



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Hope Ave</u>		
Total Square Footage of Proposed Structure <u>2,772 includes garage</u>		Square Footage of Lot <u>63,657 sq. ft.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>390</u> Block# <u>B</u> Lot# <u>17</u>	Owner: <u>Sabatino + Frances Nappi</u>	Telephone: <u>797-3701</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Libby Construction, Inc.</u> <u>19 Cavendish Way</u> <u>Falmouth, ME. 04105</u> <u>875-0060</u>	Cost Of Work: \$ <u>385,000-</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Single family home (proposed)</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Single family home w/ attached 3-9gr garage</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Riverwalk</u> Project description:		
Contractor's name, address & telephone: <u>Libby Construction, Inc.</u> <u>19 Cavendish Way</u> <u>Falmouth, ME.</u> <u>04105</u> <u>875-0060</u>		
Who should we contact when the permit is ready: <u>Richard Libby</u> Mailing address: _____ Phone: <u>831-4298</u>		

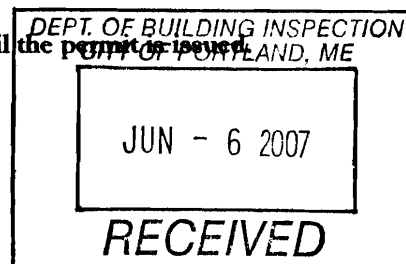
Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 5-18-07

This is not a permit; you may not commence ANY work until the permit is issued.



Applicant: Sabatino & Frances Nappi

Date: 6/13/07

Address: Hope Ave (#67 proposed by assessors)

C-B-L: 390-B-017

permit # 07-0676

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - C40 (contract zone)

Interior or corner lot

Proposed Use/Work - build new ~~single~~ single family home w/ 3 car attached garage

Sevage Disposal - public

Lot Street Frontage - 50' min - 724.37'

Front Yard - 10' min - 25' scaled to garage.

Rear Yard - 20' min - 37' scaled.

Side Yard - 12' min - 45' scaled on left.

Projections - sidewalk 12' min - 371' scaled off Lillsurvey - right side
bulkhead 5x6; front step 1'x6'; bay window 15ft, bumpout for gaschimney 1.75 x 4.67.

Width of Lot - 50' min - 490' scaled off ^{Bill} survey

Height - 35' max - 18.5 scaled

Lot Area - 6,000 ϕ min - 63,657 ϕ given

Lot Coverage Impervious Surface - 40% = 25,462.5 ϕ

Area per Family - 6,000 ϕ

Off-street Parking - 2 spaces required - 3 car garage.

Loading Bays - N/A

Site Plan - minor/minor 2007-0099

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

* min floor area excluding garage 1,000 ϕ = 2142.5 ϕ

OK

$$38 \times 62 = 2356$$

$$16 \times 32 = 512$$

$$5 \times 6 = 30$$

$$6 \times 1 = 6$$

$$15 \phi$$

$$1.75 \times 4.67 = 8.17$$

$$2971.17$$

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon.

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

6-28-07
Date

[Signature]
Signature of Inspections Official

6-28-07
Date

CBL: 390B17

Building Permit #: 070676

FAX



To: Diane

Fax Number: 255-4571

From: Lannie Dobson

Fax Number: 874-8716

Date: 7-5-07

Regarding: Hope Ave

Total Number Of Pages Including Cover: 5

Phone Number For Follow-Up: 874-8693

Comments:

390 B17
Diane
207-755-4571
COPY BOOKS
Permit

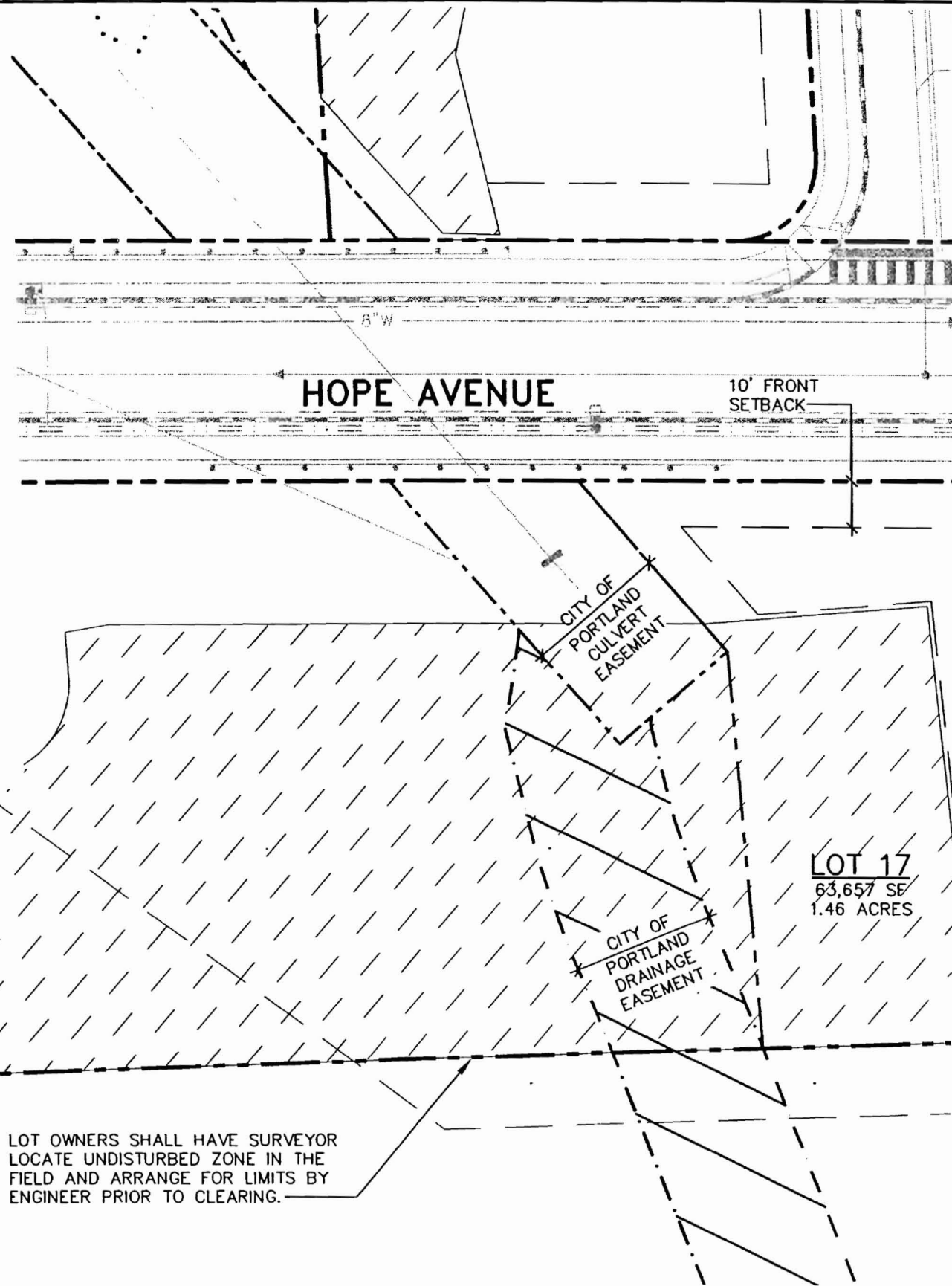
Maine
Services
land Me 04101-3509
(207)874-8693

Fax: (207) 874-8716

<http://www.portlandmaine.gov/>

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2005.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



Rev.	Date	Revision
-	-	-
3		

Design:	JLG	Date:	06/07
Draft:	XXX	Job No.:	1879
Checked:	DER	Scale:	1"=30'
File Name: 98089-4-ALL LOTS.dwg			



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Gray, ME 04039

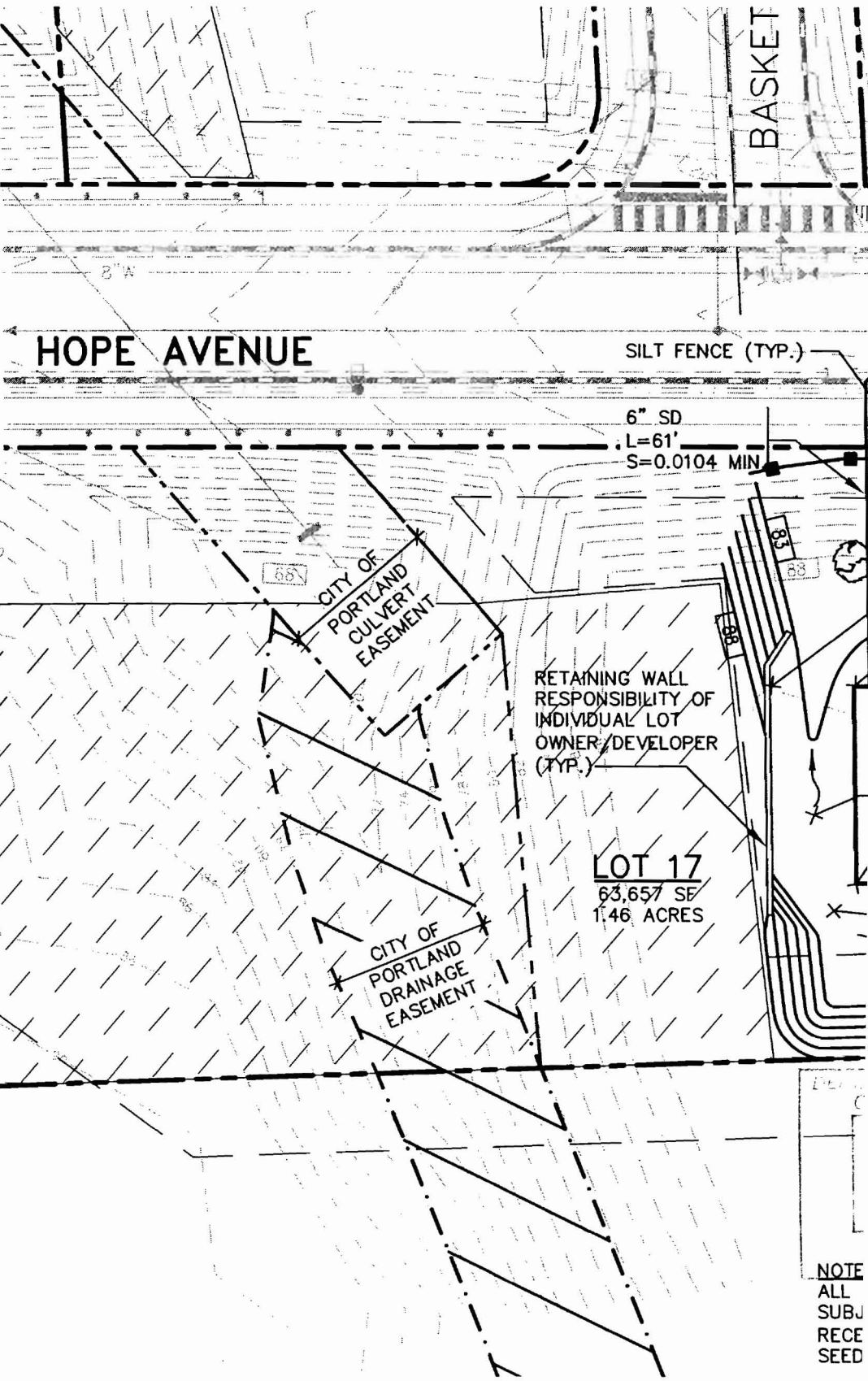
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name

Project:

NOTES:

1. THE OWNER OF THE LOT SHALL BE REQUIRED TO RETAIN A LICENSED MAINE LAND SURVEYOR TO LAY OUT AND CERTIFY THE LOCATION AND ELEVATION OF SAID FOUNDATION AND HOUSE IN ORDER TO ENSURE THAT SAID LOCATION AND ELEVATION CONFORM TO APPROVED SITE PLAN SUBMISSIONS.



NOTE
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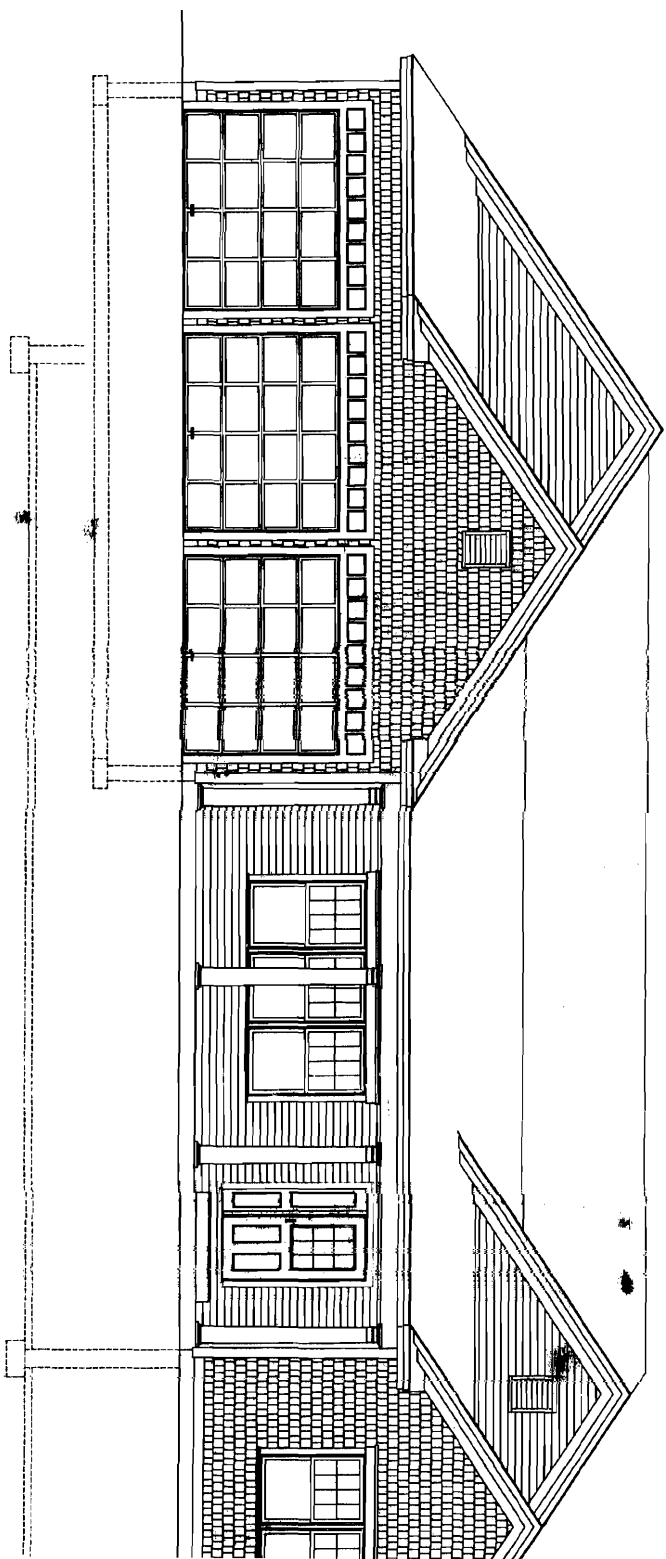
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GP Gorrill-Palmer Consulting Engineers, Inc.
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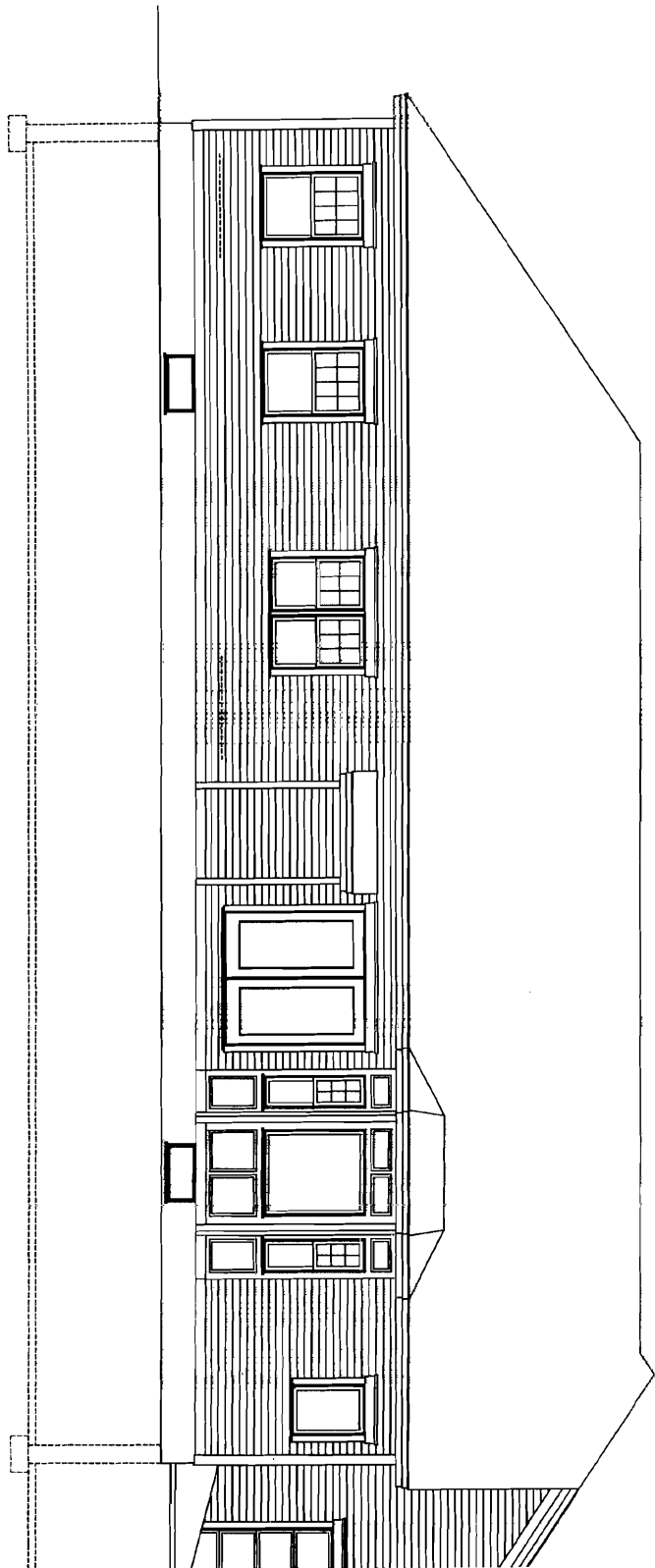
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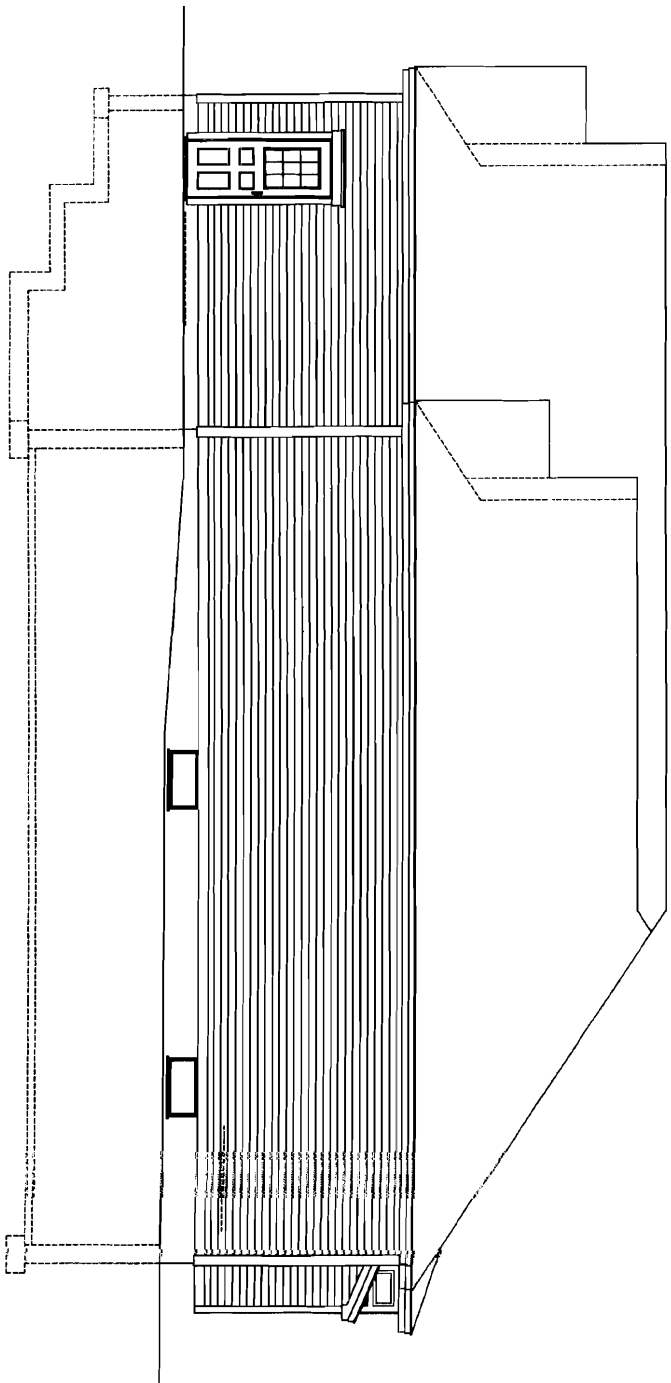
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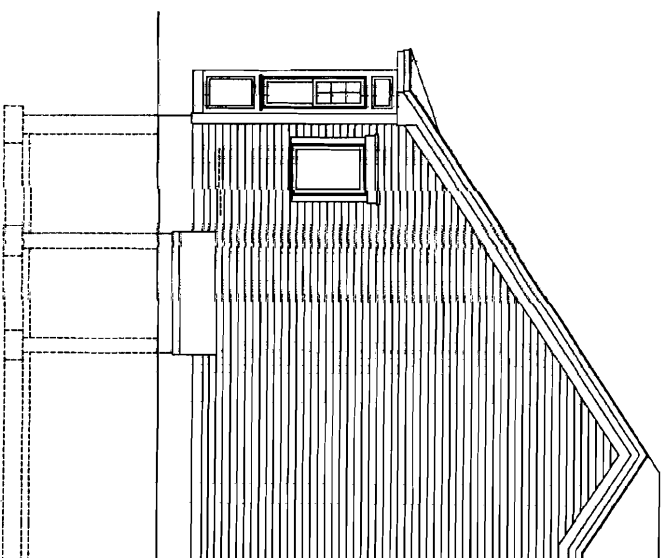
FRONT ELEVATION



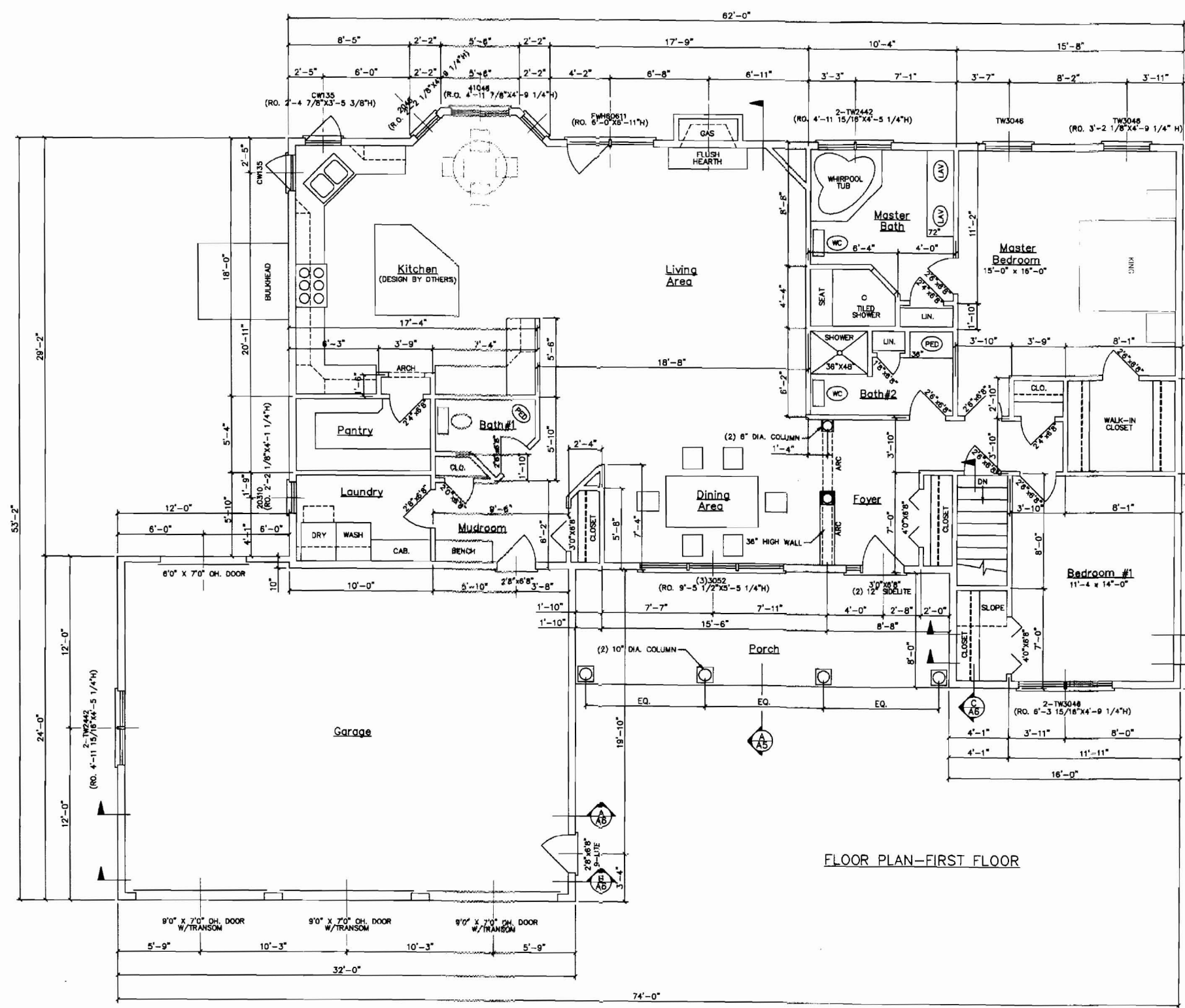
REAR ELEVATION



RIGHT SIDE ELEVATION

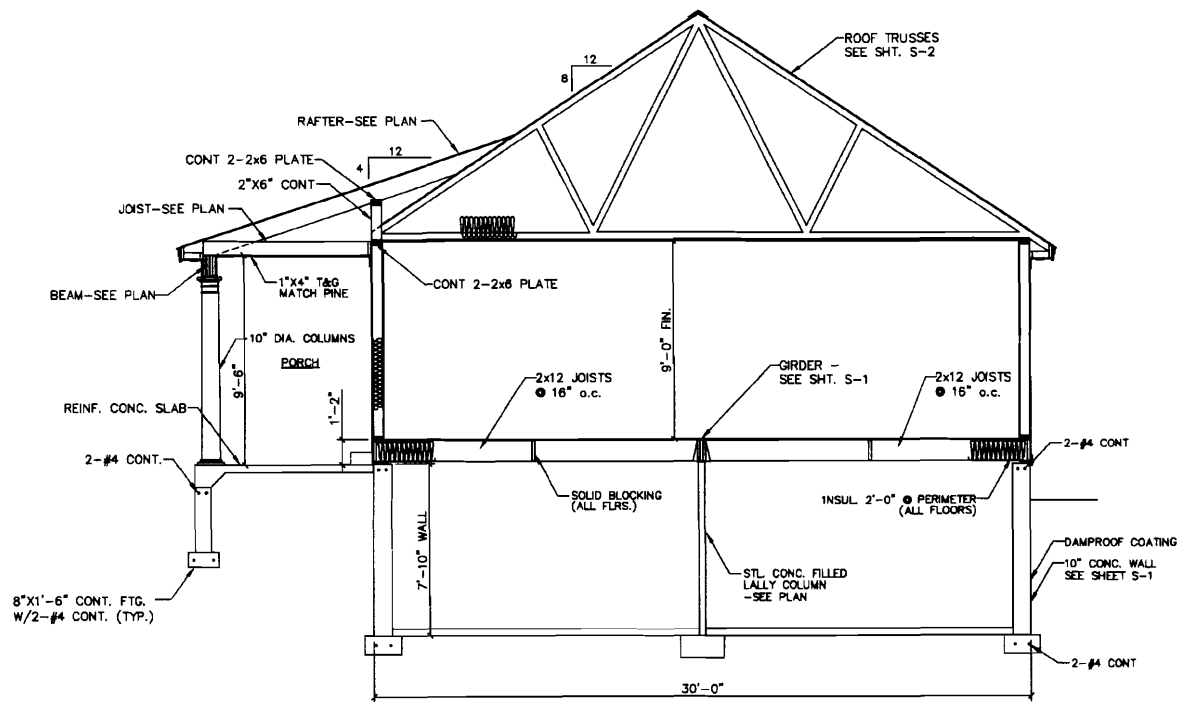


ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. CODES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR OR OWNER. ALL NOTING, SPECIFICATION AND DIMENSIONS SHALL BE REVIEWED BY CLIENT/CONTRACTOR BEFORE WORK BEGINS. ALL OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF MORIN DRAFTING IF PLANS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. MORIN DRAFTING SHALL BE HELD HARMLESS. IN ALL EVENTS DAMAGES SHALL BE LIMITED TO COST OF THE PLANS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS, CHANGES AND/OR REVISIONS TO PLANS.

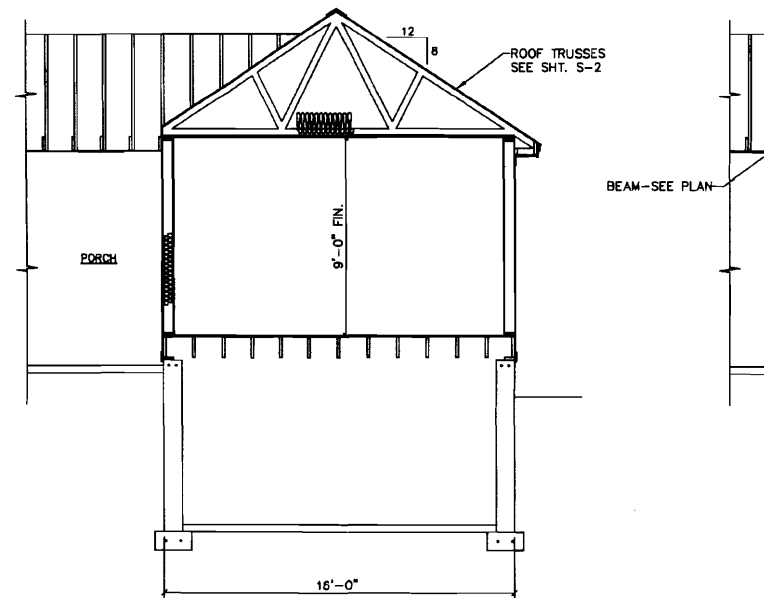


FLOOR PLAN—FIRST FLOOR

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A Wall Section
SCALE: 1/4" = 1'-0"



B Wall Section
SCALE: 1/4" = 1'-0"

STANDARD MATERIAL LIST (UNLESS OTHERWISE NOTED)

FLOOR (WOOD FRAMED)-

JOISTS SEE FRAMING PLAN
SHEATHING: 3/4" ADVANTEK (GLUED AND SCREWED OR NAILED)
UNDERLAYMENT: 1/2" GYP. BOARD (SATISFIES WITH FINISH FLOOR MARK)
INSULATE R19 MIN. @ PERIMETER BOX SILLS FILL VOID BETWEEN ALL JOISTS

WALLS-

STUDS: 2"x6" @ 16" O.C.
SHEATHING: 1/2" CDX PLYWOOD
AIR BARRIER: TYVEK OR EQUIVALENT
INSULATION: 6 1/2" DRAFT FLOED FIBERGLASS BATT INSULATION
VAPOR BARRIER: 6 MIL. POLY.
FINISH: 1/2" GYPSUM BOARD
FINISH (GARAGE): 5/8" TYPE "X" GYPSUM BOARD PER CODE
INSULATION WALLS & CEILING OPTIONAL

CEILING-

JOISTS SEE FRAMING PLAN
STRAPPING: 1"x3"
FINISH: 1/2" GYPSUM BOARD
FINISH (GARAGE): 5/8" TYPE "X" GYPSUM BOARD PER CODE
VAPOR BARRIER: 6 MIL. POLY. (EXTERIOR EXPOSURE ONLY)
INSULATION: (1) LAYER #1 UNFIBERGLASS BATT INSULATION (MINIMUM R-19 PERI-METER)
1" THERMAX INSUL. @ INTERIOR SLOPES WHERE FIBERGLASS IS LESS THAN 12"

ROOFS-

RAFTERS OR TRUSSES SEE FRAMING PLAN
20 YEAR ASPHALT SHINGLES
SHEATHING: 1/2" CDX PLYWOOD (W/CLIPS @ TRUSS FRAMED ROOFS)
ICE & WATER SHIELD: ALL VALLEYS, 36" @ ROOF EDGE, ENTIRE SURFACE W/PITCHES UNDER 5/12
STEPS METAL FLASHING @ ALL CHIMNEYS
ALL ROOFS SHALL HAVE PROPER VENTILATION WITH PROPER VENTS, RIDGE VENTS AND SOFFIT VENTS.

SOFFIT/RAKE TRIM-

FASADA: 1"x3" & 1"x2"
VENT: CONT. SOFFIT VENT
SOFFIT: 1"x STOCK
FREEZE BOARD: 1"x 6"