

Side Yard - 1 1/2 story - 12' min left side - 15' scaled
2 story - 14' min right side - 13.9' scaled

Projections -

Width of Lot - 80' min - 200' scaled

Height - 35' max - 28.25' scaled @ lowest grade

Lot Area - 10,000 sq ft min - 65,532 sq ft

Lot Coverage Impervious Surface - 29% = 13,156 sq ft

Area per Family - 10,000 sq ft min

Off-street Parking - 2 spaces reserved - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor 2009-0060

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 2 - 2009

54 x 32 = 1728
6 x 26 = 156
16 x 16 = 256
16 x 16 = 256
5 x 15.5 = 77.5
5 x 10 = 50
or 2523.5

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2009-0060
Application I. D. Number

Mack Francis X &
Applicant
73 Allison St , Portland , ME 04103
Applicant's Mailing Address

Marge Schmuckal

6/16/2009
Application Date

Glen Gervais
Consultant/Agent
Agent Ph: (207)650-6989 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

89 - 89 Hope Ave , Portland, Maine
Address of Proposed Site
390 B030001
Assessor's Reference: Chart-Block-Lot

Single Family Home
Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt **0** Condo **0** Other (specify) _____
0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---	-----------------	---	--------

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **6/16/2009**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

89 Hope Ave

09-0628

390-B-030001

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8x7-10 concrete walls frost w/ typ concrete footing per conditions for size	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4' perimeter drain w/ stone fabric	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA			
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 anchor bolts 6" OC per IRC	OK		
Lally Column Type (Section R407)	typical 3 1/2" lally col. on 2" base	OK		
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	3 (2x12)	OK		
Sill/Band Joist Type & Dimensions	2x6 pl			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	12:9 pitch	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10 Rafters 16" c 1ce/water Sheed 7/16 OSB	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	7/16 OSB - type W 3/4 Advantec (Plms)	OK
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
Private Garage (Section R309) Living Space? (Above or beside)	YES	
Fire separation (Section R309.2)	1 m wall / ceilings (over top)	OK
Opening Protection (Section R309.1)	Fire sealed all penetrations	
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	30yr Arch shingles .15 F/H paper 7/16 OSB	
Safety Glazing (Section R308)	NA	OK
Attic Access (Section R807)	NA	OK
Chimney Clearances/Fire Blocking (Chap. 10)	NA	OK
Header Schedule (Section 502.5(1) & (2))	per IRC 2003	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19 walls R36 ceilings U Factors 131 Rv 131 (see chart for all)	OK

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	2	OK
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	7 9/16 risers 70" net tread	
Width (Section R311.5.1)	3 FT min	
Headroom (Section R311.5.2)	6' 8" min	OK
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	Handrail 36-38 Guards 36 min	OK
Smoke Detectors (Section R313) Location and type/Interconnected	each Bedroom - hardwired interconnected and on each level common area	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	Fire caulk all penetrations	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	0	OK
Deck Construction (Section R502.2.1)	4 FT Sino tube 2x10 JOISTS 16" OC 4x4 POSIS Nail 36-38 - Bully 2x4	OK

SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	12 FT.
1 1/2 STORY	12 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	80 FT.

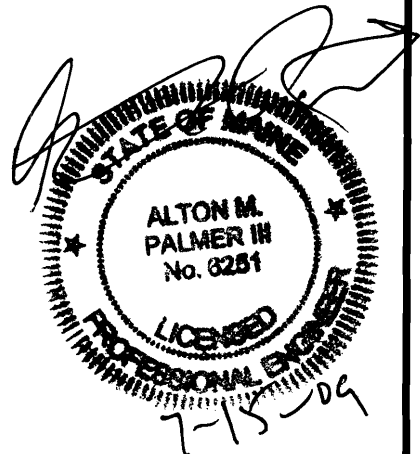
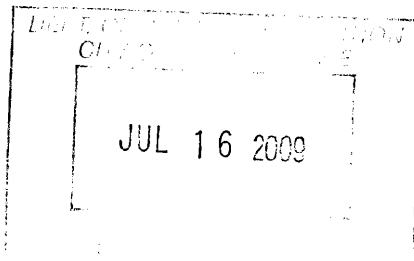
* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C851, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. THE OWNERS OF LOT 30 SHALL RETAIN EITHER A LICENSED CIVIL ENGINEER OR LANDSCAPE ARCHITECT TO ASSIST IN DESIGN OF THE IMPROVEMENTS ON THEIR LOT. THE OWNERS OF THIS LOT SHALL ALSO RETAIN THAT "PROFESSIONAL" TO PROVIDE CONSTRUCTION PHASE SERVICES INCLUDING, BUT NOT LIMITED TO, PERIODIC SITE INSPECTION FOR ADHERENCE TO ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES AND TO ADDRESS ANY CHANGES IN FIELD CONDITIONS WHICH REQUIRE MODIFICATION TO THE DESIGN OF THE LOT IMPROVEMENTS. AT A MINIMUM, THE FOLLOWING SITE INSPECTION MUST BE CONDUCTED:
 - SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
 - UPON COMPLETION OF CLEARING AND GRUBBING.
 - UPON COMPLETION OF ROUGH GRADING
 - UPON COMPLETION OF FOUNDATION
 - UPON COMPLETION OF FINAL GRADING
 - UPON COMPLETION OF SURFACE RESTORATION
 - PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. THIS NOTE SHALL APPEAR IN ALL PROPERTY DEEDS. DEVELOPMENT OF ALL LOTS SHALL HAVE EROSION CONTROL MEASURES AS DEPICTED IN SITE LOCATION OF DEVELOPMENT ACT PERMIT APPLICATION.
9. NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE. STORM DAMAGED TREES MAY BE REMOVED ONLY IF THEY REPRESENT A POTENTIAL HAZARD TO PROPERTY OR RESIDENCE. NO CONCENTRATED RUNOFF SHALL BE DIRECTED TO THIS AREA. THIS NOTE SHALL APPEAR ON THE PROPERTY DEED OF ALL LOTS WITH UNDISTURBED ZONES.



1	7/15/09	RAISED FFE AS DIRECTED BY CBHM
REV	DATE	REVISION

Design: JWA	Date: 6/09
Draft: CG	Job No.: 98089.6
Checked: AMP	Scale: 1"=20'
File Name: 98089-L0730	

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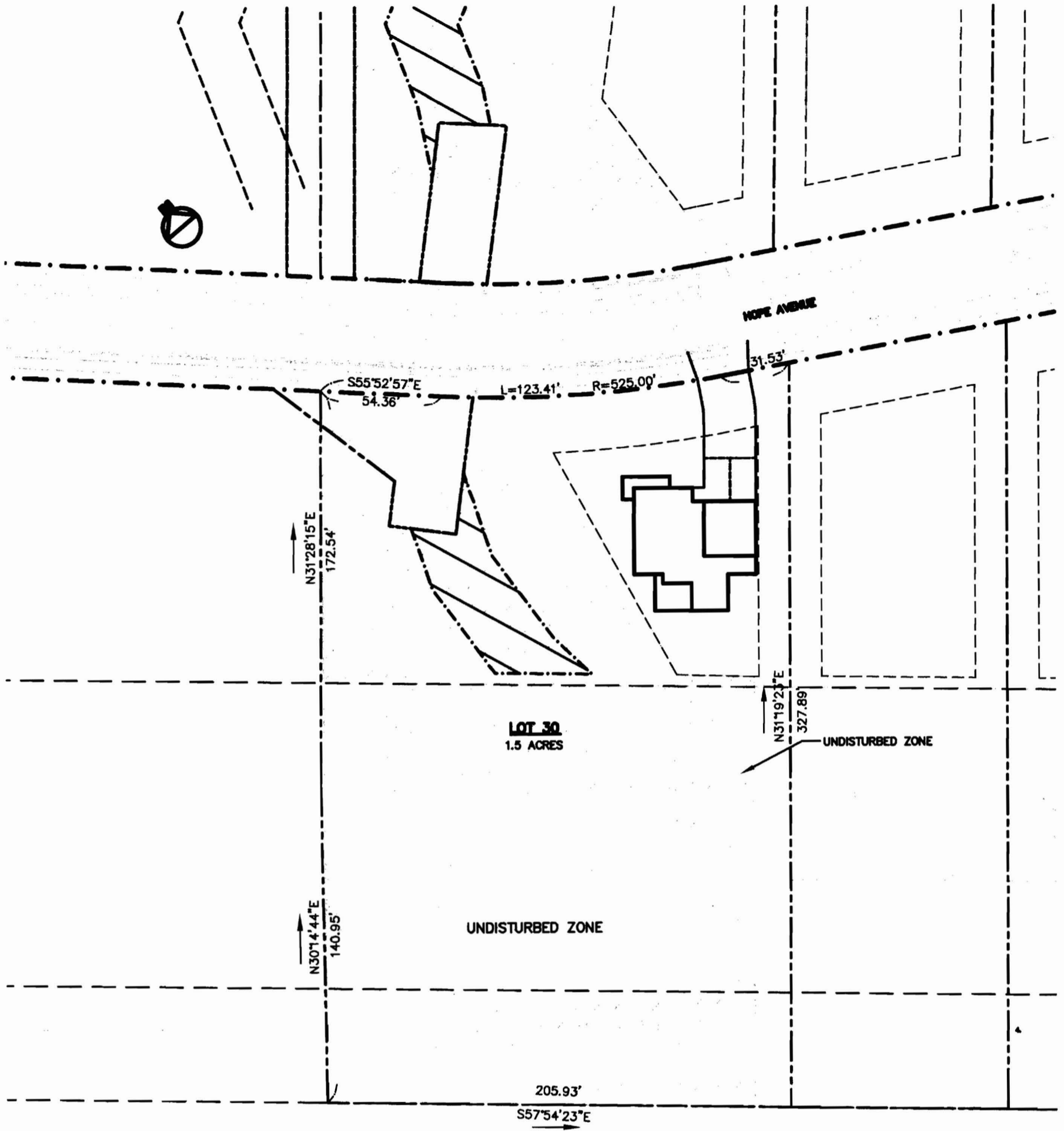
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16 Shaker Road
Oray, ME 04039

207-857-8810
FAX: 207-857-8812
E-mail: mail@gorrillpalmer.com

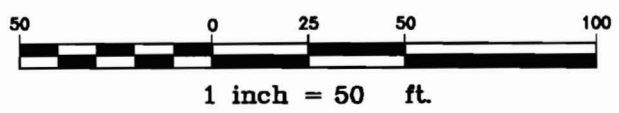
Drawing Name:	Space and Bulk Requirements
Project:	LOT 30 – PRESUMPCOT RIVER PLACE

Figure No.	1
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JUL 16 2009

[Handwritten Signature]
 STATE OF MAINE
 ALTON M. PALMER III
 No. 6251
 LICENSED PROFESSIONAL ENGINEER
 7-15-09



1	7/15/09	RAISED FFE AS DIRECTED BY CBI-M
REV	DATE	REVISION

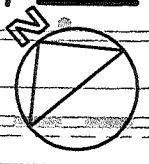
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 Gray, ME 04839
 207-957-9910
 FAX 207-957-9912
 E-Mail: mlp@gppe.com

Drawing Name:	Overall Site Plan
Project:	LOT 30 - PRESUMPCOT RIVER PLACE

Figure No.
2



HOPE AVENUE

18+00
8" W

19+00

MATCH EXISTING DRIVEWAY OPENING

TEST PIT TO VERIFY INVERT PRIOR TO ANY EXCAVATION ON SITE

2 RED MAPLES
2 1/2" CAL
OR EQUIVALENT,
OR MAINTAIN 2
EXISTING TREES

6" SAN
L=40'
S=0.0104 MIN.

25' FRONT
SETBACK

DOUBLE CLEANOUT

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.

2-9x19 PARKING SPACES

4.3'

23'

UGE

REFER TO BUILDING PLANS FOR DIMENSIONS

1" DOMESTIC WATER

INV. 79.33

GARAGE
FFE 88.00

2-STORY, SINGLE
FAMILY RESIDENCE
FFE 89.33

15'

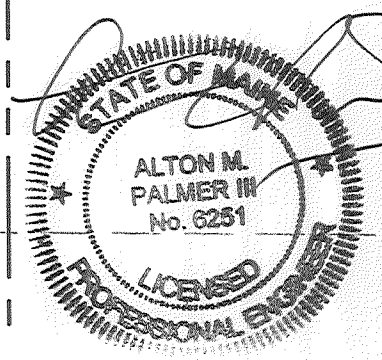
LOT 30
1.5 ACRES

DECK

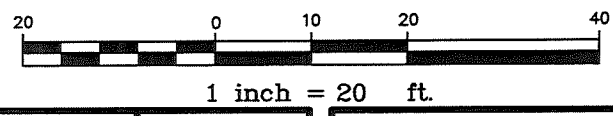
UNDISTURBED ZONE

14' SIDE
SETBACK

LOT 30
1.5 ACRES



6-15-09



1 inch = 20 ft.

Design:	JWA	Date:	6/09
Draft:	CG	Job No.:	98089.6
Checked:	AMP	Scale:	1"=20'
File Name: 98089-LOT30			

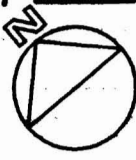
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 15 Shaker Road
 Gray, ME 04039

207-657-5910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrilpalmer.com

Drawing Name:	Site Plan
Project:	LOT 30 - PRESUMPCOT RIVER PLACE

Figure No.
3



HOPE AVENUE

MATCH EXISTING DRIVEWAY OPENING

TEST PIT TO VERIFY INVERT PRIOR TO ANY EXCAVATION ON SITE

2 RED MAPLES
2 1/2" CAL.
OR EQUIVALENT,
OR MAINTAIN 2
EXISTING TREES

6" SAN
L=40'
S=0.0104 MIN.

DOUBLE CLEANOUT

NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.

2. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.

2-9x19 PARKING SPACES

PORCH

REFER TO BUILDING PLANS FOR DIMENSIONS

1" DOMESTIC WATER

INV. 83.50

GARAGE
FFE 92.17

2-STORY, SINGLE FAMILY RESIDENCE
FFE 93.50

15'

LOT 30
1.5 ACRES

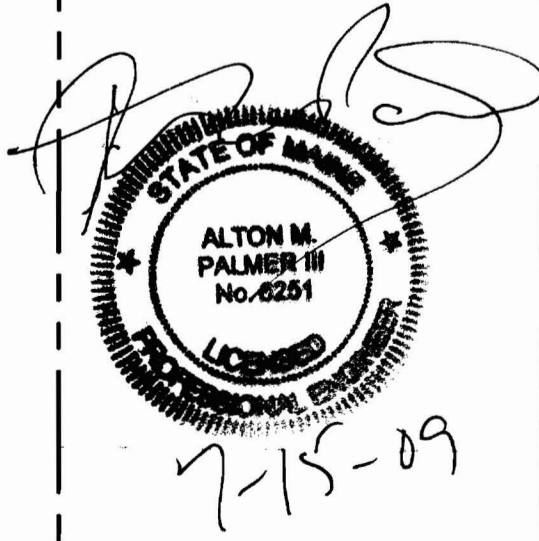
DECK

UNDISTURBED ZONE

14' SIDE
SETBACK

LOT 30
1.5 ACRES

JUL 16 2009



1 inch = 20 ft.

1	7/15/09	RAISED FFE AS DIRECTED BY CBHM
REV	DATE	REVISION

Design: JWA	Date: 6/09
Draft: CG	Job No.: 98089.6
Checked: AMP	Scale: 1"=20'
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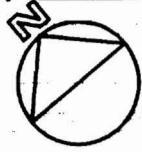
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 207-807-8810
 FAX: 207-807-8812
 E-Mail: mail@gorrillpalmer.com

Drawing Name: **Site Plan**

Project: **LOT 30 - PRESUMPCOT RIVER PLACE**

Figure No. **3**



HOPE AVENUE

TEST PIT TO VERIFY
INVERT PRIOR TO ANY
EXCAVATION ON SITE

6" FDN. DRAIN
L=64'
S=0.0104 MIN.

SILT FENCE (TYP.)

NOTES:

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM AND SEED.
2. COMMON BORROW SHALL MEET MDT SPECIFICATION 703.18.

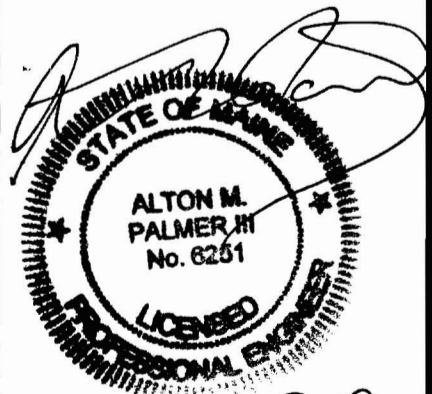
TENAX MULTIMAT
FABRIC ON SLOPES
EQUAL TO OR
STEEPER THAN 8%
FOR OCTOBER 1st
THROUGH APRIL
15th AND EQUAL TO
OR STEEPER THAN
15% FOR APRIL 15th
THROUGH OCTOBER
1st (TYP)

SWALE TO RECEIVE
RUNOFF FROM
ABUTTING YARDS

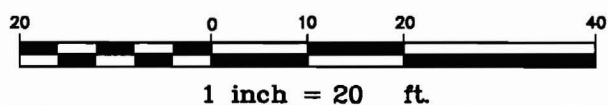
LOT 30
1.5 ACRES

LOT 30
1.5 ACRES

JUL 16 2009



7-15-09



1 inch = 20 ft.

1	7/15/09	RAISED FFE AS DIRECTED BY CEM
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Draft: CG	Job No.: 98089.6
Checked: AMP	Scale: 1"=20'
File Name: 98089-L0T30	

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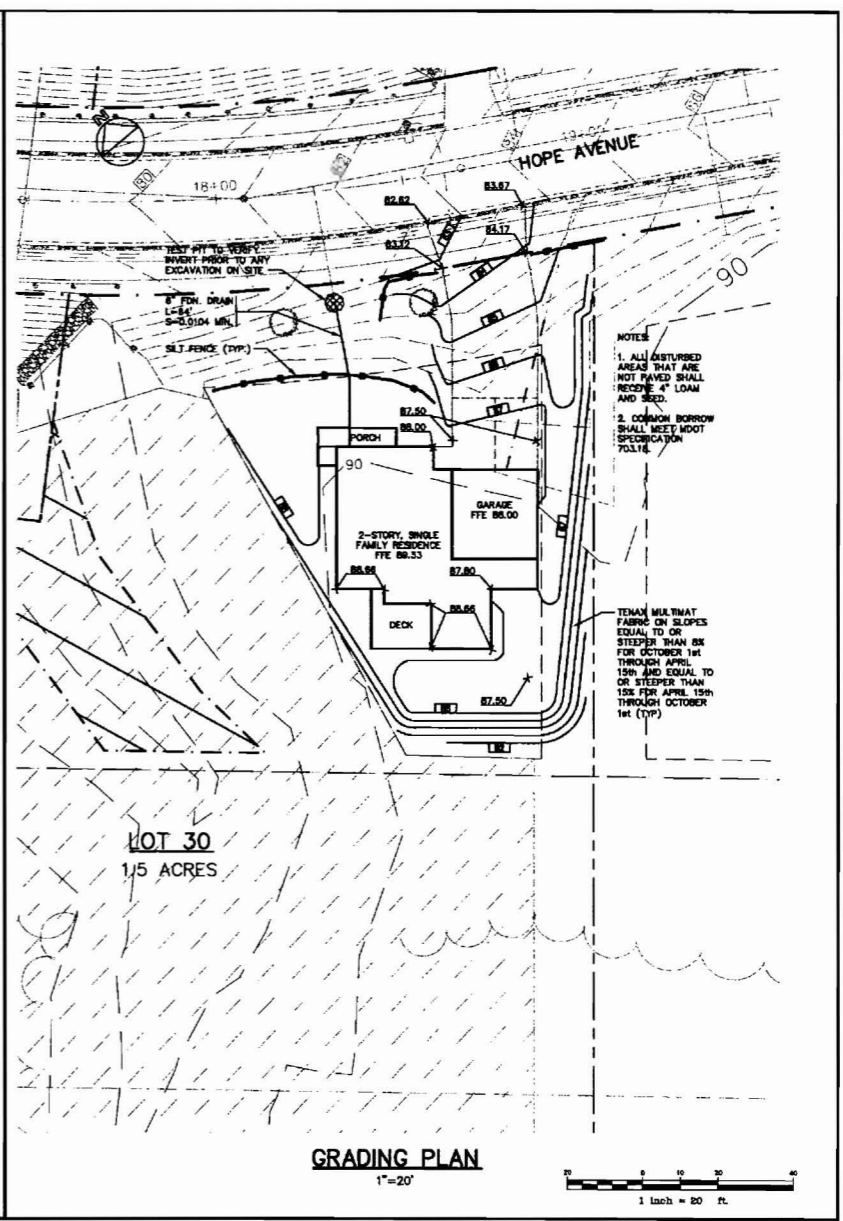
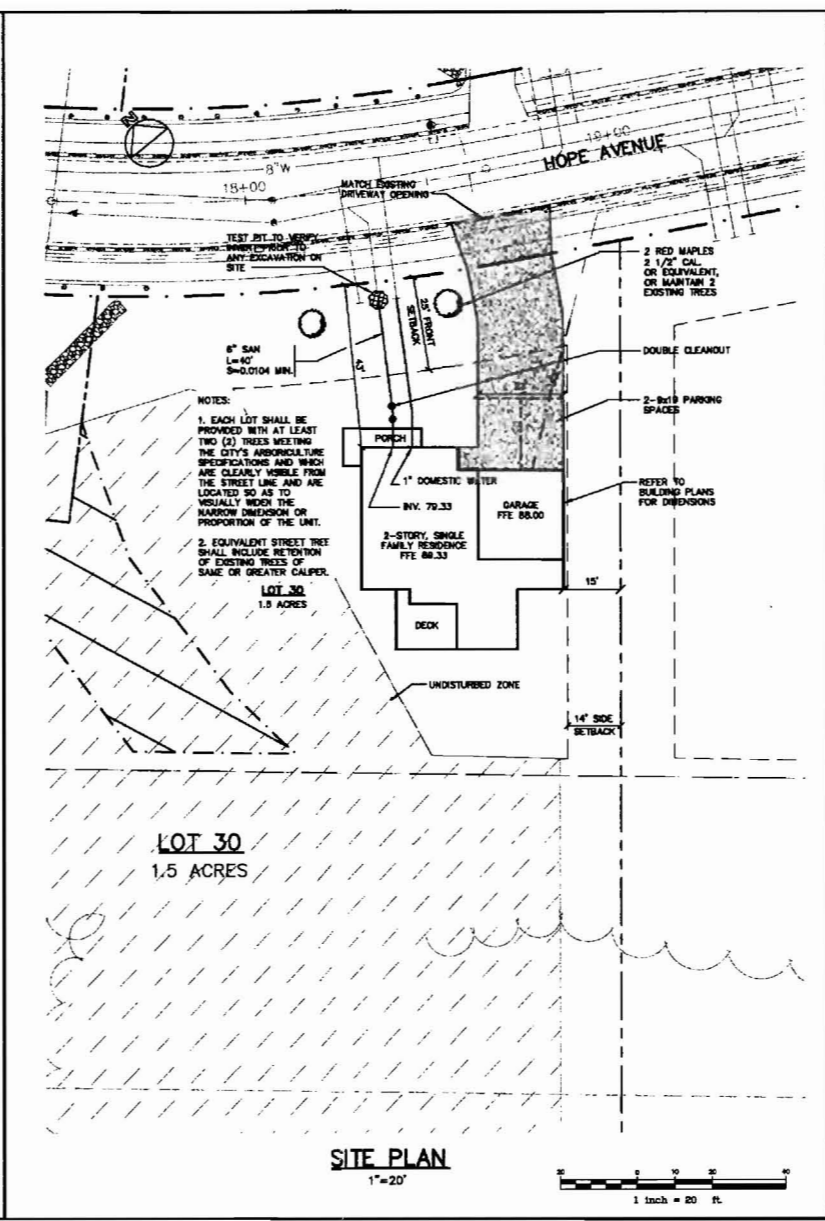
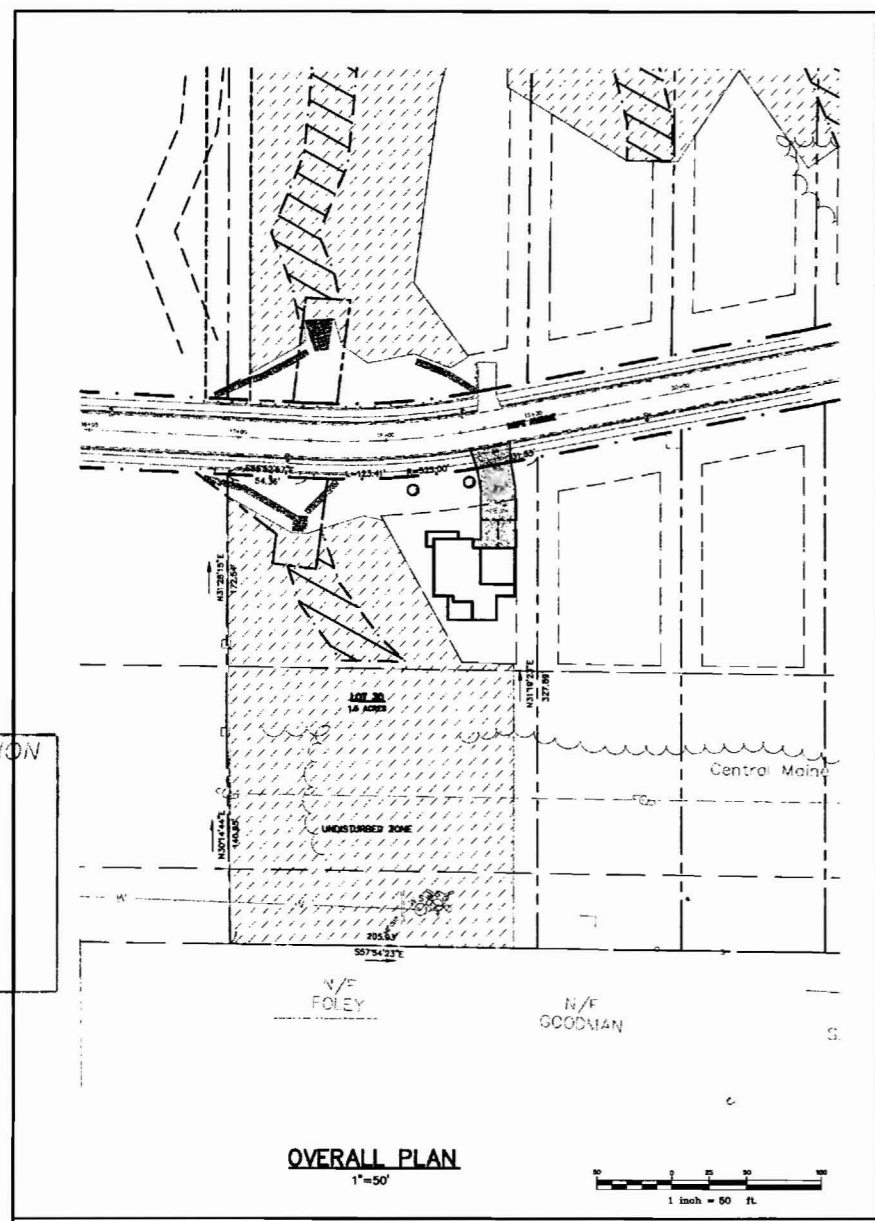
PO Box 1237
 18 Shelton Road
 Gray, ME 04039
 207-607-8910
 FAX: 207-607-8912
 E-Mail: mlp@gorrillpalmer.com

Drawing Name: **Grading Plan**

Project: **LOT 30 - PRESUMPCOT RIVER PLACE**

Figure No.
4

EPT. OF PUBLIC INSPECTION
CITY OF PORTLAND, ME
JUN 19 2009



SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM FRONTAGE:	80 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD	
1 STORY	12 FT.
1 1/2 STORY	15 FT.
2 STORY	18 FT.
2 1/2 STORY	18 FT.
MINIMUM LOT WIDTH:	80 FT.
OTHER USES:	

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN THREE (3) FEET IN WIDTH.

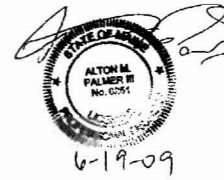
THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOM ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISPOSITION OF WASTE LINES SHALL CONFORM TO AWWA STANDARD 0801, LATEST EDITION.
5. ALL OTHER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO AASHTO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

GENERAL NOTES (CONT.)

8. THE OWNERS OF LOT 30 SHALL RETAIN EITHER A LICENSED CIVIL ENGINEER OR LANDSCAPE ARCHITECT TO ASSIST IN DESIGN OF THE IMPROVEMENTS ON THEIR LOT. THE OWNERS OF THIS LOT SHALL ALSO RETAIN THAT "PROFESSIONAL" TO PROVIDE CONSTRUCTION PHASE SERVICES INCLUDING, BUT NOT LIMITED TO, PROVIDING SITE INSPECTION FOR ADHERENCE TO ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES AND TO ADDRESS ANY CHANGES IN FIELD CONDITIONS WHICH REQUIRE MODIFICATION TO THE DESIGN OF THE LOT IMPROVEMENTS. AT A MINIMUM, THE FOLLOWING SITE INSPECTION MUST BE CONDUCTED:
 - PRIOR TO STARTING OF SHIELD AND DRAINAGE, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
 - UPON COMPLETION OF CLEARING AND DRAINAGE.
 - UPON COMPLETION OF ROUGH GRADING.
 - UPON COMPLETION OF FINISH GRADING.
 - UPON COMPLETION OF PAVEMENTATION.
 - UPON COMPLETION OF FINAL GRADING.
 - UPON COMPLETION OF SURFACE RESTORATION.
9. PRIOR TO REMOVAL OF EROSION CONTROL MEASURES THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. THIS NOTE SHALL APPEAR IN ALL PROPERTY DEEDS. DEVELOPMENT OF ALL LOTS SHALL HAVE EROSION CONTROL MEASURES AS INDICATED IN SITE LOCATION OF DEVELOPMENT ACT PERMIT APPLICATION.
10. NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR BROAD COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE. SEVERELY DAMAGED TREES MAY BE REMOVED ONLY IF THEY REPRESENT A POTENTIAL HAZARD TO PROPERTY OR RESIDENCE. NO CONCENTRATED RUNOFF SHALL BE DIRECTED TO THIS AREA. THIS NOTE SHALL APPEAR ON THE PROPERTY DEED OF ALL LOTS WITH UNDISTURBED ZONES.



Rev.	Date	Revision	Issued For	Date	By

Design: JMA Draft: CS Date: 6/09
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 Gray, ME 04039 E-Mail: mailbox@gorripalmer.com

Drawing Name: **Overall, Site, and Grading Plans**
 Project: **Lot 30 - Presumpscot River Place**
 Portland, Maine
 Client: _____

Drawing No. **1**

S:\land Projects\99095-1\99095-1.dwg 6/19/2009 8:18 AM



FRONT ELEVATION
W-10

CONSTRUCTION NOTES:
 1. REFER TO SHEET W-11 FOR ALL WINDOWS IN THIS
 ELEVATION. 2. REFER TO SHEET W-12 FOR ALL DOORS IN THIS
 ELEVATION. 3. REFER TO SHEET W-13 FOR ALL PORCHES IN THIS
 ELEVATION. 4. REFER TO SHEET W-14 FOR ALL GARAGES IN THIS
 ELEVATION. 5. REFER TO SHEET W-15 FOR ALL ROOFS IN THIS
 ELEVATION. 6. REFER TO SHEET W-16 FOR ALL SITES IN THIS
 ELEVATION. 7. REFER TO SHEET W-17 FOR ALL UTILITIES IN THIS
 ELEVATION. 8. REFER TO SHEET W-18 FOR ALL FINISHES IN THIS
 ELEVATION. 9. REFER TO SHEET W-19 FOR ALL MATERIALS IN THIS
 ELEVATION. 10. REFER TO SHEET W-20 FOR ALL NOTES IN THIS
 ELEVATION.



RIGHT ELEVATION
W-11

CONSTRUCTION NOTES:
 1. REFER TO SHEET W-10 FOR ALL WINDOWS IN THIS
 ELEVATION. 2. REFER TO SHEET W-11 FOR ALL DOORS IN THIS
 ELEVATION. 3. REFER TO SHEET W-12 FOR ALL PORCHES IN THIS
 ELEVATION. 4. REFER TO SHEET W-13 FOR ALL GARAGES IN THIS
 ELEVATION. 5. REFER TO SHEET W-14 FOR ALL ROOFS IN THIS
 ELEVATION. 6. REFER TO SHEET W-15 FOR ALL SITES IN THIS
 ELEVATION. 7. REFER TO SHEET W-16 FOR ALL UTILITIES IN THIS
 ELEVATION. 8. REFER TO SHEET W-17 FOR ALL FINISHES IN THIS
 ELEVATION. 9. REFER TO SHEET W-18 FOR ALL MATERIALS IN THIS
 ELEVATION. 10. REFER TO SHEET W-19 FOR ALL NOTES IN THIS
 ELEVATION.

no day light basement
 per conversation w/ Glen Gervais
 7/16/09



89 Hoax Ave

PROPOSED ELEVATIONS
 MAC, RESIDENCE
 FALMOUTH, ME

REVISIONS:

NO.	DATE	DESCRIPTION

Date: 05/26/09
 Scale: 1/8"=1'-0"
 Drawn By: JTB
 Project: 090200
 Sheet Number:
 1 of 5



REAR ELEVATION
1/4" = 1'-0"

no daylight
basement per conversation
w/ Gen Lewis 7/16/09

CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD
BEFORE CONSTRUCTION. OWNER SHALL OBTAIN NECESSARY PERMITS
CONSTRUCTION, SOIL REMEDIATION, UNDERGROUND UTILITIES AND SEWER, TO
BE DETERMINED BY OWNER/ENGINEER, OR LOCAL AGENCIES.



LEFT ELEVATION
1/4" = 1'-0"

CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD
BEFORE CONSTRUCTION. OWNER SHALL OBTAIN NECESSARY PERMITS
CONSTRUCTION, SOIL REMEDIATION, UNDERGROUND UTILITIES AND SEWER, TO
BE DETERMINED BY OWNER/ENGINEER, OR LOCAL AGENCIES.



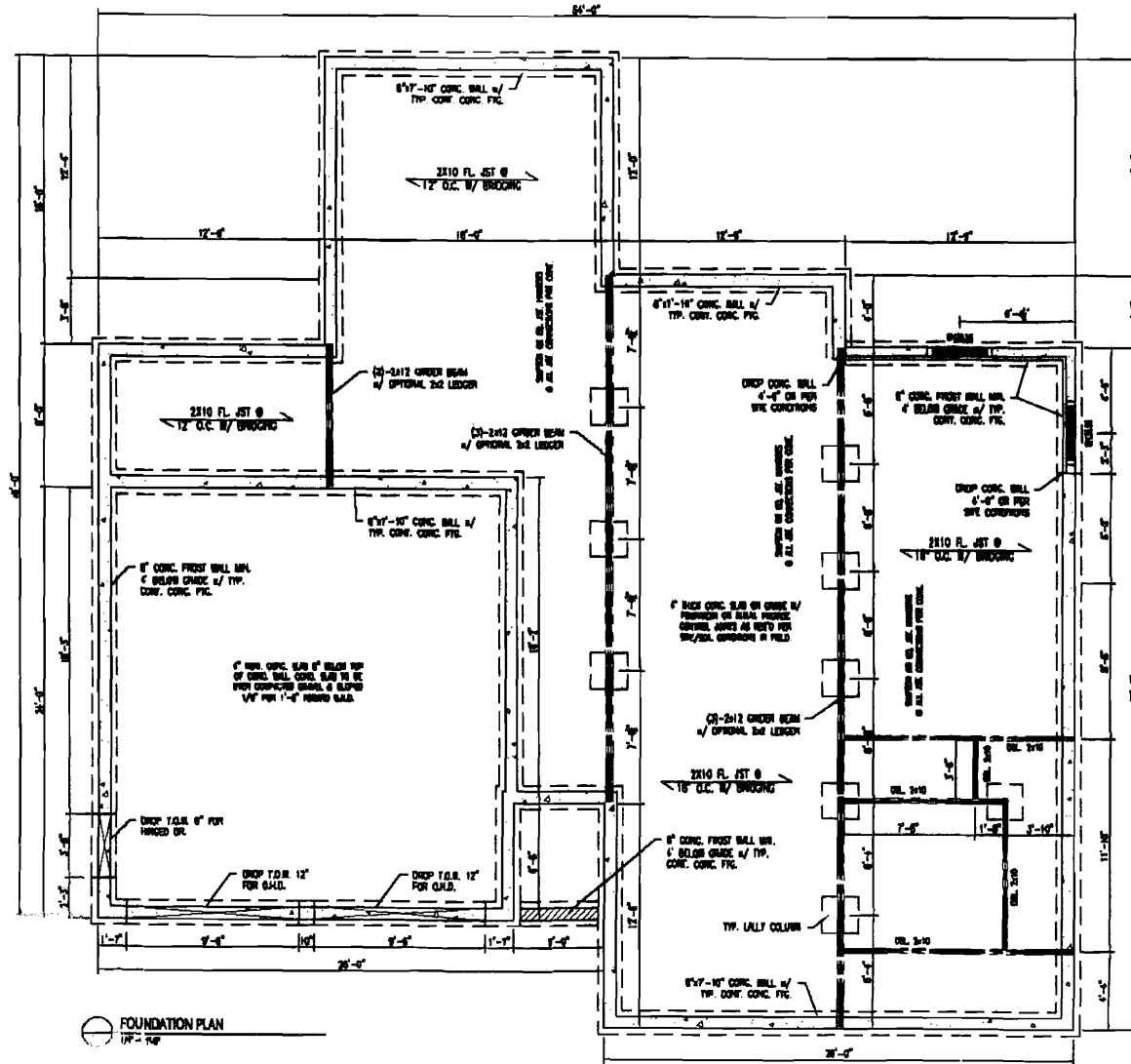
85 Hope Ave.

PROPOSED ELEVATIONS
MAC, RESIDENCE
FALMOUTH, ME
Portland



PDF created with pdfFactory trial version

Revisions:
Date: 05/28/09
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Project: CH04200
Sheet Number:
2 of 6



FOUNDATION PLAN
1/4\"/>

- ALL WALLS SHALL BE INTERCONNECTED & ANCHORED IN THE FOLLOWING MANNER:**
1. EACH EXTERIOR WALL
 2. ALL INTERIOR WALLS
 3. ON EACH EXTERIOR CORNER OF THE BUILDING EXCEPT BRICKWORK
 4. WALLS SUPPORTED BY PIER AND LOCK CORE WITH FOOTINGS
 5. INTERIOR CORNER WALLS
- II. EXTERIOR WALLS:**
1. 4\"/>



89 Hope Ave.
PROPOSED FOUNDATION PLAN
 MAC, RESIDENCE
 FALMOUTH, ME
 Portland

THIS INFORMATION IS PROVIDED TO YOU FOR INFORMATION ONLY AND IS NOT A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

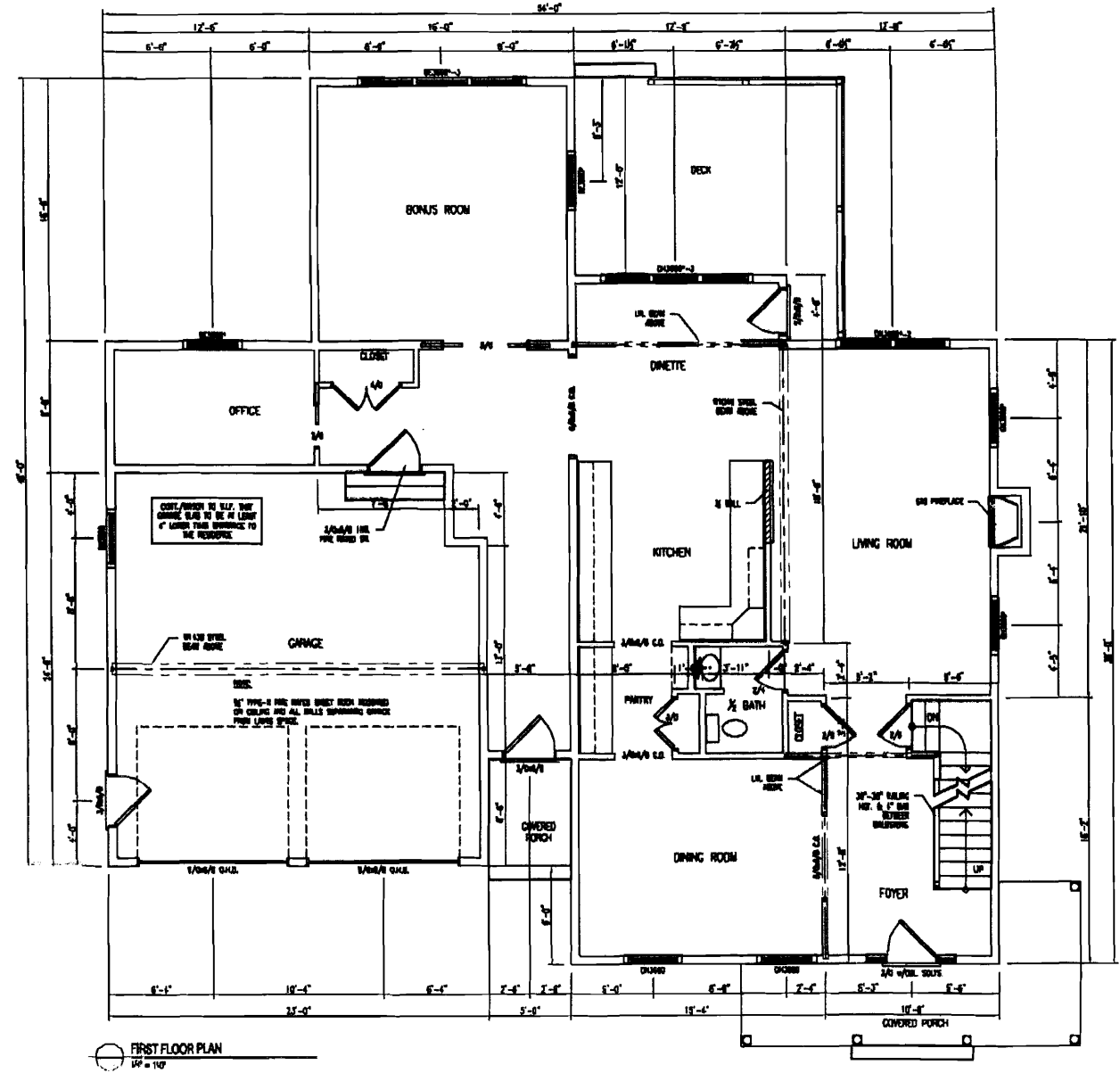
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NO.	DESCRIPTION

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 Drawn By: JTM
 Project: CTM042309
 Sheet Number: 3 of 6



89 Hope Ave

PROPOSED 1ST FLOOR PLAN
 MAC, RESIDENCE
 FALMOUTH, ME
 Partload

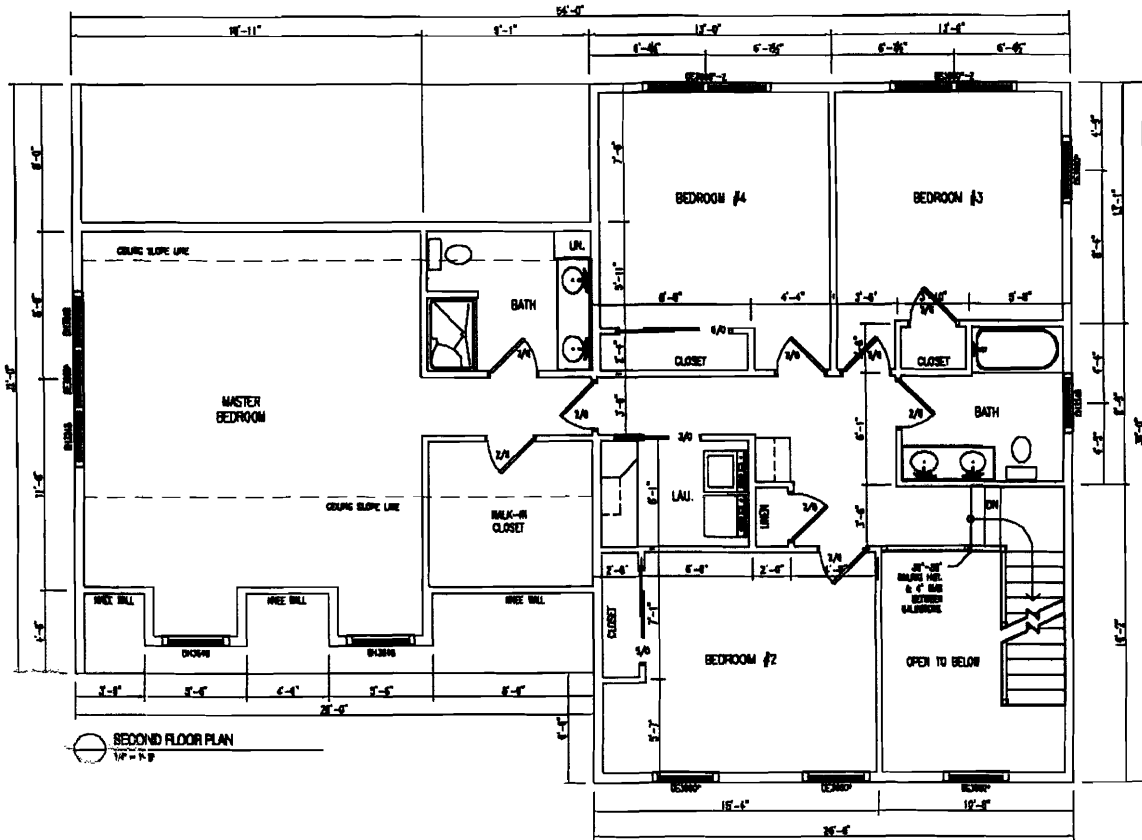


- NOTES:**
1. EACH ROOMING AREA
 2. GARAGE EACH SPACING SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE ROOMING
 3. ON EACH APPROXIMATE SHOW OF THE OVERLAP ROOMING ROOMING
 4. ALL ROOMING SHALL BE INTERCONNECTED
 5. FIRE RESISTANCE PER ROOM OR LOCAL CODE SHALL BE REQUIRED
- CONTRACTOR'S NOTE:**
- CONTRACTOR TO VERIFY CODES AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. VERIFY SHOWS AND SPEC'S FROM ARCH. PROVIDED CONSTRUCTION. WALL, PARTITION, WINDOW/DOOR LOCATION AND SIZE TO BE DETERMINED FOR COMPLIANCE WITH LOCAL CODES.

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 Project: CTM042009
 Sheet Number: 4 of 6



NOTES:

1. 1/2" WPC-1 FINE GATED SHEET PLY REQUIRED ON CEILING AND ALL WALLS SURROUNDING OFFICE FROM LIVING SPACE.
2. BRIDGE PLUMBS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 1. EACH BATHROOM AREA
 2. EACH BED ROOM BEDROOM AREA
 3. IN EACH ADDITIONAL AREA OF THE PROJECT.
 4. ALL OTHER AREAS SHALL BE DETERMINED.
 5. THE CONTRACTOR SHALL OBTAIN ALL LOCAL CODES AND REGULATIONS.
3. LINEN BRICK

CONTRACTOR NOTE:

CONTRACTOR TO VERIFY CODES AND ALL DIMENSIONS IN FIELD BEFORE STARTING ANY CONSTRUCTION. DESIGN DIMENSIONS GIVEN FROM ADJACENT FINISHED SURFACES. FINISH MATERIALS, FINISHES, FIXTURES AND ETC. TO BE DETERMINED FOR CONTRACTOR OR LOCAL CODES.

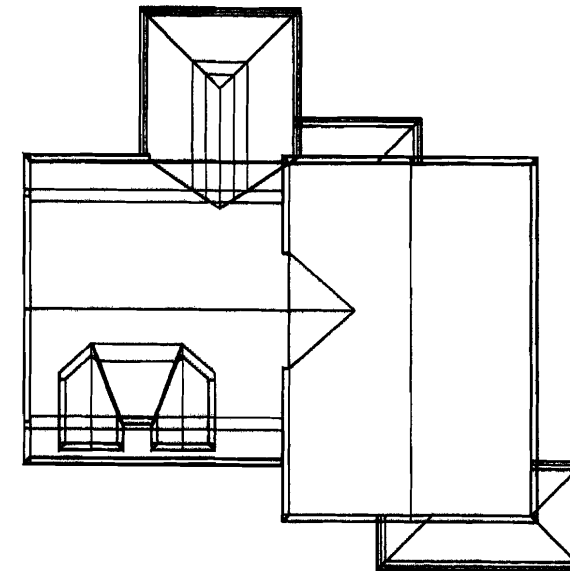
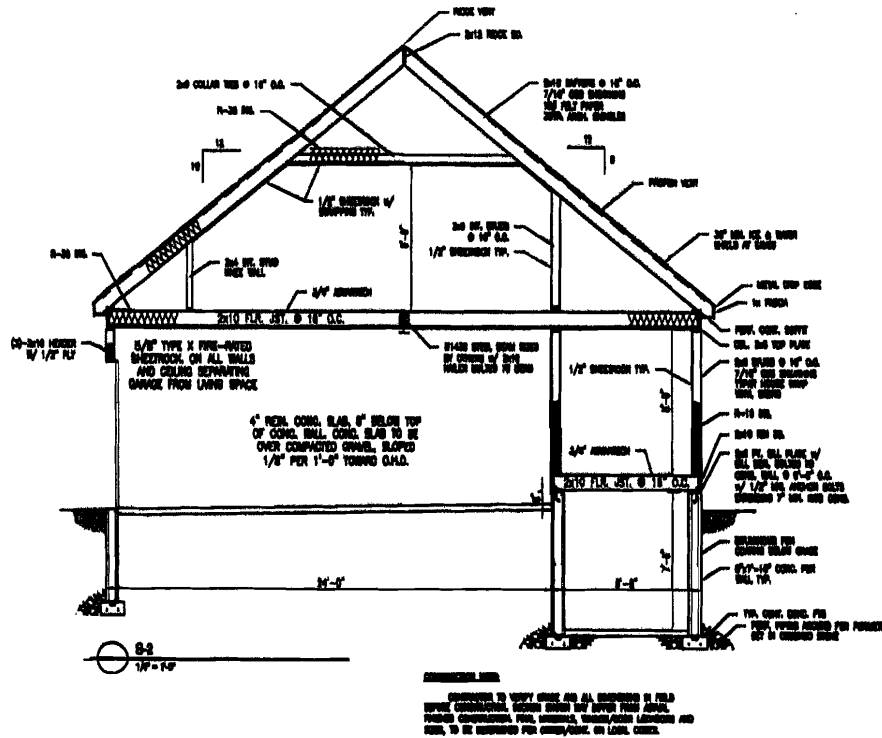
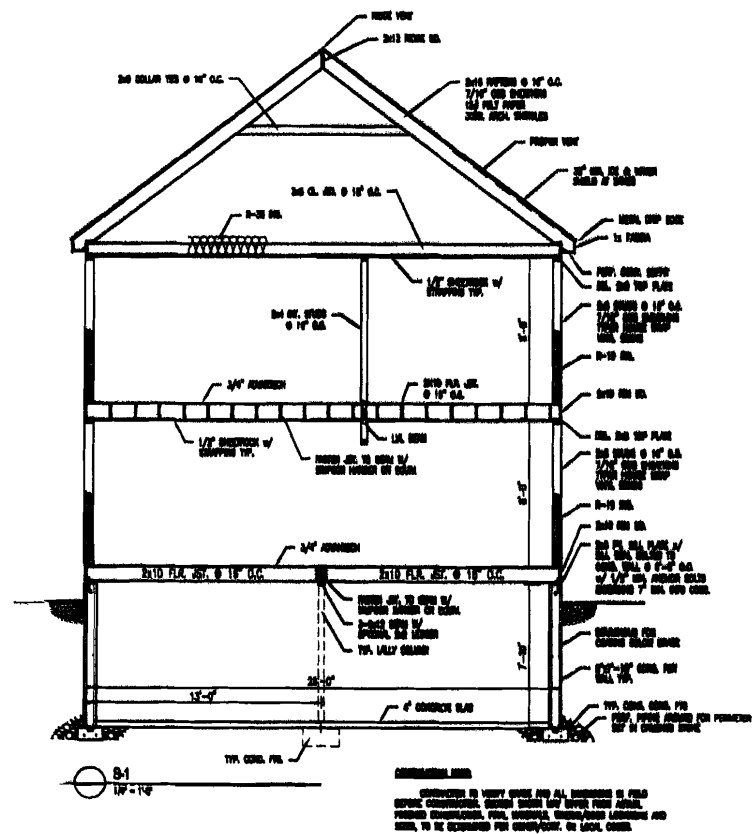


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 PROPOSED 2ND FLOOR PLAN
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 Portland

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Revisions:

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Project: 01010000
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