

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT
PERMIT

PERMIT ISSUED

Permit Number: 070870

AUG 29 2007

CITY OF PORTLAND

This is to certify that BLACKMER MINOTT P & SON ARNA M BLACKMER JTS/S arehas permission to New Ranch style home w/ 2 car garageAT 14 BASKET LN Lot#19

CITY OF PORTLAND 390 A019001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

8/29/07

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

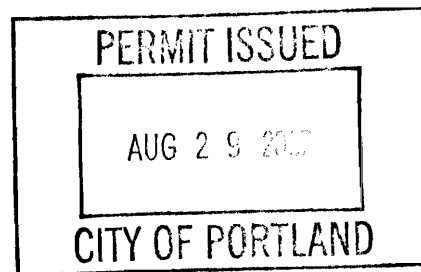
Permit No: 07-0870	Issue Date:	CBL: 390 A019001
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Location of Construction: 14 BASKET LN Lot#19	Owner Name: BLACKMER MINOTT P & LORN	Owner Address: 50 ALPINE RD	Phone:
Business Name:	Contractor Name: SL Creapeau	Contractor Address: 1227 Highland Ave South Portland	Phone: 2073181593
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: C40 (R-2)

Past Use: Vacant Land	Proposed Use: Single Family Home - New Ranch style home w/ 2 car garage	Permit Fee: \$1,905.00	Cost of Work: \$181,000.00	CEO District: 5
Proposed Project Description: New Ranch style home w/ 2 car garage		FIRE DEPT: Approved Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>TRC 2003</i>	
		Signature: _____		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 07/18/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews Shoreland <i>N/A</i> Wetland <i>N/A</i> Flood Zone <i>panel 2-200X</i> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0124</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/24/07</i> <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9/10/07 - Setbacks - right on req.
Setback - rec'd letter from
Titcomb Assoc. regarding location -
Told builder to have walls pinned &
forward letter. YN

9/17/07 - Backfill - OK - rec'd letter. OK

10/30/07 - Close In inspection - elec. plumbing &
framing ok - NO ext. decks or stairs
done yet. YN.



Titcomb Associates

Land Surveying
Land Planning

133 Gray Road
Falmouth, Maine 04105
(207) 797-9199
Fax (207) 878-3142
www.titcombsurvey.com

September 10, 2007

Tammy Munson
Code Enforcement Officer
City of Portland
389 Congress Street
Portland, ME 04101

VIA FAX: (207) 874-8716

re: **14 Basket Lane, Portland**

Dear Ms. Munson:

This letter will confirm that Titcomb Associates has staked the location for the building on Lot 19, Riverwalk Subdivision, in accordance with the location shown on the development plans prepared by Gorrill-Palmer Consulting Engineers.

The house location is in compliance with the City of Portland Zoning Ordinance and Setback Requirements. The building location is based on established property pins.

Please call if you have any further questions.

Sincerely,

David E. Titcomb, PLS
President, Titcomb Associates

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

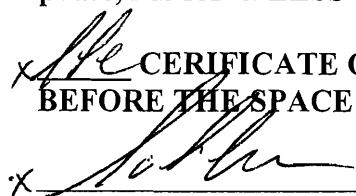
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

x If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

x CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

x  _____
Signature of Applicant/Designee

8-30-07
Date

 _____
Signature of Inspections Official

8-30-07
Date

CBL: 390 A 19

Building Permit #: 07-0870

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0870	Date Applied For: 07/18/2007	CBL: 390 A019001
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Location of Construction: 14 BASKET LN Lot#19	Owner Name: BLACKMER MINOTT P & LORN	Owner Address: 50 ALPINE RD	Phone:
Business Name:	Contractor Name: SL Creapeau	Contractor Address: 1227 Highland Ave South Portland	Phone (207) 318-1593
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - New Ranch style home w/ 2 car garage	Proposed Project Description: New Ranch style home w/ 2 car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/24/2007

Note: **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/29/2007

Note: rec'd additional info on 8/24/07 **Ok to Issue:**

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 2) The attic scuttle opening must be 22" x 30".
- 3) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) The basement is NOT approved as habitable space.
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Frost protection must be installed 4'-0" minimum below grade as discussed w/owner/contractor.
- 7) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 8) The design load spec sheets for any engineered beam(s) must be submitted to this office.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 07/26/2007

Note: **Ok to Issue:**

- 1) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 2) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Location of Construction: 14 BASKET LN Lot#19	Owner Name: BLACKMER MINOTT P & LORN	Owner Address: 50 ALPINE RD	Phone:
Business Name:	Contractor Name: SL Creapeau	Contractor Address: 1227 Highland Ave South Portland	Phone (207) 318-1593
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 5) The limits of clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the do not disturb/no cut zone. All conditions listed in the approved subdivision plan, as they relate to Lot #19 shall be followed.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) The note on sheet 3 of the approved single family site plan shall be followed exactly as written, ie hiring licensed professionals to perform the required layout, inspections, and written confirmations.
- 8) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Comments:

7/24/2007-amachado: Left message for Scott Crepeau. Bulkhead is not shown on site plan. Scott called me back. Said that not putting in bulk head. Will fax me something in writing.

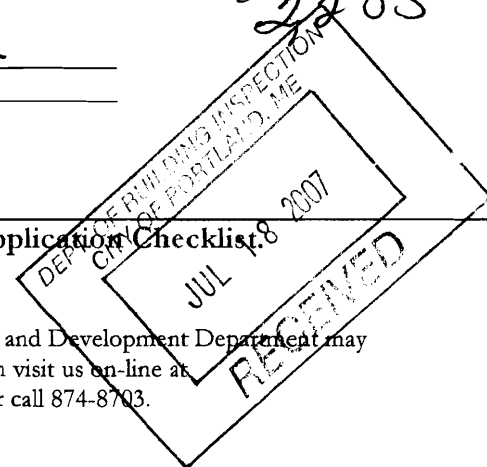


General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot #19, Riverwalk subdivision 14 Basket Lane</u>		
Total Square Footage of Proposed Structure <u>1,920 sq. ft.</u>		Square Footage of Lot <u>11,747 sq. ft.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>390 A 19</u>	Owner: <u>Hank & Lonna Blackmer</u>	Telephone: <u>797-2598</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>S.L. Crepeau Scott Crepeau 1227 Highland Ave. So. Portland, ME Phone: 316-1593</u>	Cost of Work: <u>\$181,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Vacant Lot</u> If vacant, what was the previous use? <u>Land</u> Proposed Specific use: <u>Single Family - Residential</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Riverwalk</u> Project description: <u>Ranch house - single level</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Scott Crepeau</u> Mailing address: <u>1227 Highland Ave So. Portland, ME 04106</u> Phone: <u>316-1593</u>		

1830
300
75
\$ 2205



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>7-17-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Generated by REScheck Package Generator
Compliance Certificate

Project Title: 14 Basket Ln

Report Date: 08/29/07

Energy Code: 2003 IECC
Location: Portland, Maine
Construction Type: Single Family
Glazing Area Percentage: 15%
Heating Degree Days: 7378

Construction Site:

Owner/Agent:

Designer/Contractor:

Compliance: Passes

Assembly	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor
Ceiling:	36.0		
Wall:	20.0	0.0	
Window:			0.350
Door:			0.350
Floor:	30.0		
Furnace: 80 AFUE			

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2003 IECC requirements in the REScheck Package Generator and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Signature

Date

Homeowners:

Hank & Lorna Blackmer

Builder / GC:

S.L. Crepeau

Location:

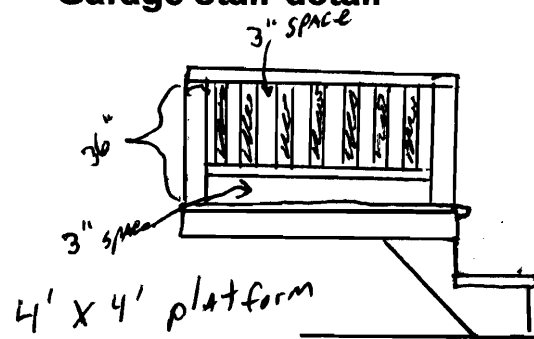
Lot #19 River Walk Subdivision on 14 Basket Lane, Portland, Maine

8/23/2007

Follow up detail

1 Garage frost wall	section shown is labeled 2' 6" + 4" + 1" 2" = 4' 0" total frost wall
2 Wood center girder	3 - 2" x 12"
3 Fire Separation	
4 Emergency Escape/rescue openings	noted on drawing "Exhibit A"
5 Safety glazing	noted on drawing "ExhibitA"
6 Attic Access	noted on drawing "ExhibitA"
7 Chimney Clearances	Stainless steel min. 2" from combustible materials, enclosed in living space Fire stop / block with sheet metal between floors & 1" rockwool if needed
8 Header Schedule	Exterior wall headers =(3) - 2"x10" w/a 1" foam insulation board sandwiched Interior headers shall be (2) - 2"x8" w/ 1 layer 1/2" plywood sandwiched
10 Type of heating system	Oil fired boiler, forced hot water through baseboard
11 Stair width	36"
12 Smoke detectors	noted on drawing "ExhibitA"
13 Garage stair detail	See below
14 Bottom rail of guard	6" diameter max triangle opening

Garage stair detail



Total rise = 15 1/2"

Steps: 7 3/4" rise

10" run w/ 3/4" nose

36" wide

14 Basket 07-0870

Fax # 797-4023

Scott # 318-1593

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
① Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Frost wall shown @ 3'-2"			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK - noted			
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A			
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" - 6' oc			
Lally Column Type (Section R407)				
② Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	NOT shown	OK	- 3-2x12's	
Sill/Band Joist Type & Dimensions	2x6 PT			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2" x 12" - 5 - 15' span 16" oc - OK			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trussed			

07-0870

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Tressed	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8 Roof / 7/16 wall / 3/4" Floor	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space? (Above or beside)		
Fire separation (Section R309.2) shows	5/8" on ceiling & wall - to ridge - OK - doing walls + ceiling	
Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings (Section R310)	Not noted	OK
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	w/in 2' of doors	OK
Attic Access (Section R807)	Not shown	OK
Chimney Clearances/Fire Blocking (Chap. 10)	Not shown	OK
Header Schedule (Section 502.5(1) & (2))	Not shown	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Walls - R-20 Ceiling - R-36 Floors - R-30	0-0.35

07-0870

① Type of Heating System	not shown	— OK
② Means of Egress (Sec R311 & R312) Basement 1 Number of Stairways 1 Interior 2 Exterior 0 Treads and Risers 10" T + 7 7/16" R. (Section R311.5.3) Width (Section R311.5.1) not shown - 36" - OK Headroom (Section R311.5.2) 7'-0" Guardrails and Handrails — OK see detail (Section R312 & R311.5.6 - R311.5.6.3)		
③ Smoke Detectors (Section R313) Location and type/Interconnected	not shown	— OK
④ Draftstopping (Section R502.12) and Fireblocking (Section (R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	2x6 Framing
⑤ Deck Construction (Section R502.2.1)	Need garage stair detail	— OK

⑥ Bottom rail of guard - (6" diam max triangular opening)
OK

FAX



To: *Scott*

Fax Number: *797-4023*

From: *Tammy Munson*

Fax Number:

Date:

Regarding:

Total Number Of Pages Including Cover: *4*

Phone Number For Follow-Up: *874-8706*

Comments:

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

- = Smoke Detector
- = Heat Detector/Sensor
- = Means of egress / Emergency escape / Rescue Opening
- = Attic Access
- = Safety Glaze Glass

Exhibit "A"

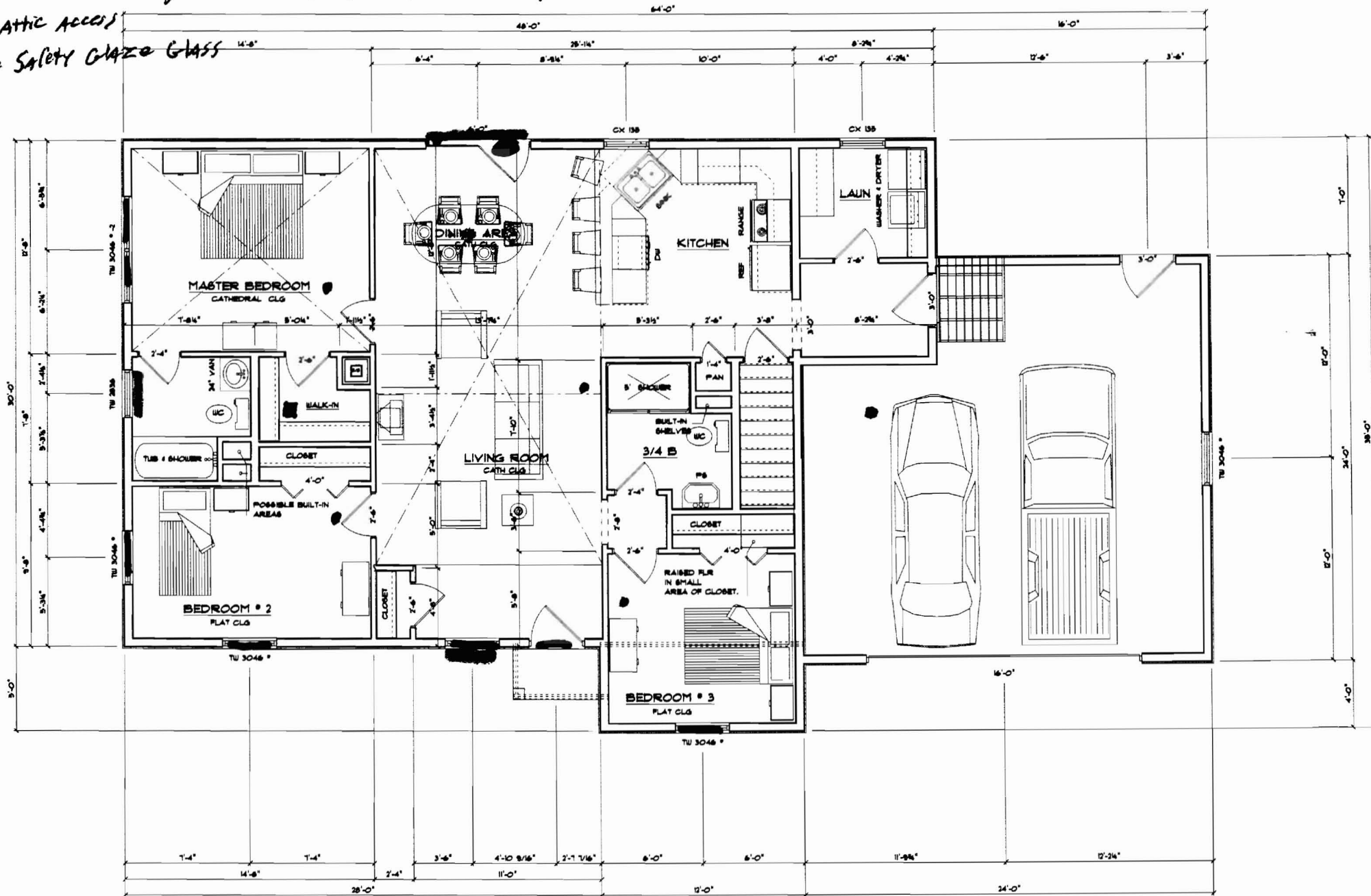
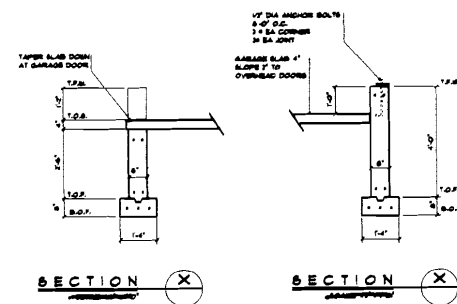
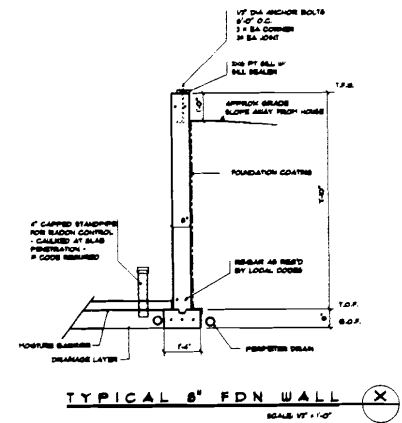
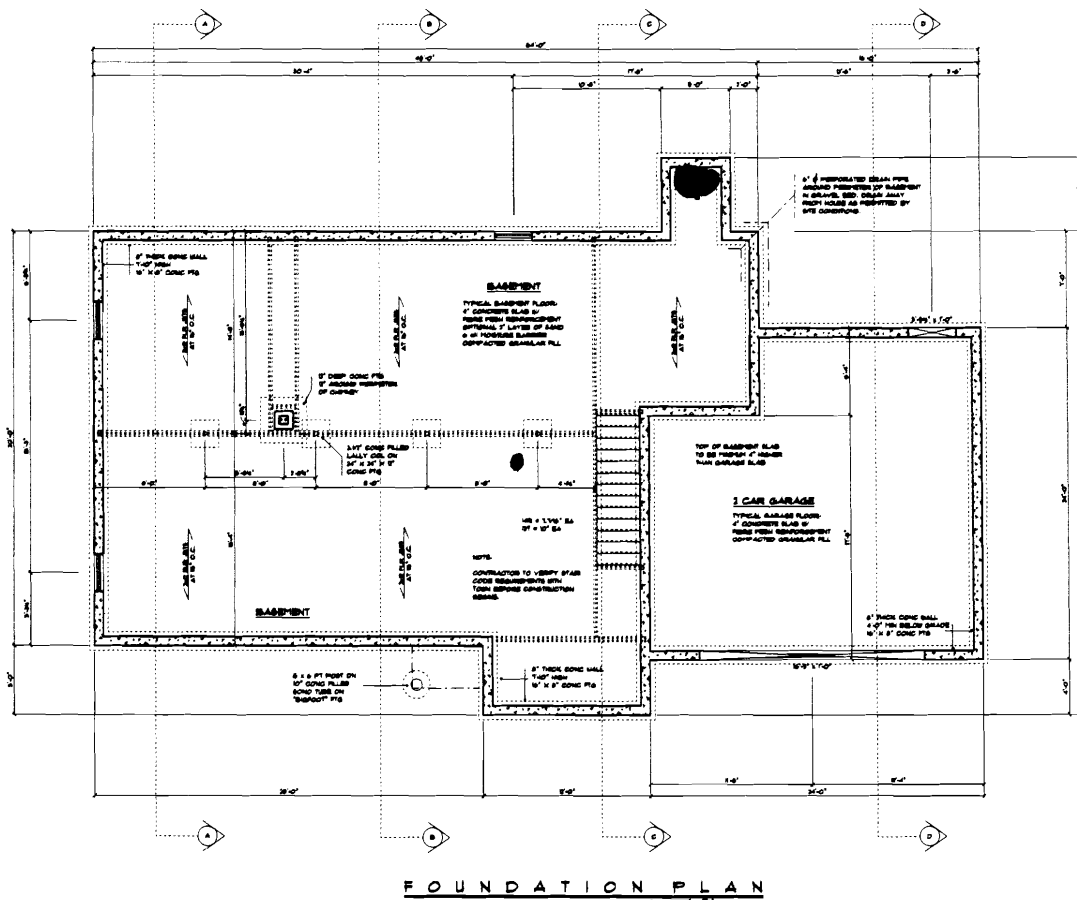


Exhibit 'A' page 2



<p>THE UNDERSIGNED HAS REVIEWED THE ABOVE SET OF PLANS AND SPECIFICATIONS FOR THE PROJECT DESCRIBED HEREIN AND CERTIFIES THAT HE IS A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF CALIFORNIA AND IS NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY FOR THE SAME PROJECT AT THE SAME TIME AND PLACE AS THESE PLANS AND SPECIFICATIONS.</p>	
<p>DATE: 08/20/2018 TIME: 10:00 AM SCALE: 1/2" = 1'-0"</p>	
<p>DESIGN BY: R. S. B.</p>	<p>DESIGN FOR: SCOTT CREFEAU</p>
<p>DATE: 08/20/2018</p>	<p>PROJECT: 28' X 48' RANCH w/ 2 CAR GARAGE</p>
<p>SCALE: 1/2" = 1'-0"</p>	<p>PROJECT NO.: 2018-08-001</p>
<p>Lavalley Lumber</p>	
<p>MANUFACTURED BY: LAYALLEY LUMBER CO. 30718A-1880 SHELL: 30718A-1880-001</p>	

Auto 2 not to scale

Applicant: Minot Lorna Blackmer

Date: July 24, 2007

Address: 14 Basket Lane
Lot #19 Riverwalk Subdivision

C-B-L: 390-A-019
Permit #: 07-0870

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - C40 (conditional zone, P-2 underlying)

Interior or corner lot -

Proposed Use/Work - build new 1 story single family w/ 2 car attached garage

Sevage Disposal - public

Lot Street Frontage - 50' min - 73.31' given

Front Yard - 10' min - 35' scaled

Rear Yard - ~~12' min~~ 20' min - 46' scaled

Side Yard - 10' min right - 12' scaled
left - 12' scaled

Projections - bulkhead 5x5.5, front entry 9'x5.5', back steps 5'x3'

Width of Lot - 50' min

Height - 35' max - 15.5' scaled

Lot Area - 6,000 sq ft min - 11,747 sq ft given

Lot Coverage Impervious Surface - 40% = 4698.8 sq ft

Area per Family - 6,000 sq ft

Off-street Parking - 2 spaces required - 2 car garage. OK

Loading Bays - N/A

Site Plan - minor/minor 2007-0124

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

min. floor area excluding garage 1000 sq ft - 1365 sq ft OK.

hose	⁴⁰ 28 x 30	= 1200
hose	12 x 5	= 60
bulkhead	5 x 5.5	= 27.5
hose	8 x 13.5	= 108
garage	24 x 18.5	= 444
garage	16 x 6.5	= 104

1943.5

steps 9 x 5.5 = 49.5

1993

back steps 5 x 3

15

2008 OK

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 Zoning Copy

2007-0124

Application I. D. Number

Blackmer Minott P &

Applicant

50 Alpine Rd , Portland , ME 04103

Applicant's Mailing Address

Scott Crepeau

Consultant/Agent

Agent Ph: (207)318-1593

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

7/18/2007

Application Date

Single Family Home Lot#19

Project Name/Description

14 - 14 Basket Ln , Portland, Maine

Address of Proposed Site

390 A019001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Other _____
 After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **7/18/2007**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____

Approval Expiration _____

Extension to _____

Additional Sheets Attached

Condition Compliance

signature _____

date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____
 date _____ amount _____ expiration date _____
- Inspection Fee Paid _____
 date _____ amount _____
- Building Permit Issue _____
 date _____
- Performance Guarantee Reduced _____
 date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____
 date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____
 date _____ signature _____
- Certificate Of Occupancy _____
 date _____
- Performance Guarantee Released _____
 date _____ signature _____
- Defect Guarantee Submitted _____
 submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____
 date _____ signature _____

SPACE AND BULK REQUIREMENTS

MINIMUM LOT SIZE: 6,000 S.F.
MINIMUM FRONTAGE: 50 FT.
MINIMUM SETBACKS:
FRONT YARD 10 FT
REAR YARD* 25 FT
SIDE YARD* 10 FT
MINIMUM LOT WIDTH: 50 FT.

* PRINCIPAL OR ACCESSORY STRUCTURES WITH GROUND COVERAGE
GREATER THAN 100 SQUARE FEET.

Design: DER	Date: 6/07
Draft: CAG	Job No.: -
Checked: DER	Scale: NTS
File Name: 98089-4-ALL LOTS.dwg	



Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

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15 Shaker Road
Gray, ME 04039

Phone: 207-657-6910

Fax: 207-657-6912

Email: mailbox@gorrillpalmer.com

Drawing Name:

GENERAL NOTES

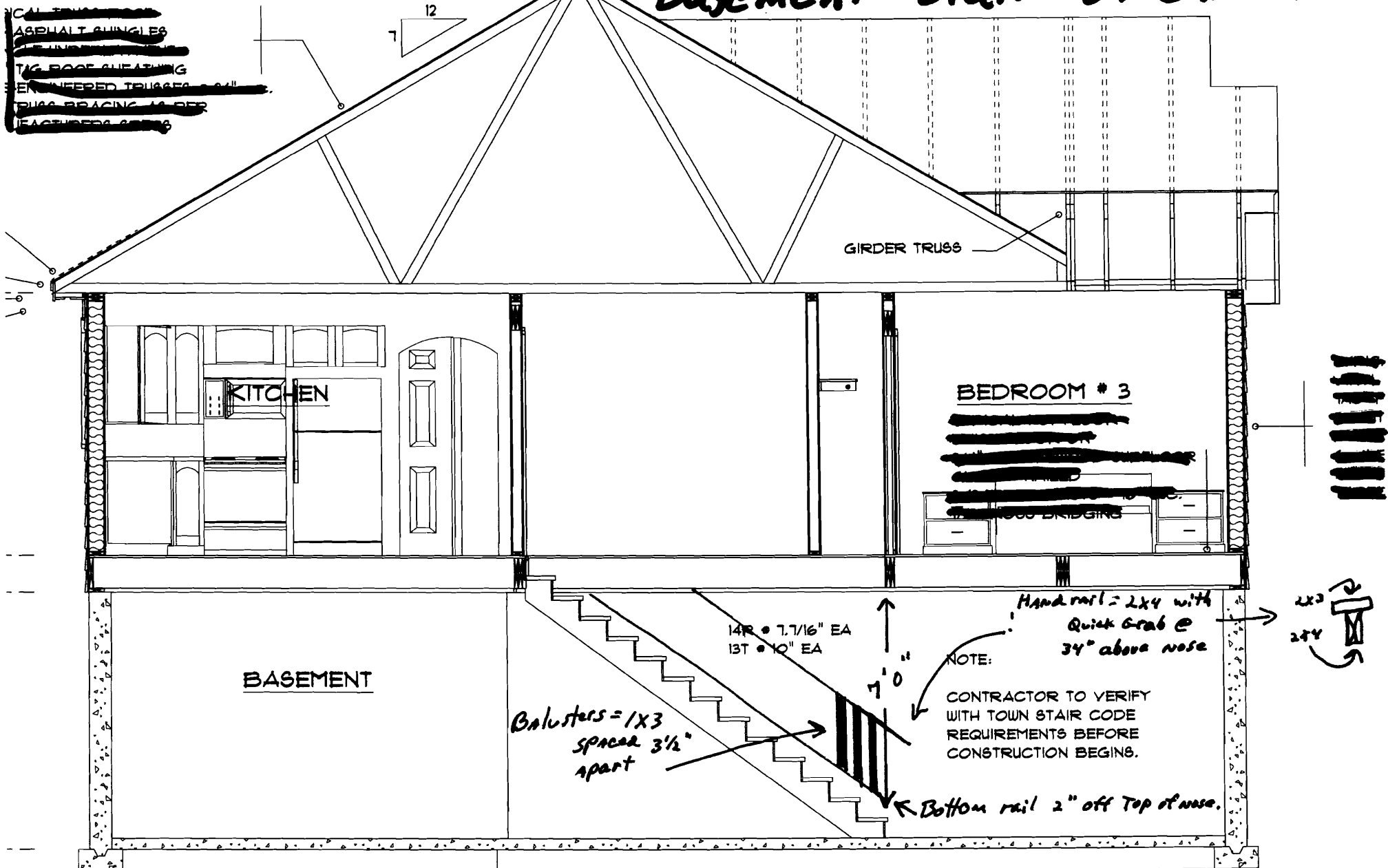
Project:

**BASKET LANE
Portland, ME**

Figure No.

1

Basement Stair Dimensions



CROSS SECTION C-C

SCALE: 1/4" = 1'-0"

S.L. Crepeau

Builder of Exceptional Homes

1227 Highland Avenue
South Portland, Maine 04106
(207) 318-1593

Insulation factors

July 17, 2007

Homeowners: Hank & Lorma Blackmer

Builder / GC: S.L. Crepeau

Location: Lot #19 in the River Walk Subdivision on Basket Lane, Portland, Maine

Walls

<u>Description</u>	<u>R - Factor</u>
Fiberglass Batts	R 20

Ceilings

<u>Description</u>	<u>R - Factor</u>
Fiberglass Batts	R 36

Floors

<u>Description</u>	<u>R - Factor</u>
Fiberglass Batts	R 30

Windows and Entry Doors (see attachments)



Technical



Precision

Below you will find the test results for our various styles of windows. Please select a window type from the navigation on the left to view the results for that window class. The results for standard double hung windows are loaded by default.

Standard Double Hung

standard double hung

awning

premium double hung

glider

single hung

fixed casement

patio door

geometric picture

casement

sidelite

select window type >>>

transom

hopper

Rating (DP) ¹	Max. Structural Pressure Achieved	Water Infiltration ²	Air Infiltration ³	Size Tested
R35	90.00	5.25	0.1	36" x 60"
R40	60.00	6.00	0.05	44" x 60"
R30	52.50	4.50	0.1	48" x 60"

1 Structural Test Pressure (psf) tested to at least 150% of DP rating

2 Water Infiltration (psf) tested to at least 15% of DP rating

3 Air infiltration units = scfm/ft²

	COG u-value ⁴	Unit u-value	Unit SHGC ⁵	Unit VLT ⁶
Clear	0.48	0.47	0.60	0.63
Low E ²	0.30	0.35	0.32	0.55
Low E ² / argon	0.25	0.31	0.32	0.55

4 Center of glass

5 Solar heat gain coefficient

6 Visible light transmission



Technical



Precision

Below you will find the test results for our various styles of windows. Please select a window type from the navigation on the left to view the results for that window class. The results for standard double hung windows are loaded by default.

Glider

standard double hung
 awning
 premium double hung
 glider
 single hung
 fixed casement
 patio door
 geometric picture
 casement
 sidelite
 transom
 hopper

	Rating (DP) ¹	Max. Structural Pressure Achieved	Water Infiltration ²	Air Infiltration ³	Size Tested
standard double hung					
awning					
premium double hung					
glider	R25	37.50	6.00	0.07	72" x 60"(2p)
single hung	R40	60.00	6.00	0.13	80" x 36"(3p)
fixed casement	R40	60.00	6.00	0.01	69" x 48"(3p)
patio door					
geometric picture					
casement					
sidelite					
transom					
hopper					

¹ Structural Test Pressure (psf) tested to at least 150% of DP rating

² Water Infiltration (psf) tested to at least 15% of DP rating

³ Air infiltration units = scfm/ft²

select window type >>

	COG u-value ⁴	Unit u-value	Unit SHGC ⁵	Unit VLT ⁶
Clear	0.49	0.46	0.55	0.61
Clear FF ⁷	0.49	0.46	0.55	0.61
Low E ²	0.30	0.33	0.31	0.53
Low E ² FF ⁷	0.30	0.33	0.31	0.53
Low E ² /argon	0.25	0.30	0.31	0.53
Low	0.25	0.30	0.31	0.53



Technical



Precision

Below you will find the test results for our various styles of windows. Please select a window type from the navigation on the left to view the results for that window class. The results for standard double hung windows are loaded by default.

Casement

standard double hung
awning
premium double hung
glider
single hung

Rating (DP) ¹	Max. Structural Pressure Achieved	Water Infiltration ²	Air Infiltration ³	Size Tested
R50	75.0	9.0	0.01	36" x 60"
C60	120.00	9.0	0.00	24" x 48"

fixed casement
patio door

1 Structural Test Pressure (psf) tested to at least 150% of DP rating
2 Water Infiltration (psf) tested to at least 15% of DP rating
3 Air infiltration units = scfm/ft²

geometric picture
casement

sidelite

transom

hopper

	COG u-value ⁴	Unit u-value	Unit SHGC ⁵	Unit VLT ⁶
Clear	0.48	0.42	0.53	0.55
Clear FF ⁷	0.48	0.42	0.53	0.55
Low E ²	0.30	0.31	0.28	0.48
Low E ² FF ⁷	0.30	0.30	0.28	0.48
Low E ² /argon	0.25	0.28	0.28	0.48
Low E ² /argon FF ⁷	0.25	0.28	0.28	0.48
TC88 ² / LE / krypton	0.12	0.20	0.31	0.39

select window type

Thermal values* for wood-edge steel entry door unit with NO glass or clear insulated glass (I.G.)

U-value	SHGC <small>Solar Heat Gain Coefficient</small>	Meets or exceeds the performance levels for the following ENERGY STAR Climate Region Map
0.16	0.01	Northern, N. Central, S. Central & Southern
<i>Door unit with NO glass insert</i>		
0.20	0.05	Northern, N. Central, S. Central & Southern
<i>Door unit with 1/4 glass insert - 1" I.G.</i>		
0.29	0.20	Northern, N. Central, S. Central & Southern
<i>Door unit with 1/2 glass insert - 1" I.G.</i>		
0.34	0.29	Northern, N. Central, S. Central & Southern
<i>Door unit with 3/4 glass insert - 1" I.G.</i>		
0.38	0.35	N. Central, S. Central & Southern
<i>Door unit with FULL glass insert - 1" I.G.</i>		

ATI report 48372.03-116-45 & 43967.04-201-45

Thermal performance values have been established in accordance with the International Energy Conservation Code (**IECC-2000**); section 102.5.2 / U-values determined in accordance with NFRC 100 & SHGC values determined in accordance with NFRC 200.

The **ENERGY STAR** Climate Region Map gives you clear guidelines for determining which door unit will do the best job to help reduce heating and cooling cost in your region – and your home.

Copy of the map available at www.energystar.gov

*Values based on 2'0" nominal panel width or greater

S.L. Crepeau

Builder of Exceptional Homes

1227 Highland Avenue
South Portland, Maine 04106
(207) 318-1593

Window And Door Schedule

July 17, 2007

Homeowners: Hank & Lorma Blackmer

Builder / GC: S.L. Crepeau

Location: Lot #19 in the River Walk Subdivision on Basket Lane, Portland, Maine

Windows

Label on Print

TW3046

TW3046-2

TW2436

CX 135

Description

Double Hung (egress)

Double Hung 2 unit (egress)

Double Hung

Casement

Paradigm Call Size

DH3660

DH3660-2

DH2436

C3042

R.O.

36" x 60"

71 1/2" x 60"

24" x 36"

30" x 42"

Entry Doors

Label on Print

3' - 0"

3' - 0"

3' - 0"

6' - 0"

Description

Front Entry

Back Garage Entry

Garage to House Entry (90 min fire)

Patio

Call Size

3' - 0" x 6' - 8"

3' - 0" x 6' - 8"

3' - 0" x 6' - 8"

PD2P6080

R.O.

37 1/2" x 82"

37 1/2" x 82"

37 1/2" x 82"

61" x 82"

Interior Doors

Label on Print

1' - 4"

2' - 4"

2' - 6"

2' - 4"

4' - 0"

Description

Molded 6 panel hollow door

Molded 6 panel hollow door

Molded 6 panel hollow door

Molded 6 panel hollow door

Molded panel bi-fold doors

Call Size

1' - 4" x 6' 8"

2' - 4" x 6' 8"

2' - 6" x 6' 8"

2' - 4" x 6' 8"

4' - 0" x 6' 8"

R.O.

19" x 81 1/2"

32" x 81 1/2"

34" x 81 1/2"

32" x 81 1/2"

50 1/2" x 81 1/2"

S. L. Crepeau - Builder

Scott L. Crepeau
1227 Highland Avenue
South Portland, Maine 04106
(207) 318-2593

July 31, 2007

390-A-019

Ann
City of Portland
Code enforcement office

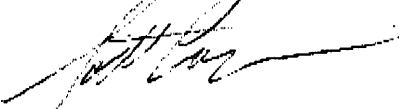
Subject: Lot # 19, Riverwalk Subdivision, Owners: Blackmer

Dear Ann,

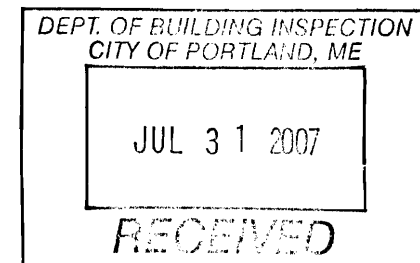
The drafted house prints from the lumber yard show a bulkhead on the house. However the site plan does not show a bulkhead. **There will not be a bulkhead on this house.** The lumber yard took the liberty of showing a bulkhead on the house prints in case the home owner wanted it, without having to take the time draw it in again.

If you have any questions or concerns, please call me at 318-1593.

Thank you for your time.



Scott Crepeau



874-8716

S.L. Crepeau

Builder of Exceptional Homes

1227 Highland Avenue
South Portland, Maine 04106
(207) 318-1593

August 23, 2007

Tammy Munson

Homeowners: Hank & Lorma Blackmer

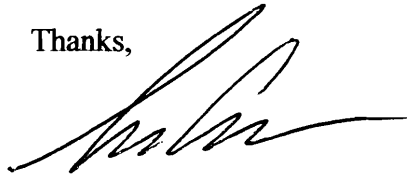
Builder / GC: S.L. Crepeau

Location: Lot #19 in the River Walk Subdivision on Basket Lane, Portland, Maine

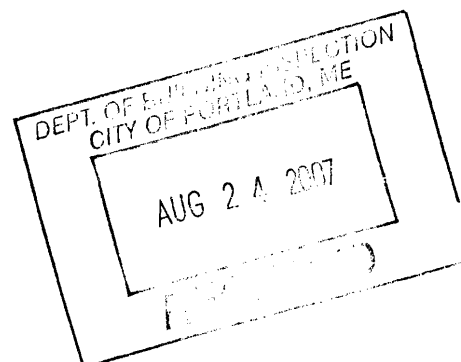
Tammy,

Attached are the details you were looking for. If anything is missing or not clear enough, please call.

Thanks,



Scott Crepeau



14 Basket 07-0870

Fax # 797-4023

Scott # 318-1593

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), Section R403.1 & R403.1.4.1)	Frost wall shown @ 3'-2"	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK - noted	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" - 6' oc	
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	NOT shown	
Sill/Band Joist Type & Dimensions	2x6 PT	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2" x 12"-S - 15' span 16" oc - OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trussed	

✓ 1

2

07-0870

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Trussed	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" Roof / 7/16" wall / 3/4" Floor	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space? (Above or beside)		
3 Fire separation (Section R309.2) shows	5/8" on ceiling & wall - to ridge	
Opening Protection (Section R309.1)		
4 Emergency Escape and Rescue Openings (Section R310)	Not noted	
Roof Covering (Chapter 9)	Asphalt	
5 Safety Glazing (Section R308)	w/in 2' of doors	
6 Attic Access (Section R807)	Not shown	
7 Chimney Clearances/Fire Blocking (Chap. 10)	Not shown	
8 Header Schedule (Section 502.5(1) & (2))	Not shown	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Walls - R-20 Ceiling - R-36 Floors - R-30	U - 0.35

Walls - R-20
Ceiling - R-36
Floors - R-30

07-0870

⑩	Type of Heating System	Not shown	
	Means of Egress (Sec R311 & R312) Basement 1 Number of Stairways 1 Interior 2 Exterior 0 Treads and Risers 10" T + 7 7/16" R. (Section R311.5.3)		
⑪	Width (Section R311.5.1) Not shown Headroom (Section R311.5.2) 7'-0" Guardrails and Handrails — OK see detail (Section R312 & R311.5.6 - R311.5.6.3)		
⑫	Smoke Detectors (Section R313) Location and type/Interconnected	Not shown	
	Draftstopping (Section R502.12) and Fireblocking (Section R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
⑬	Deck Construction (Section R502.2.1)	Need garage stair detail	

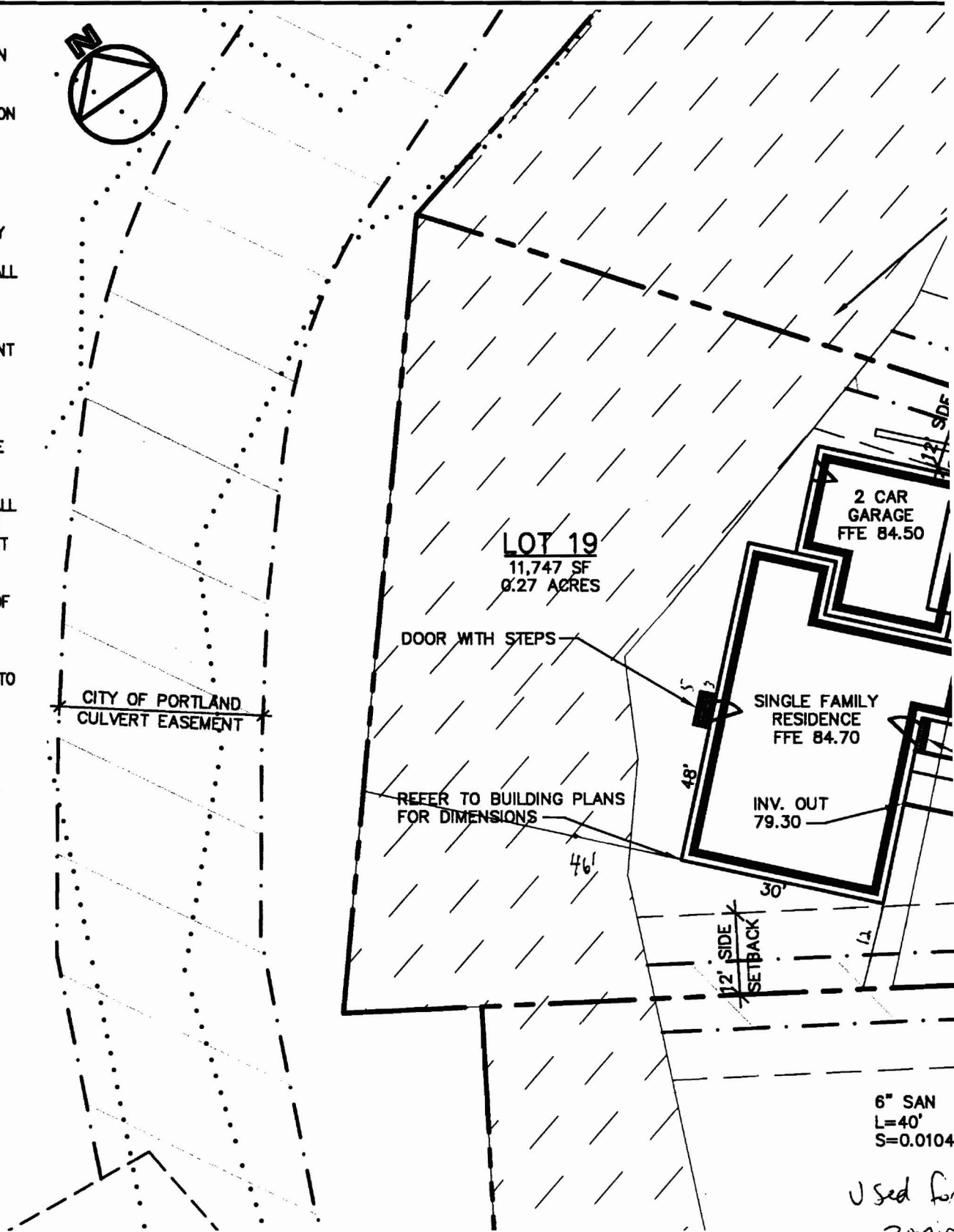
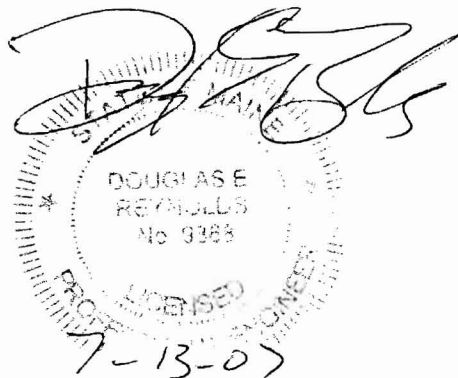
⑭ Bottom rail of guard - 6" diam max triangular opening

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2005.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

NOTE:

WATER SERVICE AND SEWER SERVICE SHALL HAVE A MINIMUM 5' OF SEPERATION.



Rev.	Date	Revision
-	-	-

Design: JLG	Date: 06/07
Draft: CAG	Job No.: 1890
Checked: DER	Scale: 1"=20'
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Drawing Name:

Project:

6" SAN
L=40'
S=0.0104

Used for
Zoning

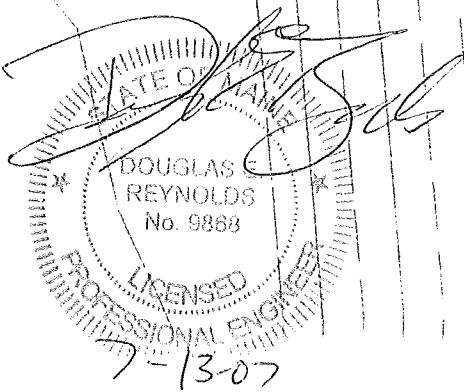
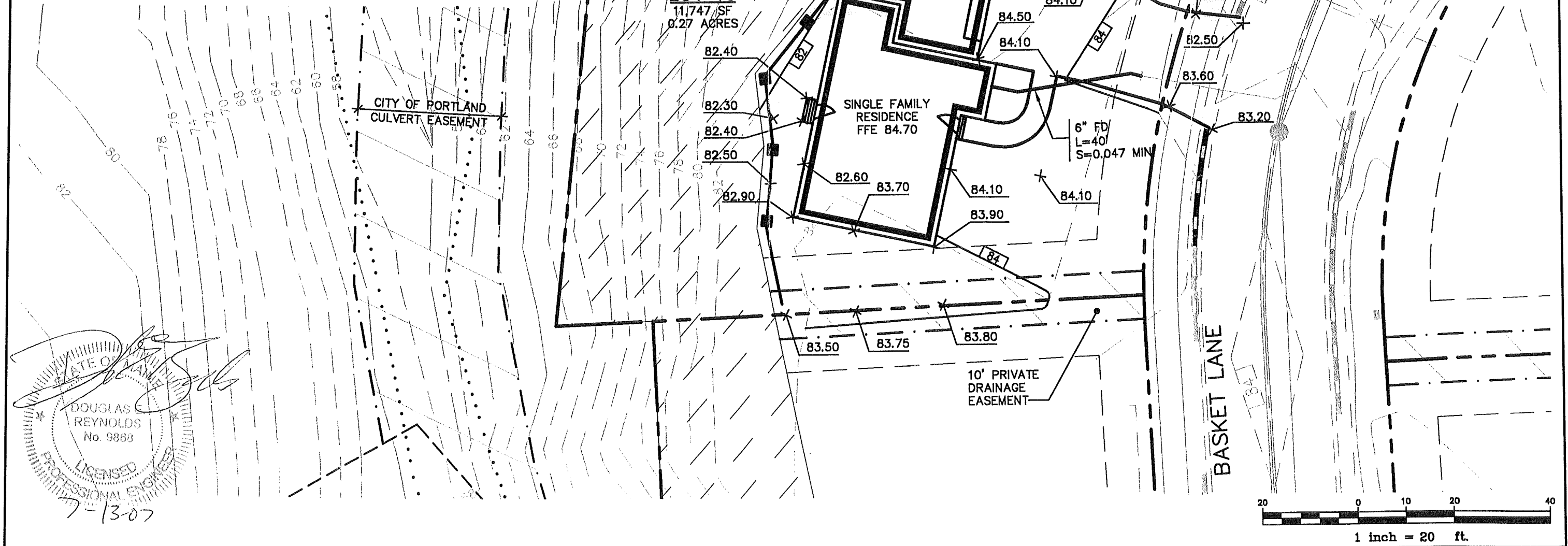
NOTE:

THE OWNER OF THE LOT SHALL BE REQUIRED TO RETAIN A LICENSED MAINE LAND SURVEYOR TO LAYOUT AND CERTIFY THE LOCATION AND ELEVATION OF SAID FOUNDATION AND HOUSE IN ORDER TO ENSURE THAT SAID LOCATION AND ELEVATION CONFORM TO APPROVED SITE PLAN SUBMISSIONS.

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



Rev.	Date	Revision

Design: JLG	Date: 06/07
Draft: CAG	Job No.: 1890
Checked: DER	Scale: 1"=20'
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Traffic and Civil Engineering Services

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E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Lot 19 Grading Plan
Project:	RIVERWALK

Figure No.
3