

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**  
**PERMIT**

Permit Number: 080322

This is to certify that BLACKMER MINOTT P & ORNA M BLACKMER JTS/ et Cr

has permission to Build 11' 3" x 20" Deck

AT 14 BASKET LN

L 390 A019001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

4/9/08 *Clayton S. R.*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

**Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of Applicant/Designee

4-9-08  
Date

[Signature]  
Signature of Inspections Official

4/9/08  
Date

CBL: 390-A-19

Building Permit #: 080322

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

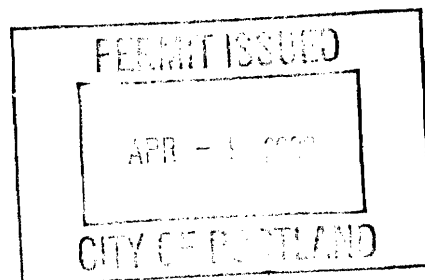
Permit No: 08-0322	Issue Date: 4/9/08	CBL: 390 A019001
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Location of Construction: 14 BASKET LN	Owner Name: BLACKMER MINOTT P & LORN	Owner Address: 50 ALPINE RD	Phone:
Business Name:	Contractor Name: Scott Crepeau	Contractor Address: 1227 Highland Ave South Portland	Phone: 2073181593
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Build 11' 3" x 20" Deck	Permit Fee: \$90.00	Cost of Work: \$6,300.00	CEO District: 5
Proposed Project Description: Build 11' 3" x 20" Deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	
		Signature: _____		Signature: 4/9/08 [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 04/08/2008	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: _____	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

4/9/08 - Checked settings + Beginning Planning  
for new deal - OK to continue - no drills/stars)

4-18-08 - Final on deck - Appears done Jim  
per plan - OK to close out - 9M



# General Building Permit Application

ZON-2  
R-2

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.


Location/Address of Construction: <u>14 Basket Lane -</u>		
Total Square Footage of Proposed Structure <u>225 sq FT Deck</u>		Square Footage of Lot <u>11,747</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>390          A          19</u>	Owner: <u>MINOTT &amp; LORNA BLACKMER</u> <u>14 Basket Ln</u> <u>Portland, ME</u>	Telephone: <u>797-2598</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Scott Crepeau</u> <u>1227 Highland Ave</u> <u>So. Portland, ME 04106</u>	Cost Of Work: \$ <u>6,300</u> Fee: \$ <u>660</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Exterior Deck</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Riverwalk</u> Project description: <u>Build 11' 3" X 20" Deck</u>		
Contractor's name, address & telephone: <u>Scott Crepeau</u> Who should we contact when the permit is ready: <u>Scott Crepeau</u> Mailing address: <u>1227 Highland Ave</u> <u>So. Portland, ME 04106</u> Phone: <u>318-1593</u>		

APR - 8 2008

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 

Date: 4-8-08

This is not a permit; you may not commence ANY work until the permit is issued.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0322	<b>Date Applied For:</b> 04/08/2008	<b>CBL:</b> 390 A019001
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<b>Location of Construction:</b> 14 BASKET LN	<b>Owner Name:</b> BLACKMER MINOTT P & LORN	<b>Owner Address:</b> 50 ALPINE RD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Scott Crepeau	<b>Contractor Address:</b> 1227 Highland Ave South Portland	<b>Phone</b> (207) 318-1593
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Build 11' 3" x 20" Deck	<b>Proposed Project Description:</b> Build 11' 3" x 20" Deck
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Chris Hanson	<b>Approval Date:</b> 04/09/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Chris Hanson	<b>Approval Date:</b> 04/09/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.			
2) Fastener schedule per the IRC 2003			
3) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.			
4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.			
5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Applicant: Blackmer Minott.

Date: 4/9/08

Address:

C-B-L: 390-A-019

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 4/9/08

Zone Location - R-2 - C-40 Contract Zone

Interior or corner lot -

Proposed Use/Work - Deck

See Ann's Sht.  
next page.

Sewage Disposal - N/A

Lot Street Frontage - 70' scaled

Front Yard - 25' req.

OK.

Rear Yard - 25' req.

35' shown OK

Side Yard - 14' 2 story

41' to deck shown OK.

1.5 story 12'

37' to deck shown

OK.

Projections -

Width of Lot -

Height -

Lot Area - 11,747

2349.40 Allowed.

Lot Coverage/ Impervious Surface -

20% allowable.

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

Applicant: Minott, Lorna Blackmer

Date: July 24, 2007

Address: 14 Basket Lane  
Lot #19 Riverwalk Subdivision

C-B-L: 390-A-019  
perm #: 07-0870

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - C 40 (conditional zone, R-2 underlying)

Interior or corner lot -

Proposed Use/Work - build new 1 story single family w/ 2 car attached garage

Sevage Disposal - public

Lot Street Frontage - 50' min - 73.31' given

Front Yard - 10' min. - 35' scaled

Rear Yard - ~~12' min.~~ 20' min - 46' scaled

Side Yard - 10' min right - 12' scaled  
left - 12' scaled

Projections - bulkhead 5x5.5, front entry 9'x5.5', back steps 5'x3'

Width of Lot - 50' min.

Height - 35' max - 15.5' scaled

Lot Area - 6,000 $\phi$  min - 11,747 $\phi$  given.

Lot Coverage Impervious Surface - 40% = 4698.8 $\phi$

Area per Family - 6,000 $\phi$

Off-street Parking - 2 spaces required - 2 cars garage. OK

Loading Bays - N/A

Site Plan - minor/minor 2007-0124

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

min. floor area excluding garage 1000 $\phi$  - 1365 $\phi$  OK.

hose ~~28~~<sup>40</sup> x 30 = 1200  
hose 12 x 5 = 60  
bulkhead 5 x 5.5 = 27.5  
hose 8 x 13.5 = 108  
garage 24 x 18.5 = 444  
garage 16 x 6.5 = 104

1943.5

step 9 x 5.5 = 49.5

1993

back steps 5 x 3

15

2008

OK.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

**Card Number** 1 of 1  
**Parcel ID** 390 A019001  
**Location** 14 BASKET LN  
**Land Use** SINGLE FAMILY

**Owner Address** BLACKMER MINOTT P & LORNA M BLACKMER JTS  
 50 ALPINE RD  
 PORTLAND ME 04103

**Book/Page** 24544/019  
**Legal** 390-A-19  
 BASKET LN 10-14  
 11747 SF  
 LOT 19

### Current Assessed Valuation

Land	Building	Total
\$87,500	\$ 0.00	\$87,500

### Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
2008	Ranch	1	1364	0.27	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	2	1	6	None	Full

### Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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### Sales Information

Date	Type	Price	Book/Page
11/06/2006	LAND	\$110,000	24544-019

### Picture and Sketch

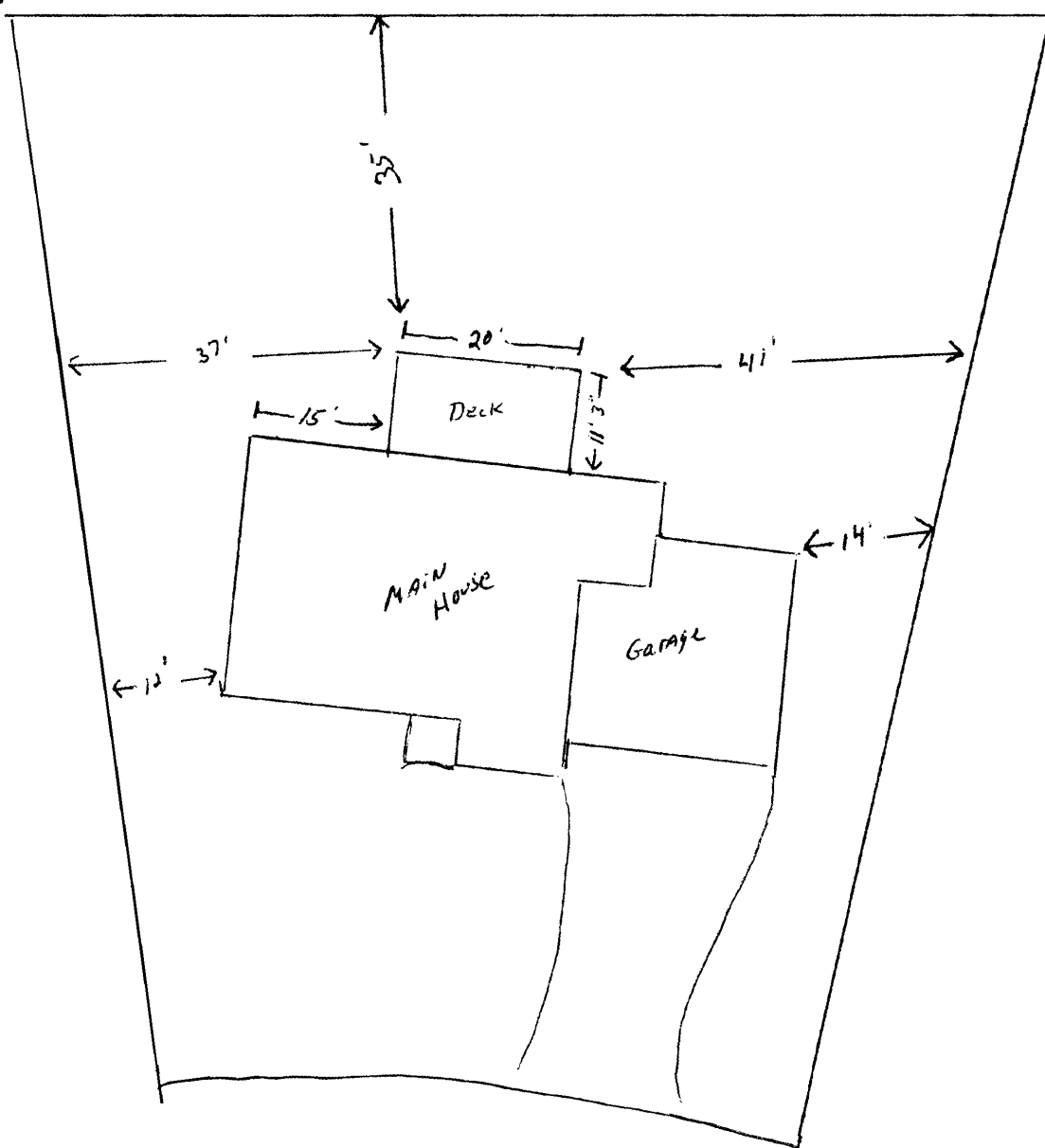
[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**

Property  
Line



1" = 20'

## S. L. Crepeau - Builder

Scott Crepeau  
1227 Highland Avenue  
South Portland, Maine 04106  
(207) 318-1593

## Deck specifications

Property Address: 14 Basket Lane  
Portland, Maine  
Riverwalk Subdivision Lot #19

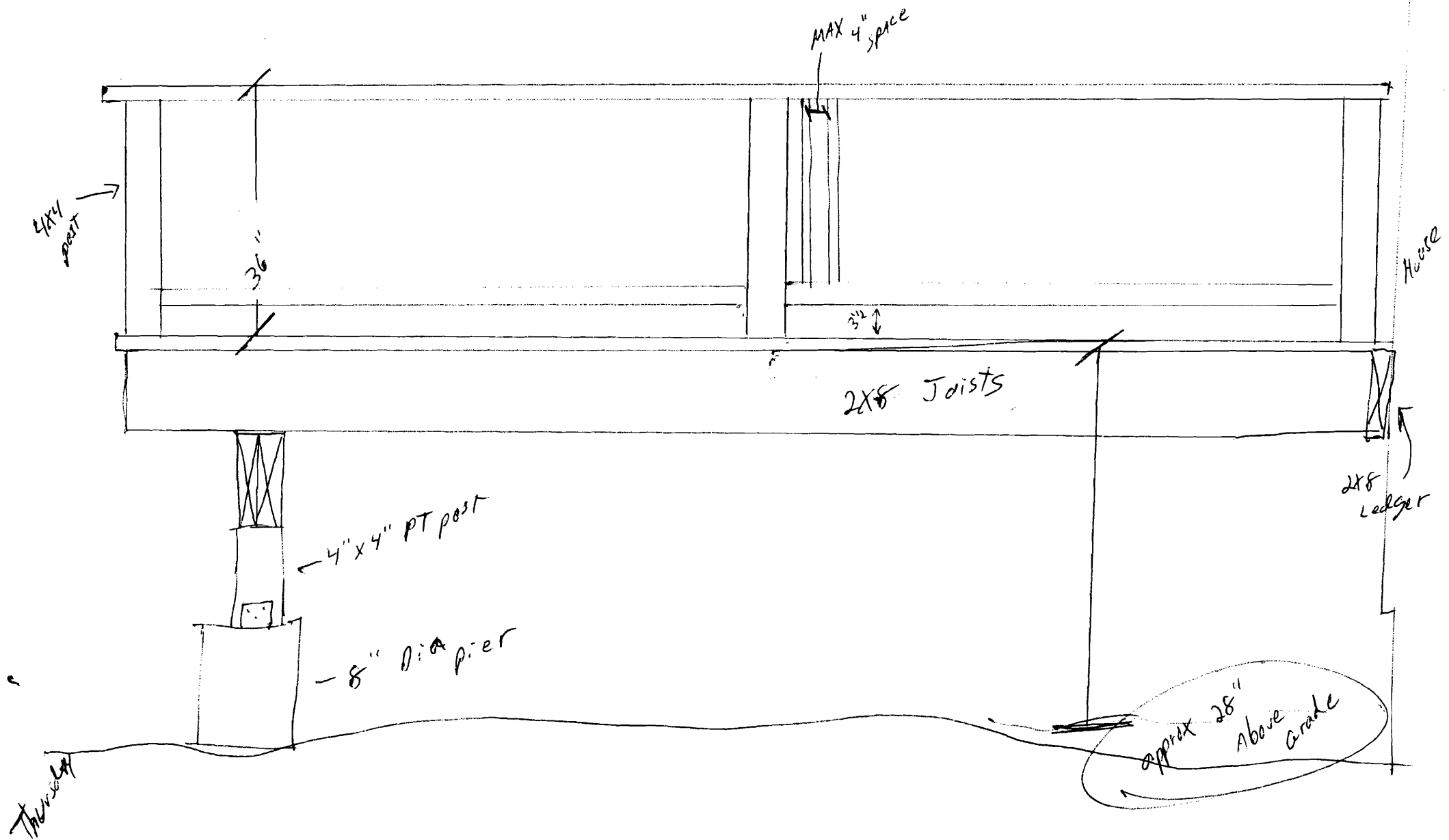
Property Owners: Hank and Lorna Blackmer

Contractor performing work: S.L. Crepeau – Builder  
Scott Crepeau  
1227 Highland Ave  
South Portland, Maine 04106  
(207) 318-1593

*Foundation:* 4 – 8” concrete filled tubes on a 12” round footing 4 in high.  
12” long x 3/8” rebar through footing into tube.  
Concrete tube is minimum 48” in ground for frost protection.  
4” x 4” PT posts anchored to concrete via 3 ½” bolts through Simpson connector.

*Framing:* 2” x 8” x 20’ PT ledger board with 15- 5 ¼” long torque head “GRK” brand fasteners lagged into 2”x 6” sill plate on house. Fasteners are in every bay.  
2” x 8” PT joists w/ simpson hangers on ledger board spaced 16” O.C. (span is 9’8” to girder) carried by 2-2”x10” PT girder with diagonal stabilizes atop of 4 – 4”x 4” PT posts on concrete piers.

*Handrails:* Guardrail height is 36” from top of finished deck.  
Maximum 4” spacing between balusters.  
Handrail is 34”high from front nosing of tread.  
Riser height is 7 ½”  
Tread depth is 10” with a 1” nosing  
Width of stairs is 36”



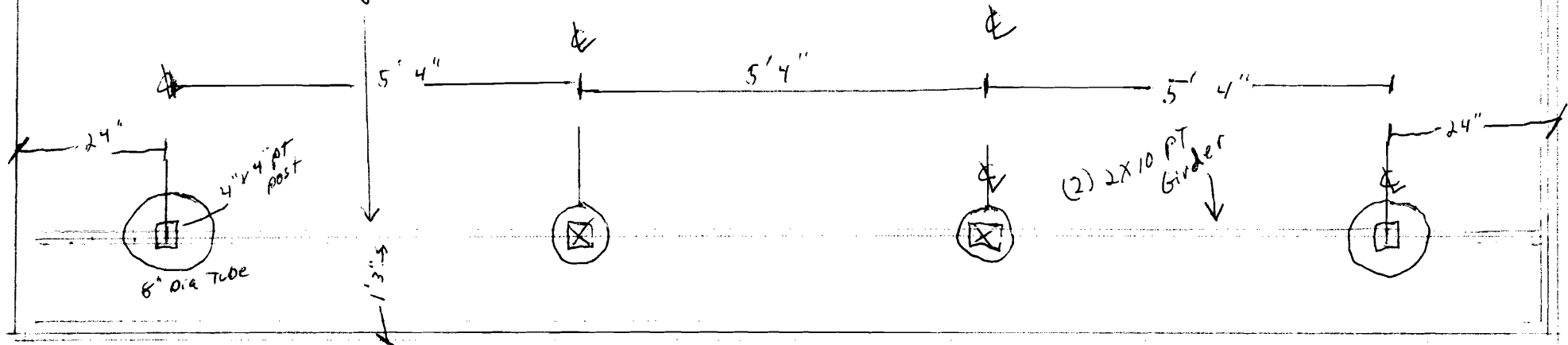
House

12x8 PT Ledger Board

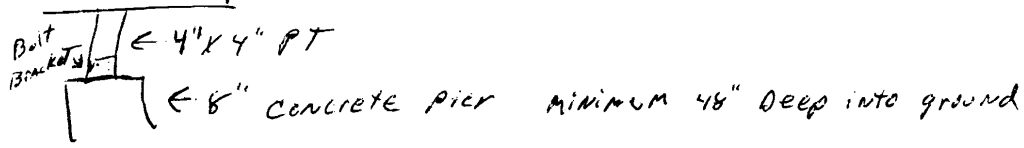
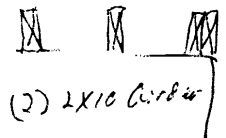
15 2x4 Bolts

Joist 16" O.C.  
ON HANGERS

9' 8" SPAN  
TO Girder



(2) 2x8 PT Rim



1/2" = 1'

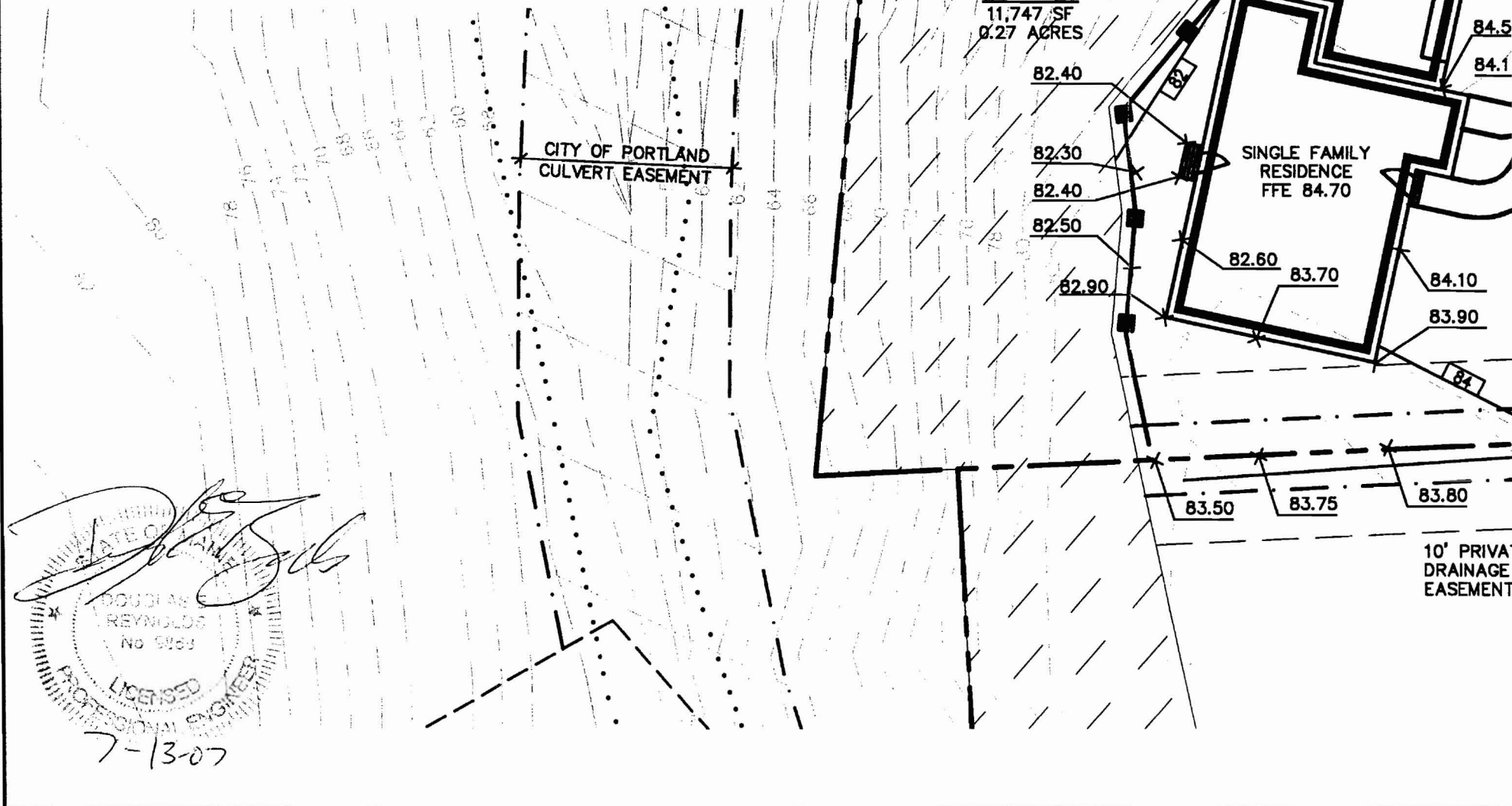
**NOTE:**

THE OWNER OF THE LOT SHALL BE REQUIRED TO RETAIN A LICENSED MAINE LAND SURVEYOR TO LAYOUT AND CERTIFY THE LOCATION AND ELEVATION OF SAID FOUNDATION AND HOUSE IN ORDER TO ENSURE THAT SAID LOCATION AND ELEVATION CONFORM TO APPROVED SITE PLAN SUBMISSIONS.

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



Rev.	Date	Revision

Design: JLG	Date: 06/07
Draft: CAG	Job No.: 1890
Checked: DER	Scale: 1"=20'
File Name: 98089-4-ALL LOTS.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237  
15 Shaker Road  
Gray, ME 04039

207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorrillpalmer.com

Drawing Name:
Project:

# ELECTRICAL PERMIT

## City of Portland, Me.



Frame  
Fri

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date Sept 26, 07  
 Permit # 074718  
 CBL# 390 A019

LOCATION: 14 Basket Ln. METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER \_\_\_\_\_  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

						TOTAL EACH FEE	
OUTLETS	Receptacles		Switches		Smoke Detector		.20
FIXTURES	Incandescent		Fluorescent		Strips		.20
SERVICES	Overhead		Underground		TTL AMPS <800		15.00
	Overhead		Underground		>800		25.00
Temporary Service	<del>Overhead</del>		<del>Underground</del>		TTL AMPS		25.00
							25.00
METERS	(number of)						1.00
MOTORS	(number of)						2.00
RESID/COM	Electric units						1.00
HEATING	oil/gas units		Interior		Exterior		5.00
APPLIANCES	Ranges		Cook Tops		Wall Ovens		2.00
	Insta-Hot		Water heaters		Fans		2.00
	Dryers		Disposals		Dishwasher		2.00
	Compactors		Spa		Washing Machine		2.00
	Others (denote)						2.00
							2.00
							3.00
MISC. (number of)	Air Cond/win				Pools		10.00
	Air Cond/cent				Thermostat		5.00
	HVAC		EMS				10.00
	Signs						5.00
	Alarms/res						15.00
	Alarms/com						2.00
	Heavy Duty (CRKT)						25.00
	Circus/Carnv						5.00
	Alterations						15.00
	Fire Repairs						1.00
	E Lights						20.00
	E Generators						
PANELS	Service		Remote		Main		4.00
TRANSFORMER	0-25 Kva						5.00
	25-200 Kva						8.00
	Over 200 Kva						10.00
					TOTAL AMOUNT DUE		
					MINIMUM FEE	45.00	
					MINIMUM FEE/COMMERCIAL	55.00	

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME.  
 SEP 26 2007  
 RECEIVED

CONTRACTORS NAME LESSARD + SONS Electric MASTER LIC. # MS60017383  
 ADDRESS 173 Temple Ave. OOR LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 467-0642  
 (Kevin)  
 SIGNATURE OF CONTRACTOR Kevin Lessard



*Titcomb Associates*

Land Surveying  
Land Planning

133 Gray Road  
Falmouth, Maine 04105  
(207) 797-9199  
Fax (207) 878-3142  
www.titcombsurvey.com

*390-A-19*

September 11, 2007

Tammy Munson  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

**VIA FAX: (207) 874-8716**

re: **14 Basket Lane, Portland**

Dear Ms. Munson:

This letter will confirm that Titcomb Associates has staked points on the footer at the location for the building on Lot 19, Riverwalk Subdivision, in accordance with the location shown on the development plans prepared by Gorrill-Palmer Consulting Engineers.

The house location is in compliance with the City of Portland Zoning Ordinance and Setback Requirements. The building location is based on established property pins.

Please call if you have any further questions.

Sincerely,

Rex J. Croteau, PLS  
Titcomb Associates

cc: Scott Crepeau