

Presumpscot River Place  
Phase III - Subdivision Plan  
Portland, Maine

MADE FOR  
Robert Adam & Burt Wolf  
Portland, Maine

JOB# 99064 DATE: 12/04/01 SCALE: 1" = 100'

BOOK#

DISC#

FILE#

**Titcomb Associates**  
Portland North Business Park  
Falmouth, Maine 04105

NO.	DATE	DESCRIPTION	BY
14	4/28/03	Revise approval block	TJM
13	4/10/03	Add Easement H	TJM
13	3/17/03	Revised Easements A,B&D/Note	TJM
12	10/21/02	Easements/monuments/note	TJM
11	8/28/02	Change lot configuration	TJM
10	8/22/02	Change note 13 and undisturbed area	TJM
9	3/08/02	Added note 17	GP
8	1/18/02	Added Drainage Easements and Undisturbed Dimensions	GP
7	12/21/01	Revised per City Staff Comments	GP
6	12/04/01	Reconfigured lots 1-30 & Hope Ave.	TJM
5	7/18/01	Reconfigured no. end of Eagle Ave.	TJM
4	05/17/01	Revise Lots 1-12, right of way	DET
3	11/14/00	Revised Lot 1, right of way	JNS
2	11/14/00	Added Notes & Sections	GP
1	07/17/00	Lots 1,2,11,12, abutters, note 4	DET

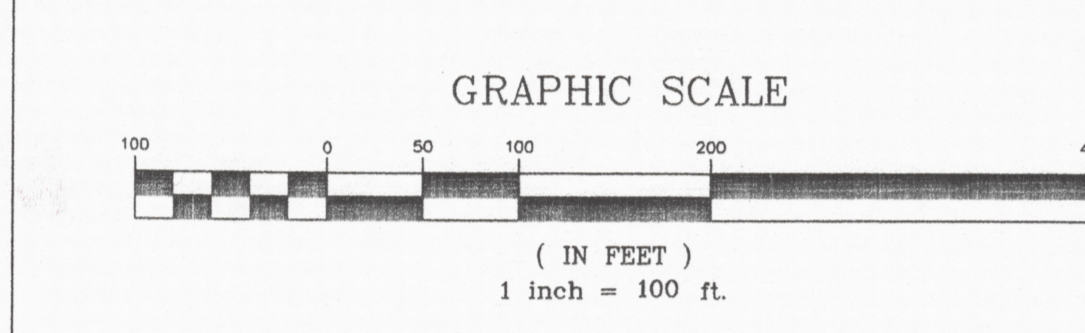
NOTES:

- THIS PLAN IS SHEET 3 OF A PLAN SET OF 11 SHEETS ENTITLED "PRESUMPSCOT RIVER PLACE PHASE III" WHICH IS ON RECORD IN THE CITY OF PORTLAND PLANNING OFFICE.
- DEVELOPMENT OF THE PARCELS PROPOSED AS PART OF THIS PLAN SHALL BE IN ACCORDANCE WITH DIVISION 6 (SECTIONS 14-78 THROUGH 14-81) OF CHAPTER 14, LAND USE, OF THE CODE OF ORDINANCES OF THE CITY OF PORTLAND, SUPPLEMENT 5, DATED JANUARY 1995, OR AS AMENDED FROM TIME TO TIME. EXCEPTS OF THE DIMENSIONAL REQUIREMENTS ARE PRESENTED BELOW.
- MINIMUM LOT AREA: 50,000 S.F.
- MINIMUM FRONT YARD SETBACK: 25 FT.
- MINIMUM REAR YARD SETBACK: 25 FT.
- MINIMUM SIDE YARD SETBACK: 12 FT.
- MINIMUM FRONT YARD SETBACK: 12 FT.
- MINIMUM REAR YARD SETBACK: 12 FT.
- MINIMUM SIDE YARD SETBACK: 12 FT.
- MINIMUM LOT WIDTH: 80 FT.
- THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.
- \*\* SIDE YARDS SHOWN ON PLAN ARE 14 FEET AND MAY BE INCREASED OR DECREASED DEPENDING UPON NUMBER OF STORES.
- STRUCTURE ENVELOPES AS SHOWN ON THIS PLAN INCLUDING LOTS 12,14,16,18,20,22,24,26,28,30 REPRESENT THE MAXIMUM AREA FOR CONSTRUCTION OF THE PRINCIPAL AND ACCESSORY STRUCTURE. ANY CHANGES TO SUCH AREA MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY OF PORTLAND PLANNING BOARD OR PLANNING AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MUST BE RECORDED IN THE CUMBERLAND COUNTY REGISTER OF DEEDS WITH A REFERENCE TO THE PLAN BOOK AND PAGE FOR THIS PLAN.
- EACH LOT SHALL RECEIVE THE SUBMISSION OF A MINOR/MAJOR SITE REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER M OF THE PORTLAND CITY CODE.
- NO TREE CUTTING, GRADING, DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE. STORM DRAINAGE TREES MAY BE REMOVED ONLY IF THEY REPRESENT A POTENTIAL HAZARD TO PROPERTY OR RESIDENCE. NO CONCENTRATED RUNOFF SHALL BE DIRECTED TO THIS AREA. THIS NOTE SHALL APPEAR ON THE PROPERTY EASED OF ALL LOTS WITH UNDISTURBED ZONES.
- PRIVATE DRAINAGE EASEMENTS: TREE CLEARING OR VEGETATION DISTURBANCE, FILLING, REGRADING, CONSTRUCTION OF BUILDINGS OR OTHER OBSTRUCTIONS SHALL BE PROHIBITED (EXCEPT AS ALLOWED IN NOTE 6) WITHIN THE PRIVATE DRAINAGE EASEMENTS UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND PLANNING DEPARTMENT UNDER SITE PLAN REVIEW. THIS RESTRICTION SHALL BE SPECIFICALLY NOTED IN ALL APPLICABLE DEEDS.
- A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S AGRICULTURAL SPECIFICATION AND STANDARD OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLANTING OF LANDSCAPE TREES AND APPROVALS WILL BE OBTAINABLE FROM THE CITY OF PORTLAND FOR FINANCIAL COMPLIANCE WITH CITY GUIDELINES AND LIMITATIONS OF SECTION 6 OF THE PORTLAND CITY CODE. NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF SECTION 6 OF THE PORTLAND CITY CODE. MAINE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL DRIVEWAYS SHALL BE PAVED WITHIN SIX (6) MONTHS OF THE RECEIPT OF A TEMPORARY CERTIFICATE OF OCCUPANCY AND SHALL BE A MINIMUM OF 12" WIDE. INDIVIDUAL HOMEOWNERS SHALL BE RESPONSIBLE FOR PAVING OF DRIVEWAY.
- NO PUBLIC SERVICES (I.E. SNOW PLOWING, TRASH REMOVAL, LIGHTING) WILL BE PROVIDED UNLESS AND UNTIL THE PROPOSED STREETS ARE ACCEPTED BY THE CITY COUNCIL.
- THE DESIGN ENGINEER OF RECORD, GORRILL-PALMER CONSULTING ENGINEERS, INC. SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. THE APPLICANT SHALL RETAIN GORRILL-PALMER CONSULTING ENGINEERS, INC. TO PROVIDE CONSTRUCTION PHASE SERVICES FOR THE SUBDIVISION INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO PERIODIC SITE INSPECTION FOR ADHERENCE TO ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES AND TO ADDRESS ANY CHANGES IN FIELD CONDITIONS WHICH REQUIRE MODIFICATIONS TO THE DESIGN OF THE SUBDIVISION INFRASTRUCTURE.
- LOTS WITHIN THIS SUBDIVISION MAY REQUIRE INSTALLATION OF INDIVIDUAL PRIVATE PUMP STATIONS TO CONVEY SANITARY WASTES TO THE MANHOLE SYSTEM. REFER TO SHEETS 7,8,9,10 & 11 OF THE PLAN SET FOR ADDITIONAL INFORMATION REGARDING PUMPING OF INDIVIDUAL PUMP STATIONS. THE PLAN SHALL INDICATE THAT DEPENDING ON THE ELEVATION OF THE LOWEST PLUMBING FIXTURE, A PRIVATE PUMP STATION MAY BE REQUIRED. THE PERSPECTIVE PURCHASER SHALL BE PROVIDED WITH A COPY OF SHEETS 7, 8, 9, & 11 OF THE PLAN SET PRIOR TO CLOSING.
- THE OWNERS OF LOTS 1, 8, 10, 15, 16 AND 30 MAY NEED TO OBTAIN A MOEP PERMIT-BY-RULE FOR SOIL DISTURBANCE WITHIN 100 FEET OF A PROTECTED NATURAL BUFFER AREA. THE PERMIT-BY-RULE WOULD ONLY ALLOW FOR DISTURBANCE OF AREAS OUTSIDE OF THE BUFFER AREAS, BUT STILL WITHIN 100 FEET OF THE RESOURCE. THE BUFFER AREAS AS SHOWN ON THE PLAN SHALL NOT BE ALTERED AS A RESULT OF ANY PERMIT-BY-RULE APPLICATION. INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE FOR OBTAINING THIS PERMIT, IF NECESSARY BASED UPON THEIR LIMITS OF DISTURBANCE.
- DEVELOPER MAY CONTRACT FOR THE INSTALLATION OF IMPROVEMENTS NOTED ON THE PLAN BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR THE FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER PURSUANT TO CONDITIONS AND LIMITATIONS OF THE SUBDIVISION AND SITE PLAN ORDINANCE OF THE CITY OF PORTLAND WITHOUT PRIOR APPROVAL OF THE TRANSFER BY THE PLANNING AUTHORITY.
- "NO PARKING" STREET SIGNS SHALL BE INSTALLED ALONG THE SUBDIVISION ROADWAYS PERMANENT OR TEMPORARY FOR THIS SUBDIVISION.
- THE ROADWAYS WILL BE COMPLETED AND OFFERED TO THE CITY FOR ACCEPTANCE WITHIN TWO YEARS OF POSTING OF THE PERFORMANCE GUARANTEE UNLESS THE CITY AND APPLICANT AGREE IN WRITING TO EXTEND THE DURATION OF THE GUARANTEE, AND THE PERFORMANCE GUARANTEE IS EXTENDED ACCORDINGLY.
- OWNERS OF LOTS 24 & 25 SHALL NOT IMPACT WETLANDS AT THE REAR OF THE LOTS.
- ACCESS TO LOT 18 SHALL BE ONLY FROM HOPE AVENUE.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR ANY HOUSE LOT IN THE SUBDIVISION UNTIL THE BASE PAVEMENT HAS BEEN COMPLETED ALONG ITS ENTIRE LENGTH OF HOPE AVENUE.

ALTERATIONS TO ORIGINAL APPROVED RECORDING PLAT HAVE BEEN APPROVED BY THE CITY OF PORTLAND DEPARTMENT OF PLANNING AND URBAN DEVELOPMENT IN COMPLIANCE WITH SECTION 14-496(3) OF THE SUBDIVISION ORDINANCE. THE APPROVED ALTERATIONS INCLUDE RELABELING CERTAIN CULVERT EASEMENTS.

Director of Planning and Development  
DATE: June 14, 2004  
RECORDED: BK \_\_\_\_\_ CHART \_\_\_\_\_

GRAPHIC SCALE  
1 inch = 100 ft.



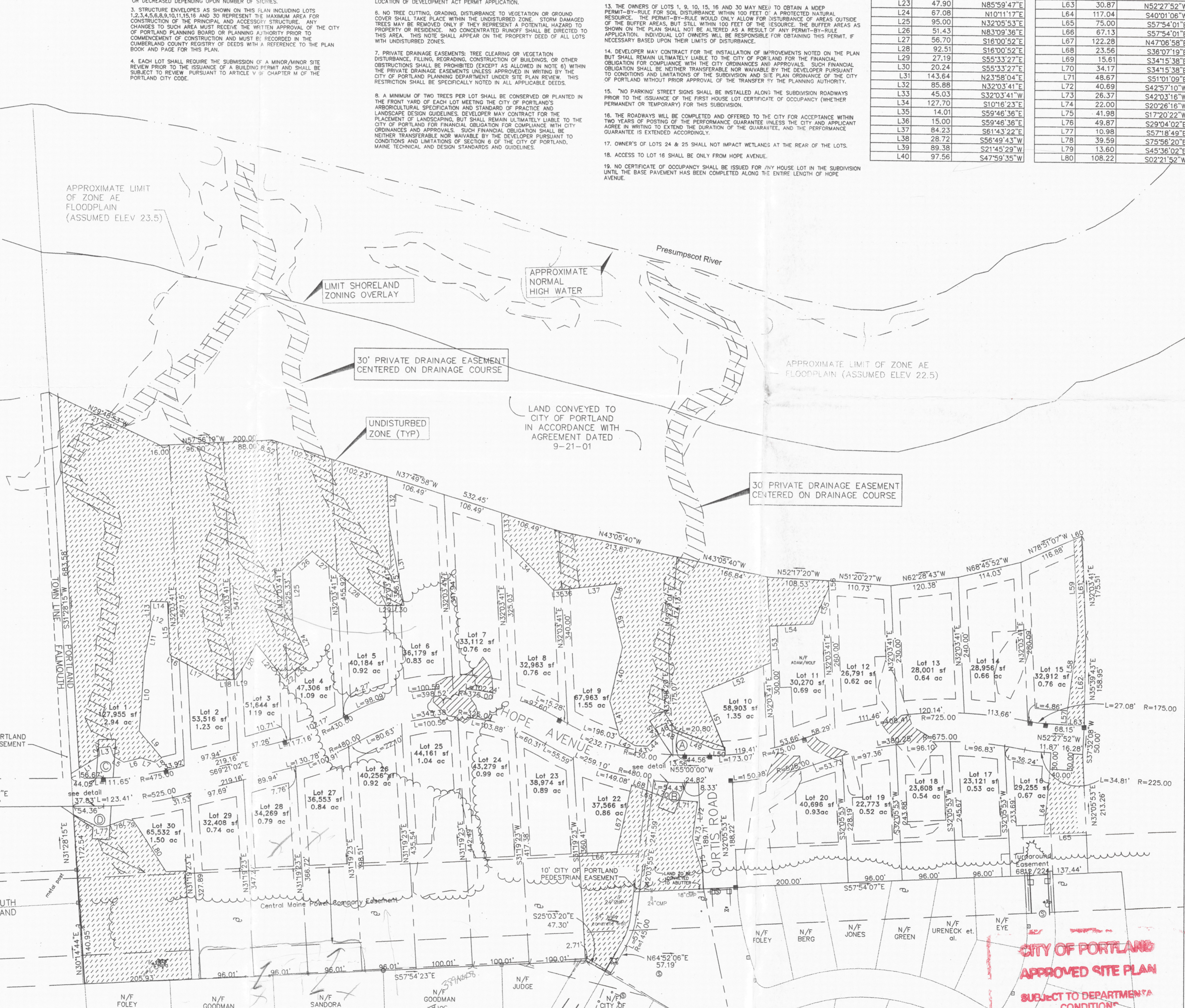
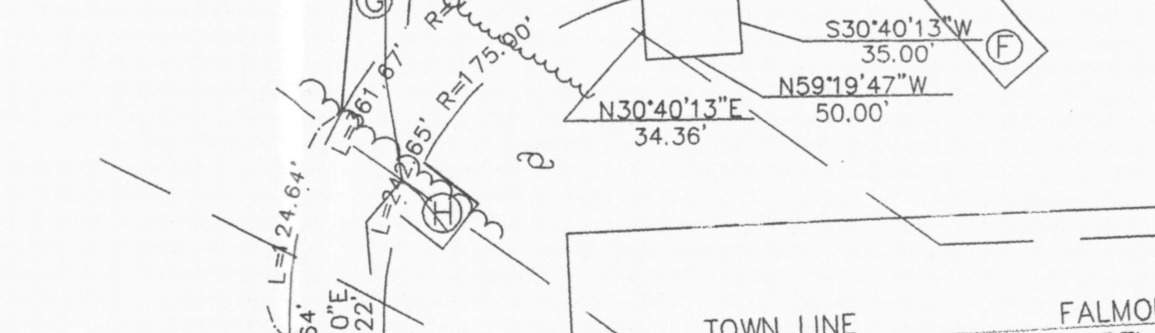
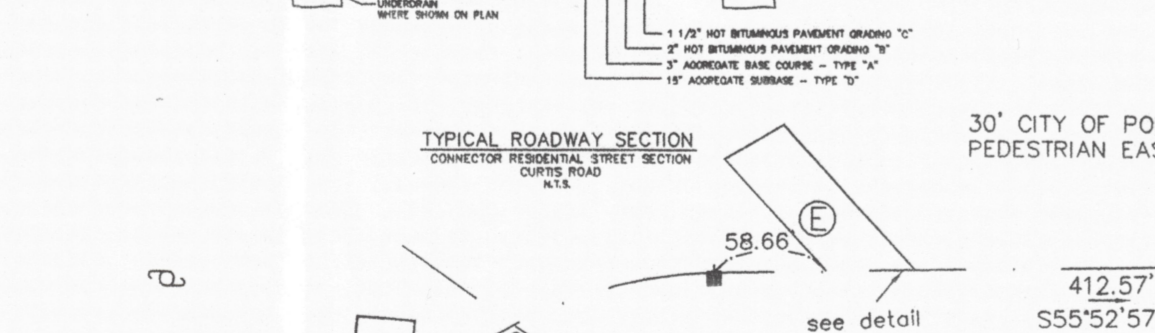
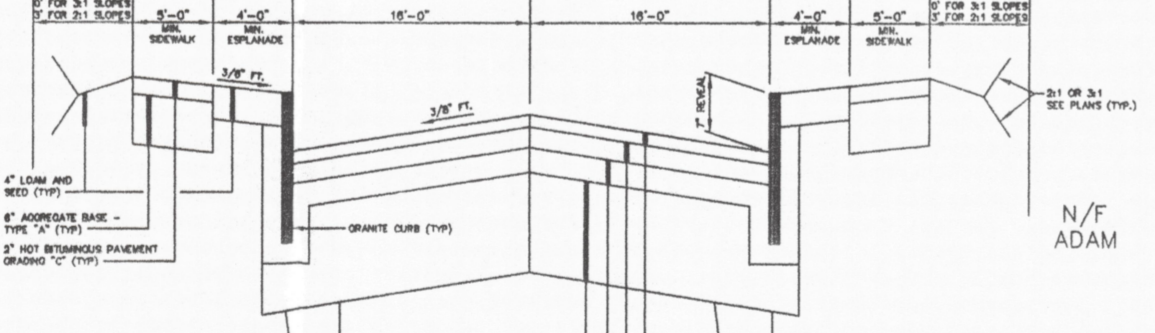
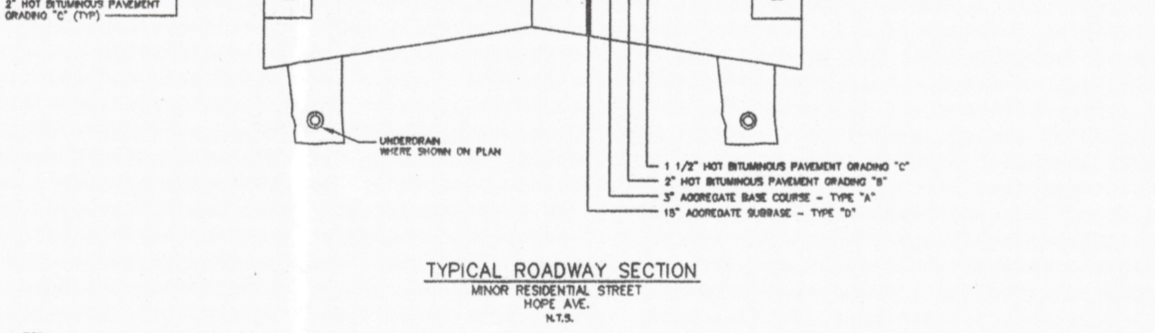
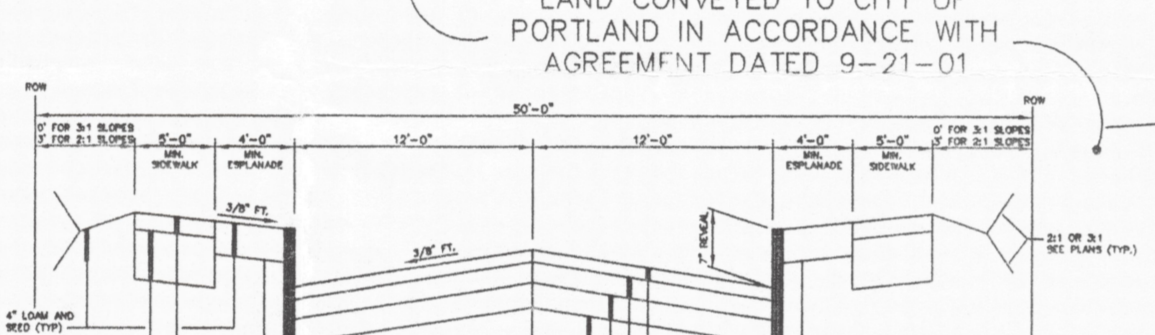
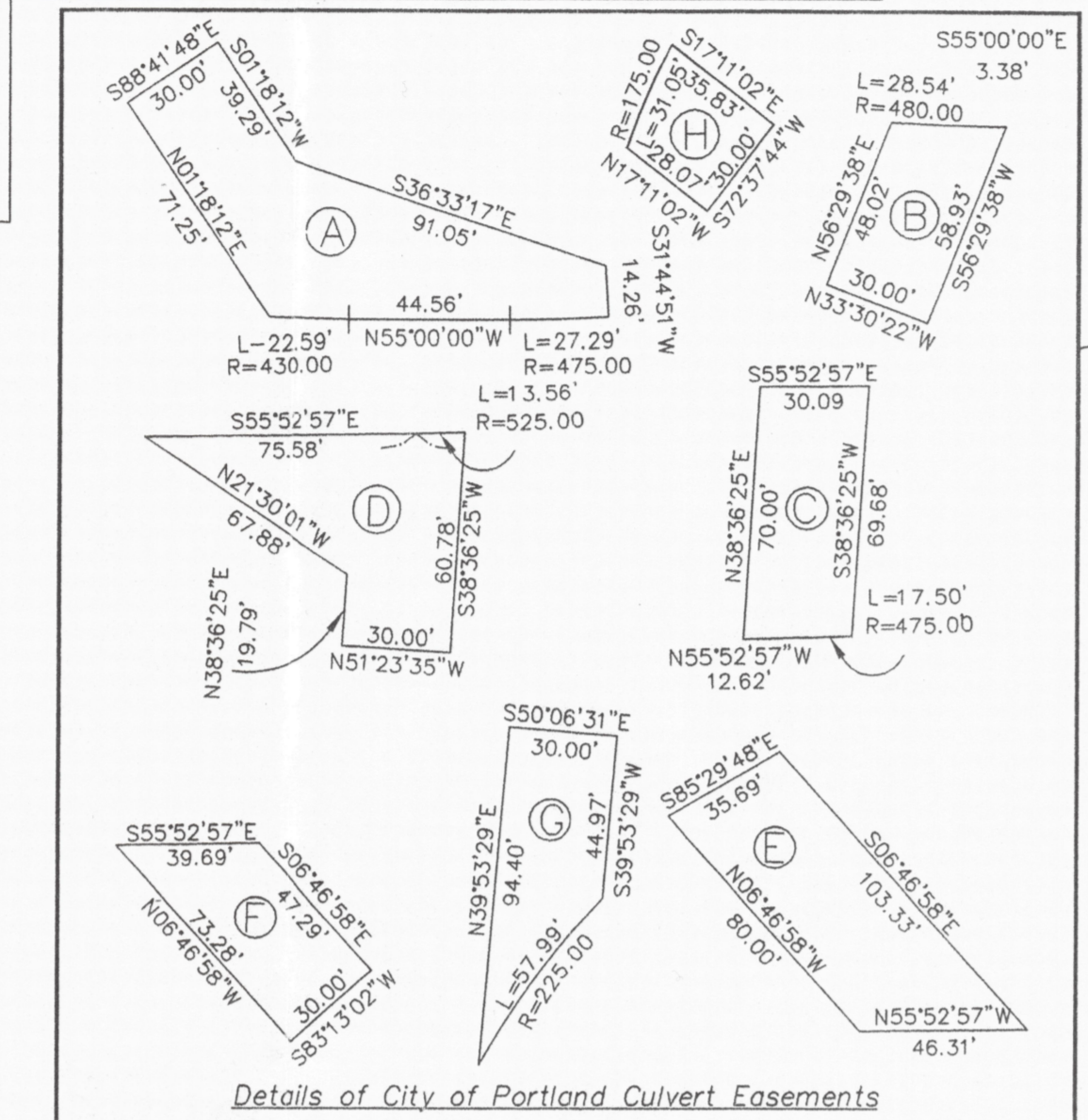
- LEGEND
- Iron pin found
  - Copper Iron Rod Set PLS #1273
  - Granite monument found
  - Utility pole
  - Catch basin
  - Sewer manhole
  - Drain manhole
  - Water valve
  - Right of way
  - Lot lines
  - Setback
  - Monument, 6x6 Granite to be set
  - N/F
  - 68.21
  - Spot elevation
  - Existing contour
  - Subdivision Lot Number
  - Potential Edge of Driveway
  - Potential Building Location
  - Potential Contour
  - Anticipated Permitted Wetland Fills
  - Undisturbed Zone
  - Drainage Easement

- REFERENCES
- Plan of Property for Robert Adam made by Land Use Consultants dated August 1978. Recorded in Plan Book 125, Pages 45 and 46.
  - Presumpscot River Place Amended Recording Plat made for The Teal Company by Land Use Consultants dated May 10, 1983 and revised February 6, 1984. Recorded in Plan Book 141, Page 42.
  - Plan of Crestview Acres, Section 5, made for Donald R. Peters by H.I. & E.C. Jordan dated December 24, 1959. Recorded in Plan Book 81, Page 23.
  - Third Amended Recording Plat of Alice Street Subdivision made for Lloyd B. Wolf by Land Use Consultants dated February 27, 1996. Recorded in Plan Book 196, Page 319.
  - Plan of Outposts Park owned by A.M. Hayes. Recorded on February 18, 1902 in Plan Book 9, Page 103.
  - Plan of Valley View Heights (Curtis Road) made for C.H. Hanson Co. by H.I. & E.C. Jordan Company dated January 31, 1967. Recorded in Plan Book 74, Page 1.
  - Presumpscot River Place II made for The Teal Company by Land Use Consultants dated June 26, 1984 and revised August 9, 1985. Recorded in Plan Book 149, Page 64.

- NOTES
- Surveyors seal is for interior lot dimensions only. Property perimeter is based on plan reference #1.
  - Bearings are based on True North as shown on plan reference #1. Coordinate system is based on an assumed datum.
  - Abutters noted on this plan are per City of Portland records.
  - Elevations are referenced to City of Portland datum. Location of benchmarks: Front bonnet nut of hydrant at the corner of Alice Street and Carter Street. Elevation = 141.96 feet.

SURVEYOR'S SEAL IS FOR INTERIOR LOT CALCULATIONS ONLY. THE BOUNDARY PERIMETER IS BASED ON INFORMATION PROVIDED BY THE OWNER AND INFORMATION SHOWN ON A PLAN OF PROPERTY MADE FOR ROBERT ADAM BY LAND USE CONSULTANTS DATED AUGUST 1978 AND RECORDED IN THE CUMBERLAND COUNTY REGISTER OF DEEDS IN PLAN BOOK 125, PAGES 45 AND 46. NO CERTIFICATIONS ARE STATED OR IMPLIED REGARDING THE ACCURACY OR VALIDITY OF THE PERIMETER BOUNDARIES.

DAVID E. TITCOMB MAINE PLS #1273



LINE	LENGTH	BEARING
L1	60.51	S87°56'20"E
L2	14.06	N25°58'56"E
L3	20.70	S62°37'26"E
L4	18.73	S24°24'41"E
L5	20.74	S14°48'58"W
L6	31.69	S70°00'26"E
L7	26.81	S37°32'41"E
L8	14.22	N89°13'16"E
L9	61.03	N05°12'41"W
L10	130.00	N38°53'48"E
L11	64.92	N46°39'53"E
L12	3.53	N33°40'41"W
L13	34.53	N35°17'12"E
L14	30.00	S54°42'48"E
L15	94.34	S32°03'41"W
L16	18.62	S27°11'02"E
L17	75.23	S27°11'02"E
L18	31.35	S27°54'07"E
L19	2.67	S57°54'07"E
L20	73.52	N65°23'33"E
L21	80.00	S04°00'13"E
L22	7.22	N85°59'47"E
L23	47.90	N85°59'47"E
L24	67.08	N10°11'17"E
L25	95.00	N32°05'53"E
L26	51.43	N83°09'36"E
L27	56.70	S16°00'52"E
L28	92.51	S16°00'52"E
L29	27.19	S55°33'27"E
L30	20.24	S55°33'27"E
L31	143.64	N23°58'04"E
L32	85.88	N32°03'41"E
L33	45.03	S32°03'41"E
L34	127.70	S10°16'23"E
L35	14.01	S59°46'36"E
L36	15.00	S59°46'36"E
L37	84.23	S81°13'22"E
L38	28.72	S86°49'43"W
L39	89.38	S21°45'29"W
L40	97.56	S47°59'35"W

LINE	LENGTH	BEARING
L41	62.44	S18°36'02"W
L42	32.50	S23°32'09"E
L43	22.09	S53°21'02"E
L44	28.08	N82°22'39"E
L45	14.00	N08°18'25"E
L46	20.00	S81°14'35"E
L47	14.00	S08°18'25"W
L48	5.02	S32°54'30"E
L49	61.66	S32°54'30"E
L50	18.39	S52°20'03"E
L51	110.36	N12°19'20"E
L52	136.83	S77°28'09"E
L53	64.56	N32°01'27"E
L54	76.71	S88°08'19"E
L55	70.50	N58°26'57"E
L56	12.50	N32°03'41"E
L57	25.00	N37°32'41"E
L58	133.48	N42°33'29"E
L59	169.72	N32°03'41"E
L60	16.27	S78°36'47"E
L61	175.91	S32°27'28"W
L62	156.95	S35°39'43"W
L63	30.87	S42°27'52"W
L64	117.04	S42°01'06"W
L65	75.00	S57°54'01"E
L66	67.13	S57°54'01"E
L67	122.28	N47°06'58"E
L68	23.56	S38°07'19"E
L69	15.61	S34°15'38"E
L70	34.17	S34°15'38"E
L71	48.67	S51°01'09"E
L72	40.69	S42°57'10"W
L73	26.37	S42°03'16"W
L74	22.00	S20°26'16"W
L75	41.98	S17°20'22"W
L76	49.87	S29°04'02"E
L77	10.98	S27°56'20"E
L78	39.59	S27°56'20"E
L79	13.60	S45°36'02"E
L80	108.22	S02°21'52"W

CITY OF PORTLAND  
APPROVED SITE PLAN  
SUBJECT TO DEPARTMENTAL CONDITIONS  
DATE OF APPROVAL: June 24, 2004