

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0216

Application I. D. Number

10/15/2004

Application Date

Hope Ave Lot #4

Project Name/Description

118 - 118 Hope Ave, Portland, Maine

Address of Proposed Site

390 A010001

Assessor's Reference: Chart-Block-Lot

Goldeneye Corp
Applicant
32 East Bridge St, Westbrook, ME 04092
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 47306 sf

Acres of Site _____

Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
Flood Hazard Shoreland Historic Preservation DEP Local Certification
Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 10/15/2004

RC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Reviewer _____
Approval Expiration _____ Extension to _____
Condition Compliance _____ Additional Sheets Attached

Performance Guarantee Required* Not Required

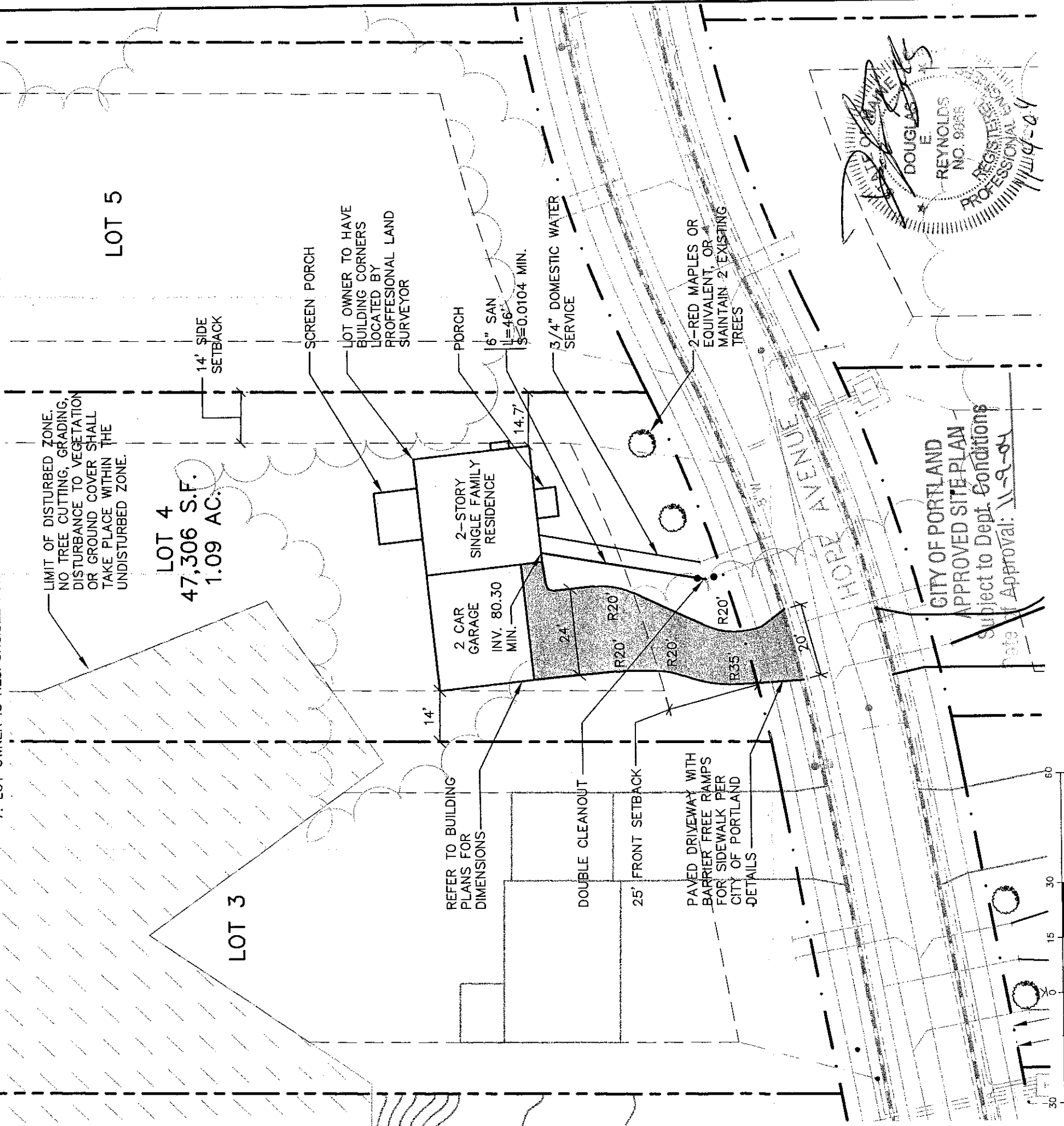
No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted	date	amount	expiration date
Inspection Fee Paid	_____	_____	_____
Building Permit Issue	_____	_____	_____
Performance Guarantee Reduced	_____	_____	_____
Temporary Certificate of Occupancy	_____	remaining balance	signature
Final Inspection	_____	<input type="checkbox"/> Conditions (See Attached)	expiration date
Certificate Of Occupancy	_____	signature	_____
Performance Guarantee Released	_____	signature	_____
Defect Guarantee Submitted	submitted date	amount	expiration date
Defect Guarantee Released	_____	_____	_____

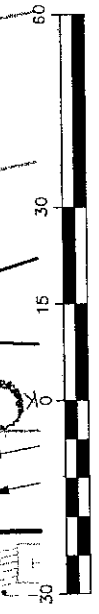
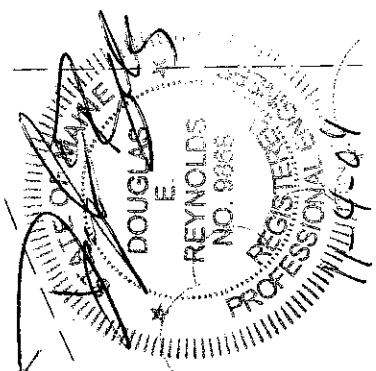


GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11-9-04



Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'
File Name: 98089-1198089-ALL-LOTS.DWG			

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 P.O. Box 1227
 15 Shaw Ave.
 067-WE 0609
 207-697-6810
 FAX: 207-697-6812
 E-Mail: mtd@gorrillpalmer.com

Drawing Name: **Lot 4 Layout & Utility Plan**
 Project: **PRESUMPCOT RIVER PLACE**



NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

UNDISTURBED ZONE PER CITY OF PORTLAND SUBDIVISION APPROVAL, NO TREE CUTTING, GRADING, DISTURBANCE OF VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT S=0.0104 MIN.

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE.

LOT 4
47,306 S.F.
1.09 AC.

LOT 5

COORDINATE WITH LOT 5 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE. UPON AGREEMENT TO GRADE ALONG PROPERTY LINE, SILT FENCE SHALL SHIFT WEST OF GRADING

SILT FENCE (TYP.)

2 CAR GARAGE
F.F.E. 91.25

2-STORY SINGLE FAMILY RESIDENCE
F.F.E. 92.50

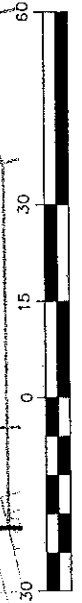
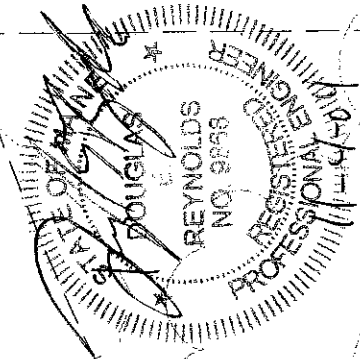
NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

DMHSA

NOPEL AVENUE

NOPEL AVENUE



1 inch = 30 ft.

Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'

File Name: 98089-1\98089-ALL-LOTS.DWG

GP
Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1217
15 Shore Road
Gray, ME 04859
207-637-6910
FAX: 207-637-6912
E-Mail: mtdoug@palmer.com

Drawing Name: **Lot 4 Grading & Drainage Plan**

Project: **PRESUMPSCOT RIVER PLACE**

Figure No.

3

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New Building

Building Addition

Change Of Use

Residential

Office

Retail

Manufacturing Warehouse/Distribution Parking Lot

Other (specify) _____

47306 sf

Area of Site

Zoning

Proposed Building square Feet or # of Units

Check Review Required:

Site Plan (major/minor)

Subdivision # of lots

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional Use (ZBA/PB)

Zoning Variance

Other _____

Fees Paid:

Site Plan

\$250.00

Subdivision

Engineer Review

\$50.00

Date 10/15/2004

RC Approval Status:

Approved

Approved w/Conditions See Attached

Denied

Approval Date

Approval Expiration

Extension to

Additional Sheets Attached

Condition Compliance

signature

date

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Required*

Not Required

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Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

signature

Performance Guarantee Released

date

amount

expiration date

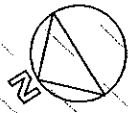
Defect Guarantee Submitted

submitted date

signature

Defect Guarantee Released

date



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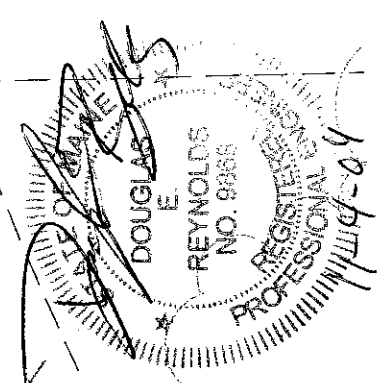
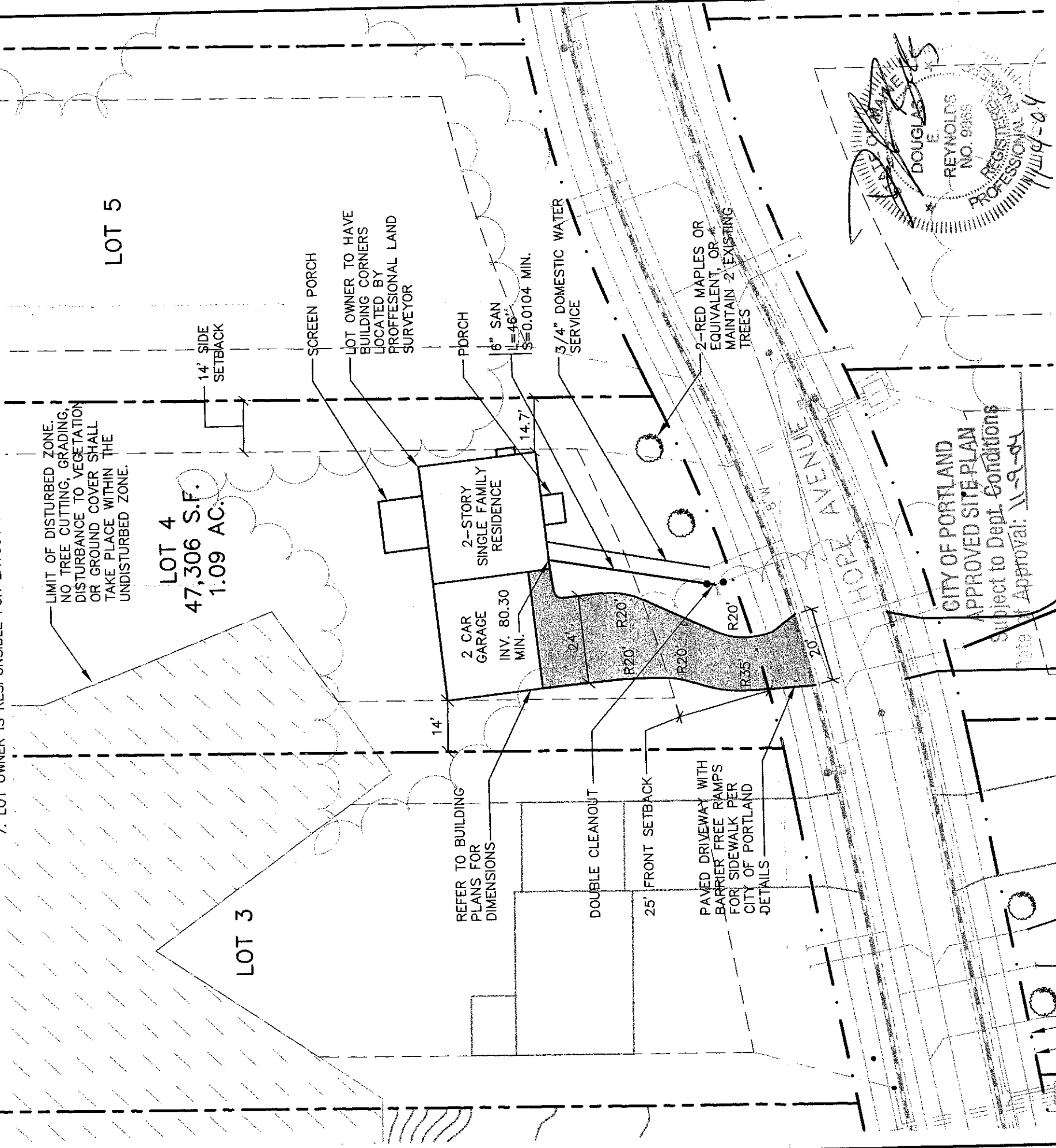
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CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-2-04



Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
90 Bay 1317
15 Essex Road
Orry, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mholton@gorrillpalmer.com

Drawing Name: Lot 4 Layout & Utility Plan
Project: PRESUMPCOT RIVER PLACE



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LOT 3

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT S=0.0104 MIN.

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LOT 4
47,306 S.F.
1.09 AC.

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SILT FENCE (TYP.)

89.50

2 CAR GARAGE
F.F.E. 91.25

2-STORY SINGLE FAMILY RESIDENCE
F.F.E. 92.50

F.F.E. 91.25

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DMH5A

NOPE AVENUE

90.24

89.90

90.37

90.75

90.40

90.06

90.55

91.25

91.75

91.8

CB7

MH5

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1 inch = 30 ft.

Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'

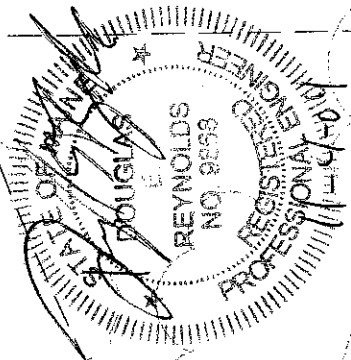
GP Gorrill-Palmer Consulting Engineers, Inc.
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E-Mail: mthorpe@gorrillpalmer.com
15 Sagar Road
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PO Box 1337
Brunswick, ME 04039

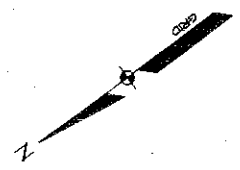
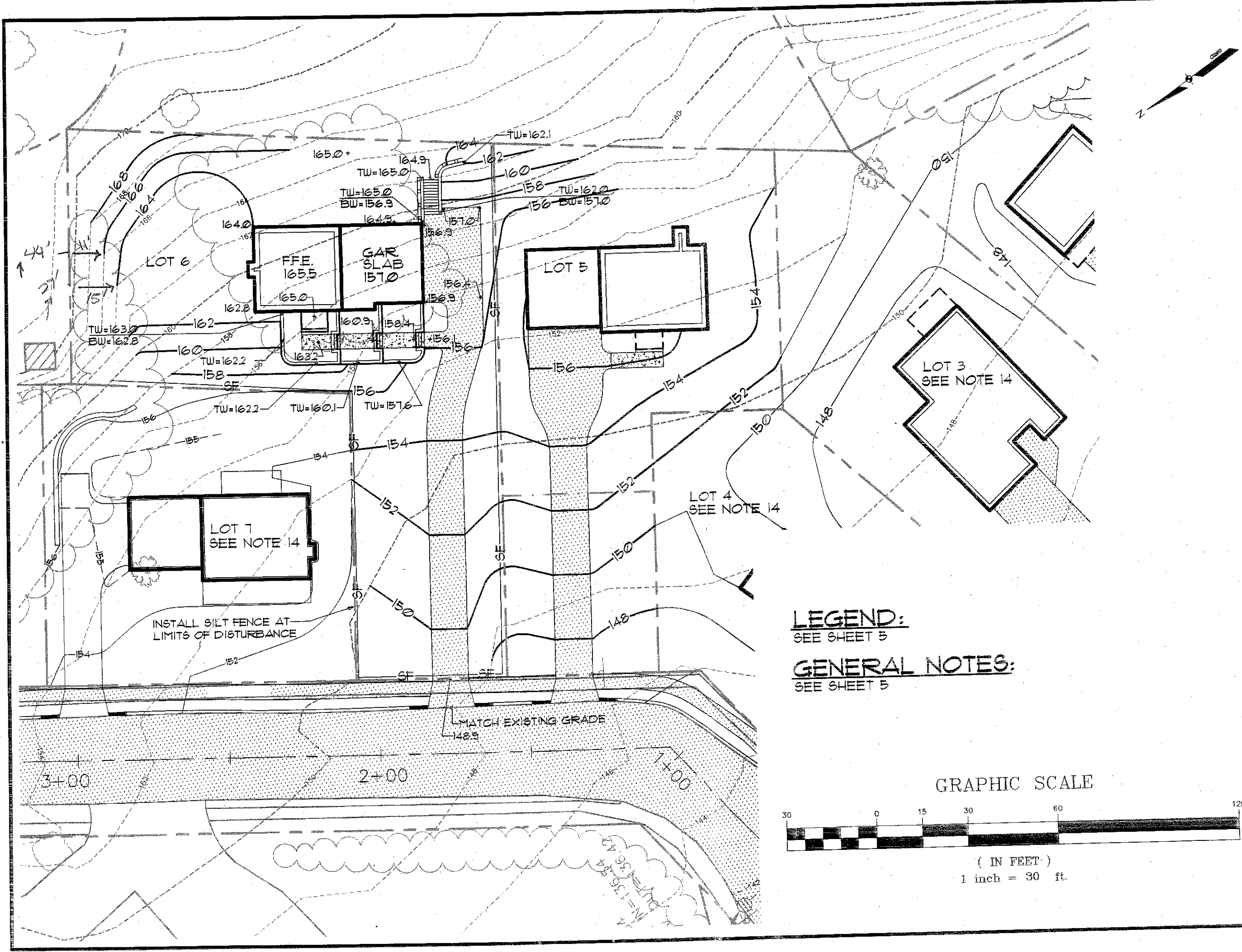
Drawing Name: Lot 4 Grading & Drainage Plan

Project: PRESUMPSCOT RIVER PLACE

Figure No.

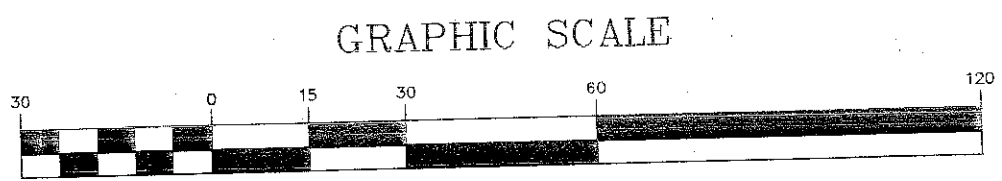
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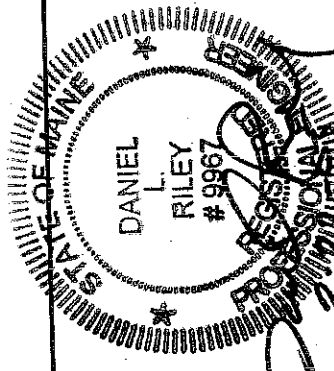


LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

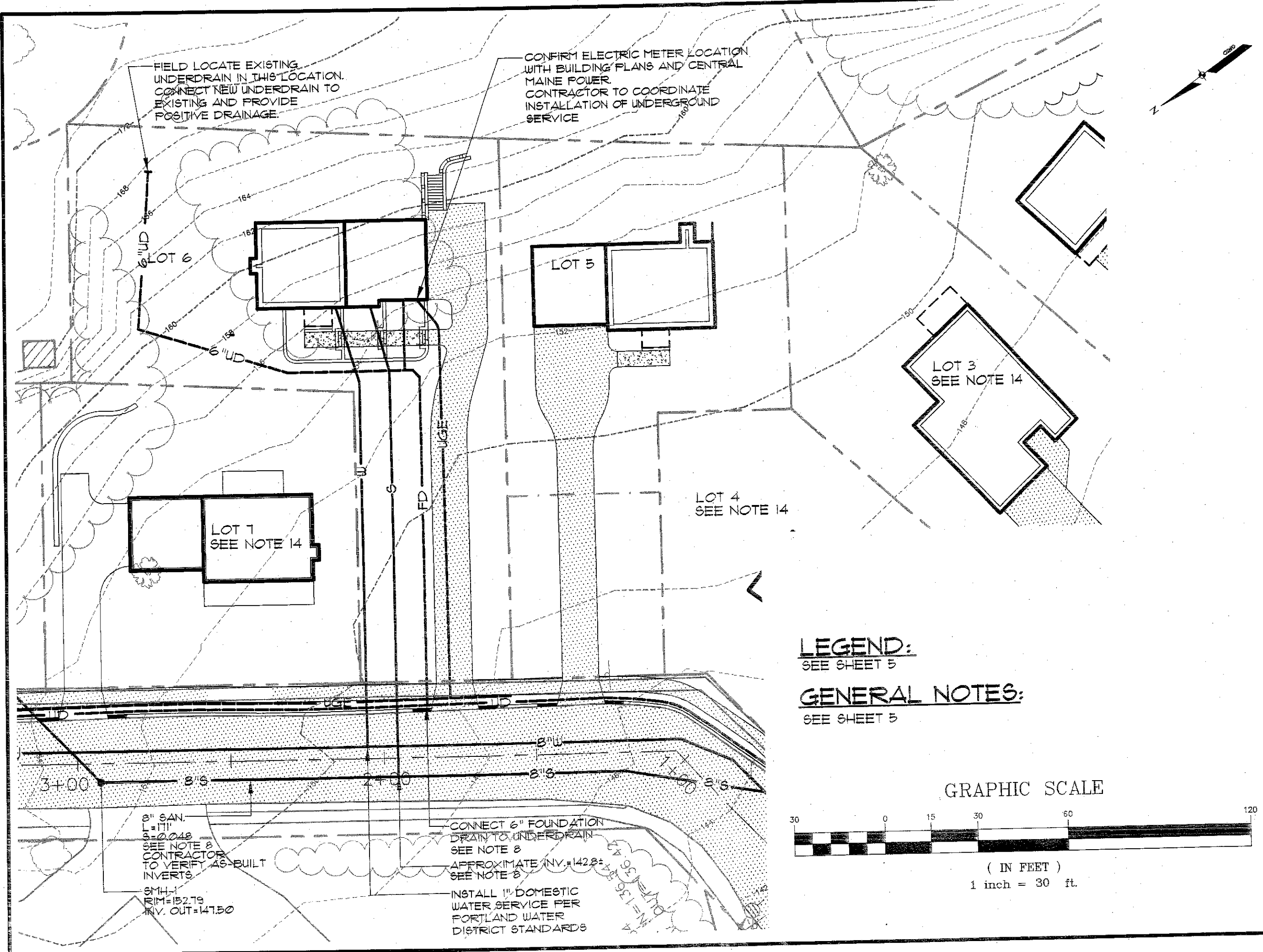


GRADING PLAN
OF:
LOT 6 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE

FOR:
LARRY STURDIVANT
191 STATE ROAD, SUITE 2

DESIGN BY:	M
DRAWN BY:	M
CHECKED BY:	D
DATE:	3-9-
SCALE:	1" =
FIELD BK:	
PROJ. NO:	03-
DRAWING:	03453G_L

SHEET 2 OF



FIELD LOCATE EXISTING UNDERDRAIN IN THIS LOCATION. CONNECT NEW UNDERDRAIN TO EXISTING AND PROVIDE POSITIVE DRAINAGE.

CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

8" SAN.
L=111'
S=0.048
SEE NOTE 8
CONTRACTOR TO VERIFY AS-BUILT INVERTS
SMH-1
RIM=152.79
INV. OUT=147.50

CONNECT 6" FOUNDATION DRAIN TO UNDERDRAIN
SEE NOTE 8
APPROXIMATE INV.=142.8±
SEE NOTE 8
INSTALL 1" DOMESTIC WATER SERVICE PER PORTLAND WATER DISTRICT STANDARDS

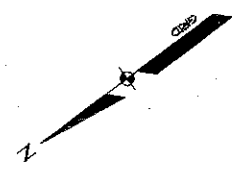
LEGEND:
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GENERAL NOTES:
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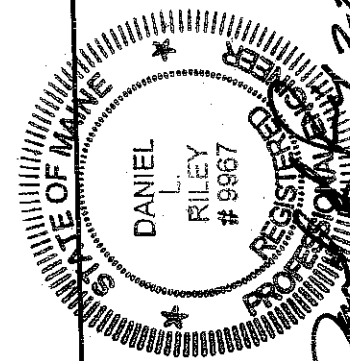
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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Westbrook, Me 04098-1339
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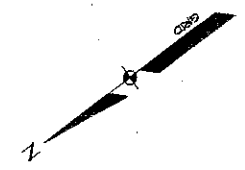
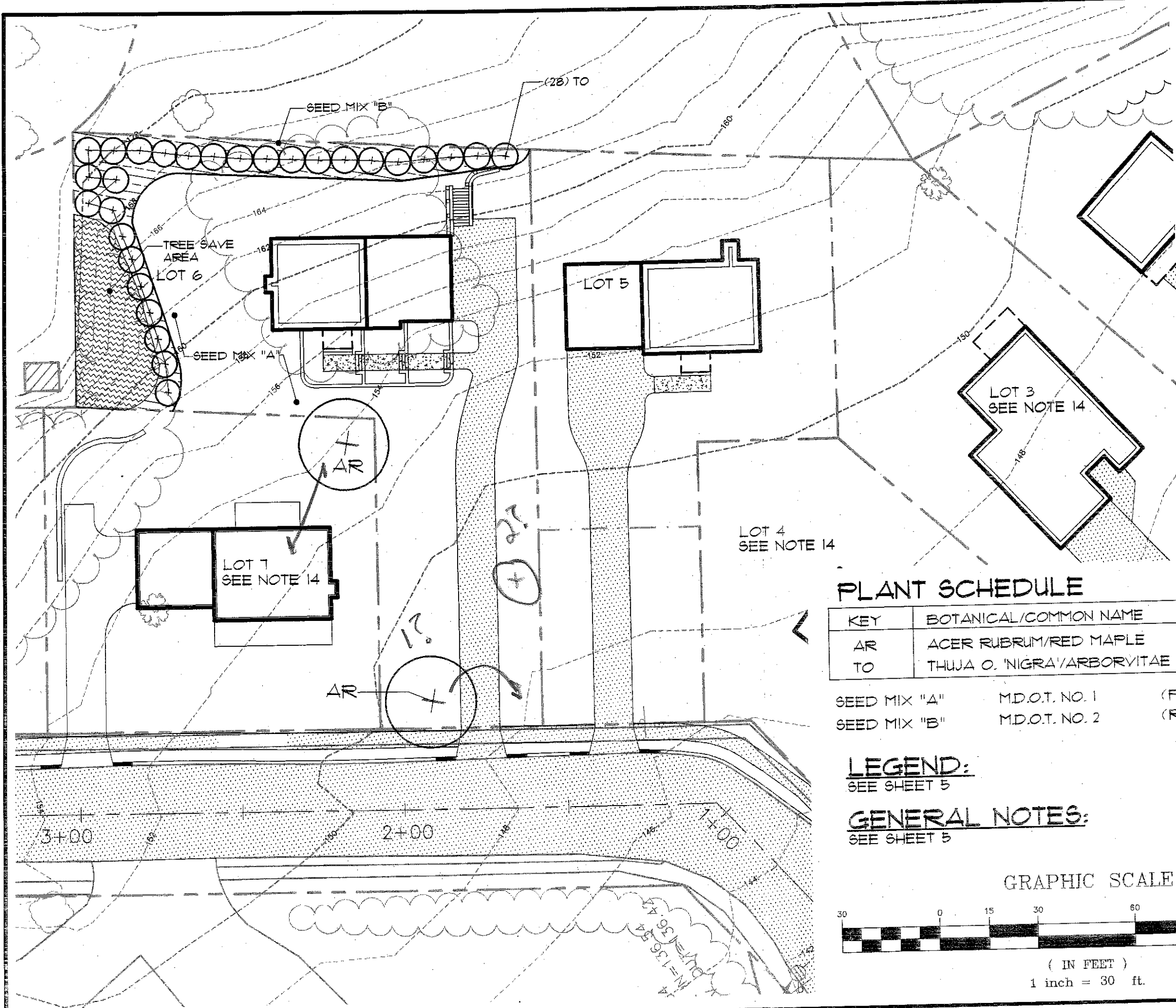
UTILITY PLAN
OF:

LOT 6 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE.

FOR:
LARRY STURDIVANT
191 STATE ROAD, SUITE 2

DESIGN BY:	M
DRAWN BY:	M
CHECKED BY:	D
DATE:	3-9
SCALE:	1" = 30'
FIELD BK:	7
PROJ. NO:	034
DRAWING:	03453G_LC

SHEET 3 OF 3



PLANT SCHEDULE

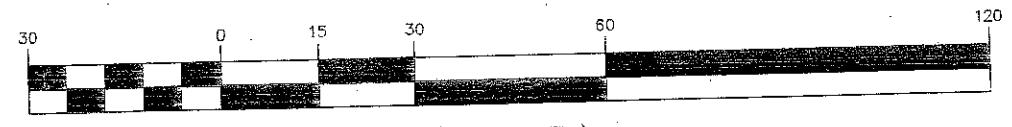
KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.
TO	THUJA O. 'NIGRA'/ARBORVITAE	6 FT.

SEED MIX "A" MD.O.T. NO. 1 (PARK MIXTURE)
 SEED MIX "B" MD.O.T. NO. 2 (ROADSIDE MIXTURE NO. 2)

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



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 Westbrook, Me 04098-1339
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LANDSCAPE PLAN
 OF
LOT 6 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
LARRY STURDIVANT
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G LOTS
SHEET 4 OF 5	

GENERAL NOTES

1. APPLICANT: LARRY STURDIVANT
191 STATE ROAD, SUITE 2
KITTERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 6 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 16,682 SQUARE FEET (0.38 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC, DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE
MIN. LOT SIZE	10,000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1½ STORY	12 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%
MIN. LOT WIDTH	80 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

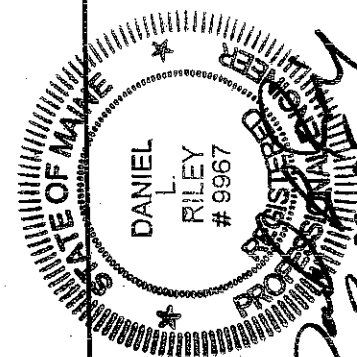
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 7 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 7 AUBURN ESTATES" FOR DANA CUNNINGHAM BY SEBAGO TECHNICS, INC. DATED SEPTEMBER 15, 2004. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOTS 3 AND 4 TAKEN FROM GRADING PLAN FOR AUBURN ESTATES SUBDIVISION BY SEBAGO TECHNICS, INC., DATED SEPTEMBER 15, 2004.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	---
—	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---S---	SEWER	---S---
---SD---	STORM DRAIN	---SD---
---	FOOTING DRAIN	---FD---
---UD---	UNDERDRAIN	---
---UGE---	UNDERGROUND ELEC. & TEL.	---UGE #T---
⊗	GATE VALVE	
⊙	LIGHT POLE	
⊙	HYDRANT	
⊙	MANHOLE	
⊙	SPOT GRADE	× 30.20
○	DECIDUOUS TREE	
⊙	CONIFEROUS TREE	
---	ZONE LINE	



## NOTES

OF: **LOT 6 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **LARRY STURDIVANT**  
191 STATE ROAD, SUITE 2  
KITTERY, MAINE 03904

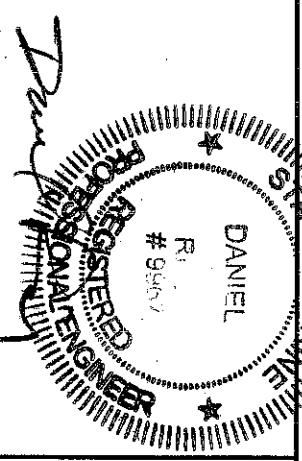
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FIELD BK:	778
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DRAWING:	03453G_LOTS
<b>SHEET 5 OF 5</b>	

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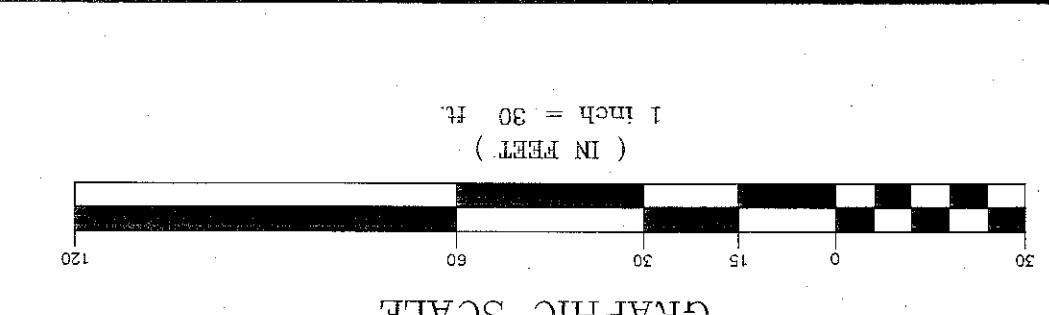
One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

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 CHECKED BY: DLR  
 DATE: 3-9-05  
 SCALE: 1"=30'  
 FIELD BK: 778  
 PROJ. NO: 03453  
 DRAWING: 03453G.LOTS

**SITE PLAN**  
 OF:  
**LOT 6 AUBURN ESTATES**  
 LONGVIEW DRIVE  
 PORTLAND, MAINE  
 FOR:  
**LARRY STURDIVANT**  
 191 STATE ROAD, SUITE 2  
 KITTERY, MAINE 03904



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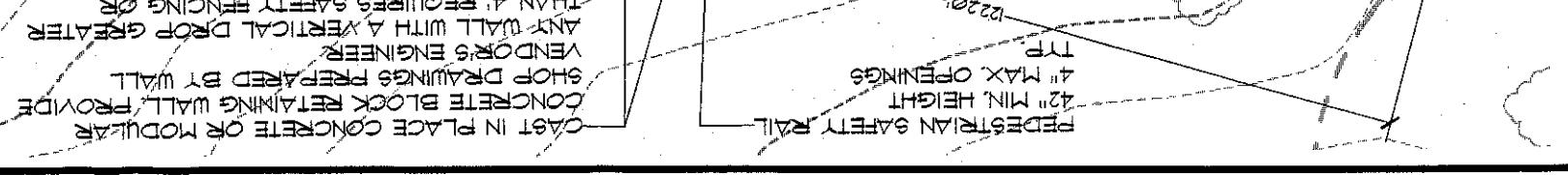
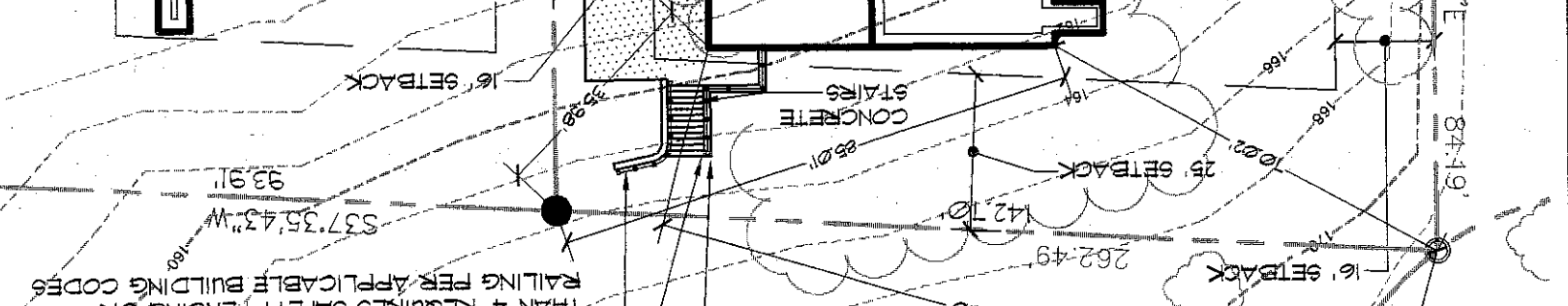
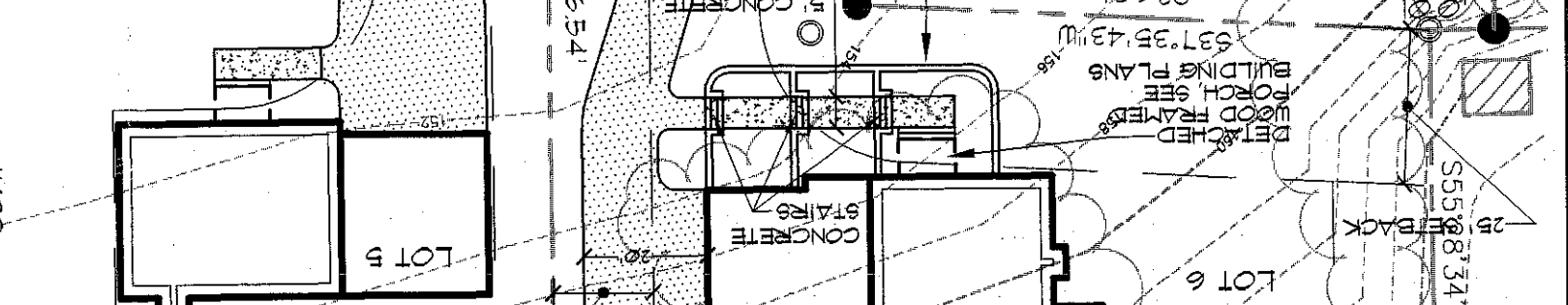
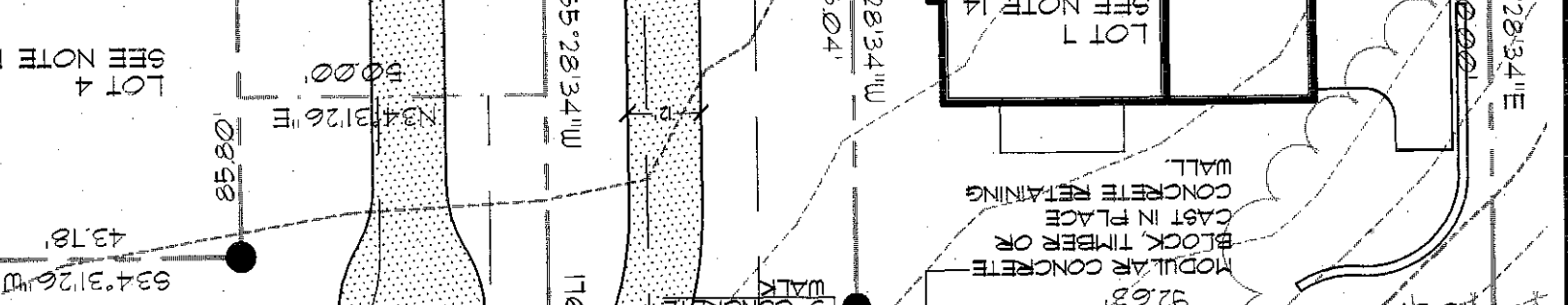
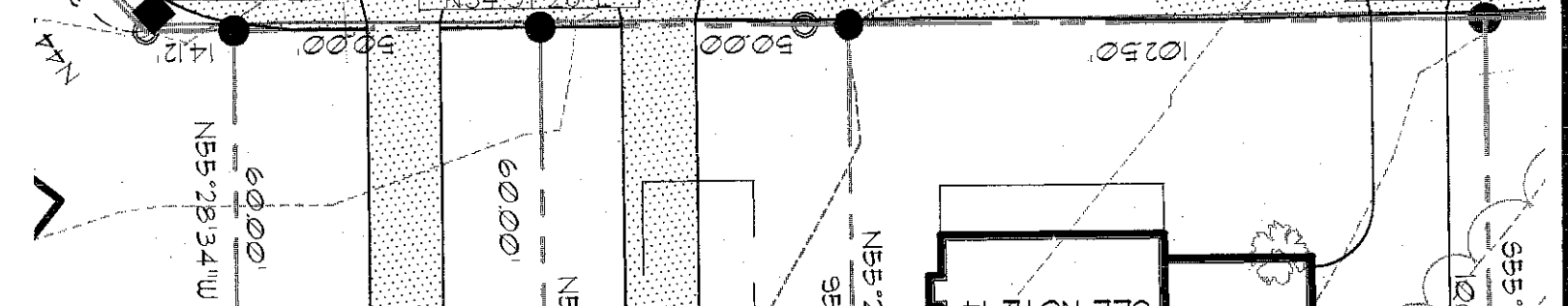
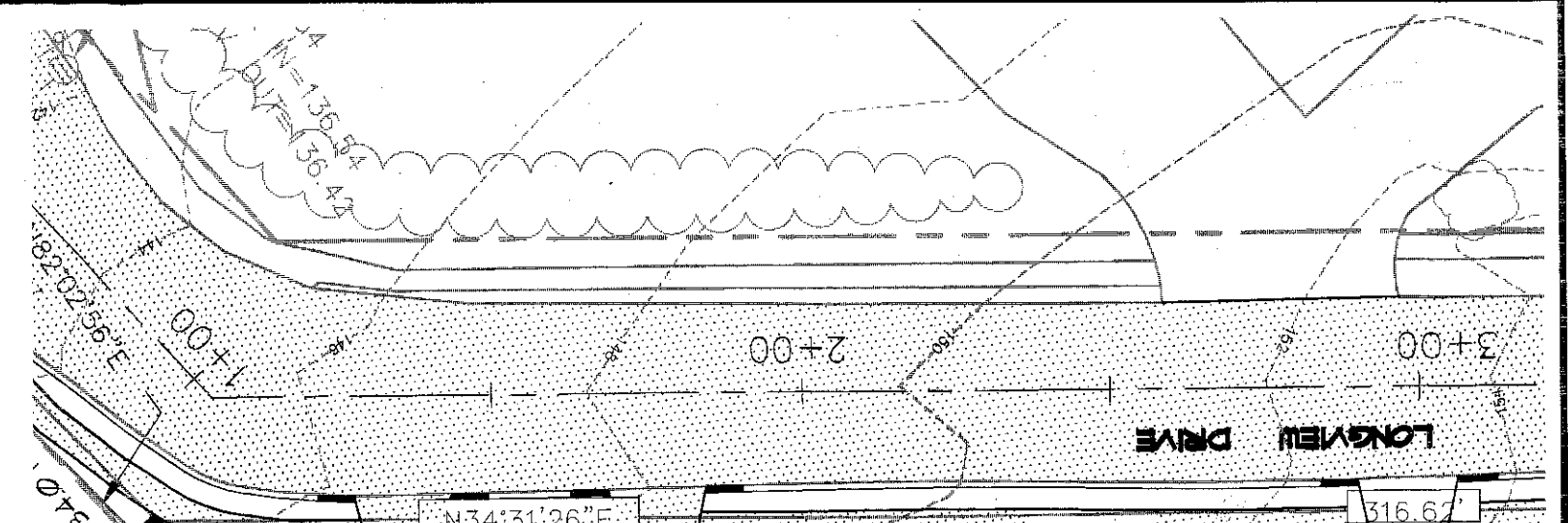
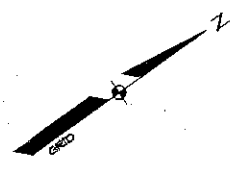
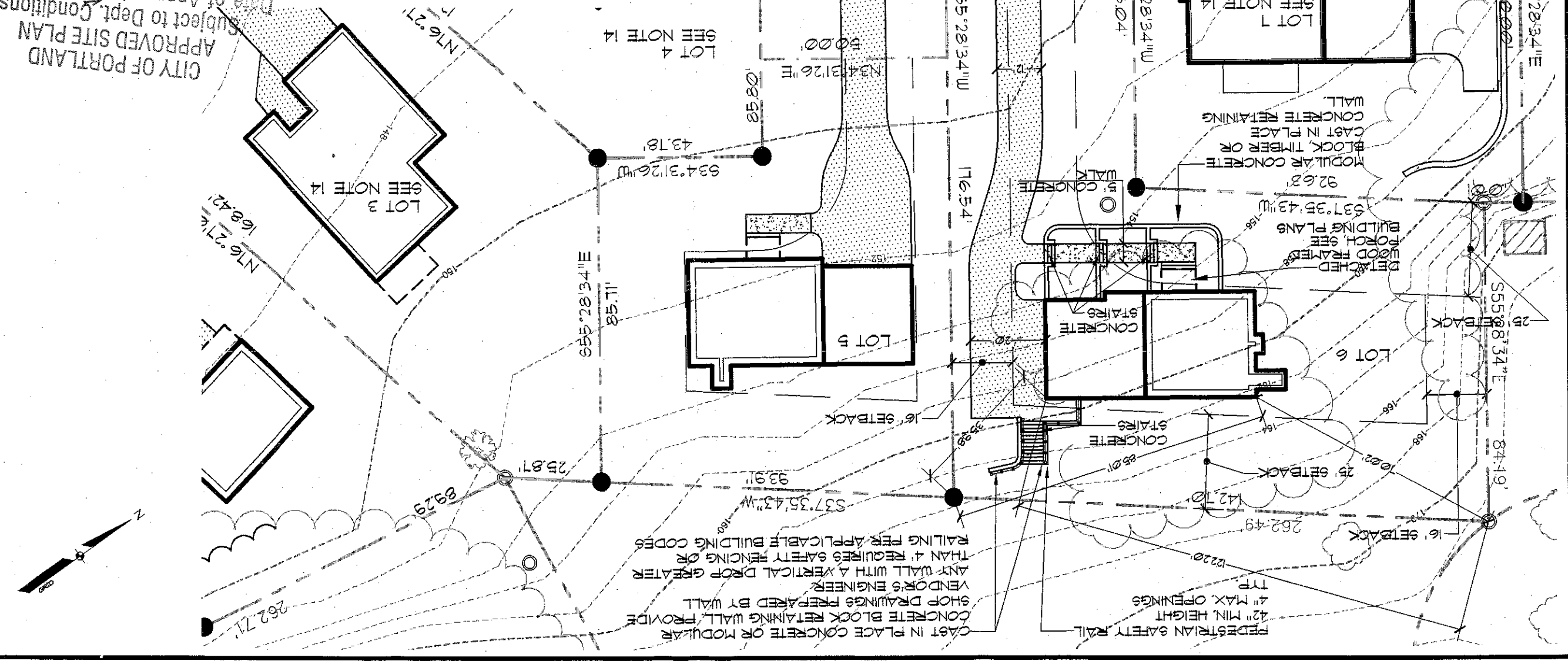


CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: _____

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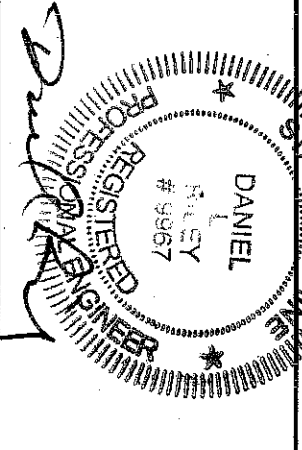
CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 5-3-05

**LEGEND:**  
 SEE SHEET 5  
**GENERAL NOTES:**  
 SEE SHEET 5

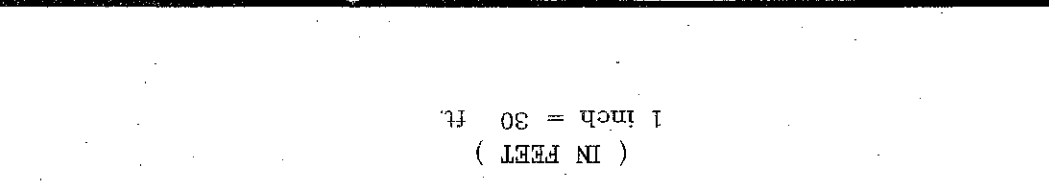


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 CHECKED BY: DLR  
 DATE: 3-9-05  
 SCALE: 1" = 30'  
 FIELD BK: 778  
 PROJ. NO.: 03453  
 DRAWING: 034536.LOTS

**GRADING PLAN**  
 OF:  
**LOT 6 AUBURN ESTATES**  
 LONGVIEW DRIVE  
 PORTLAND, MAINE  
 FOR:  
**LARRY STURDIVANT**  
 191 STATE ROAD, SUITE 2  
 KITTERY, MAINE 03904

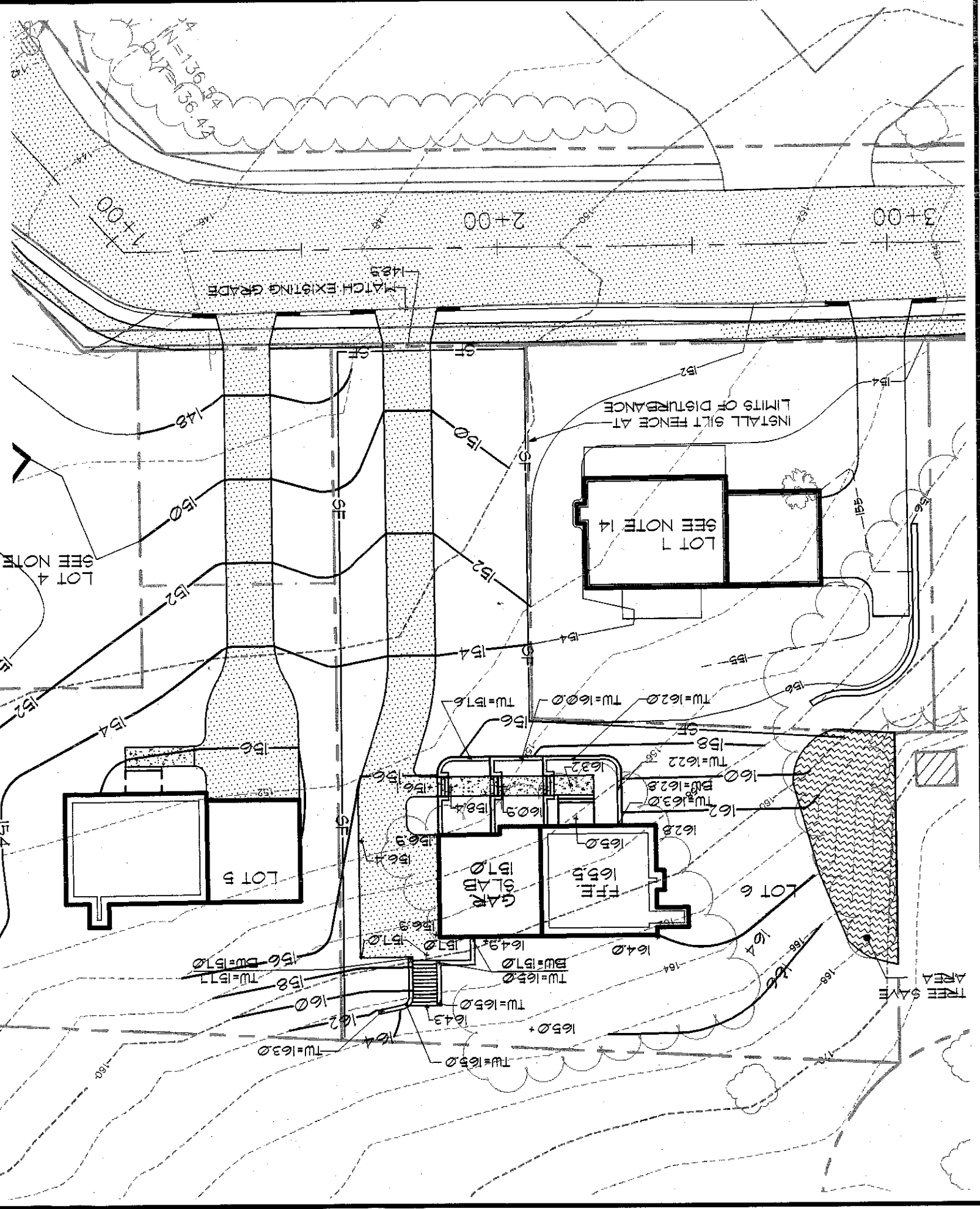
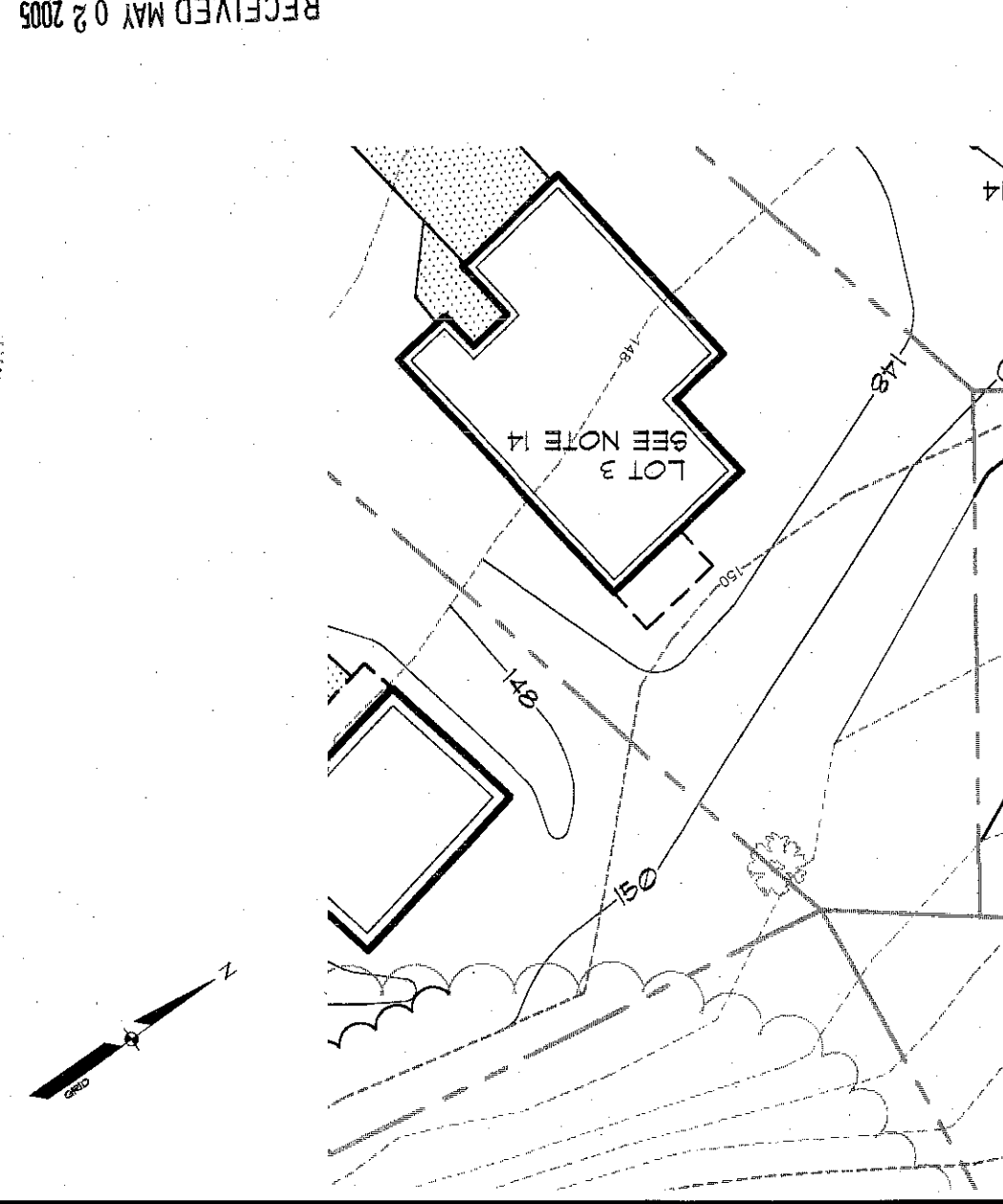


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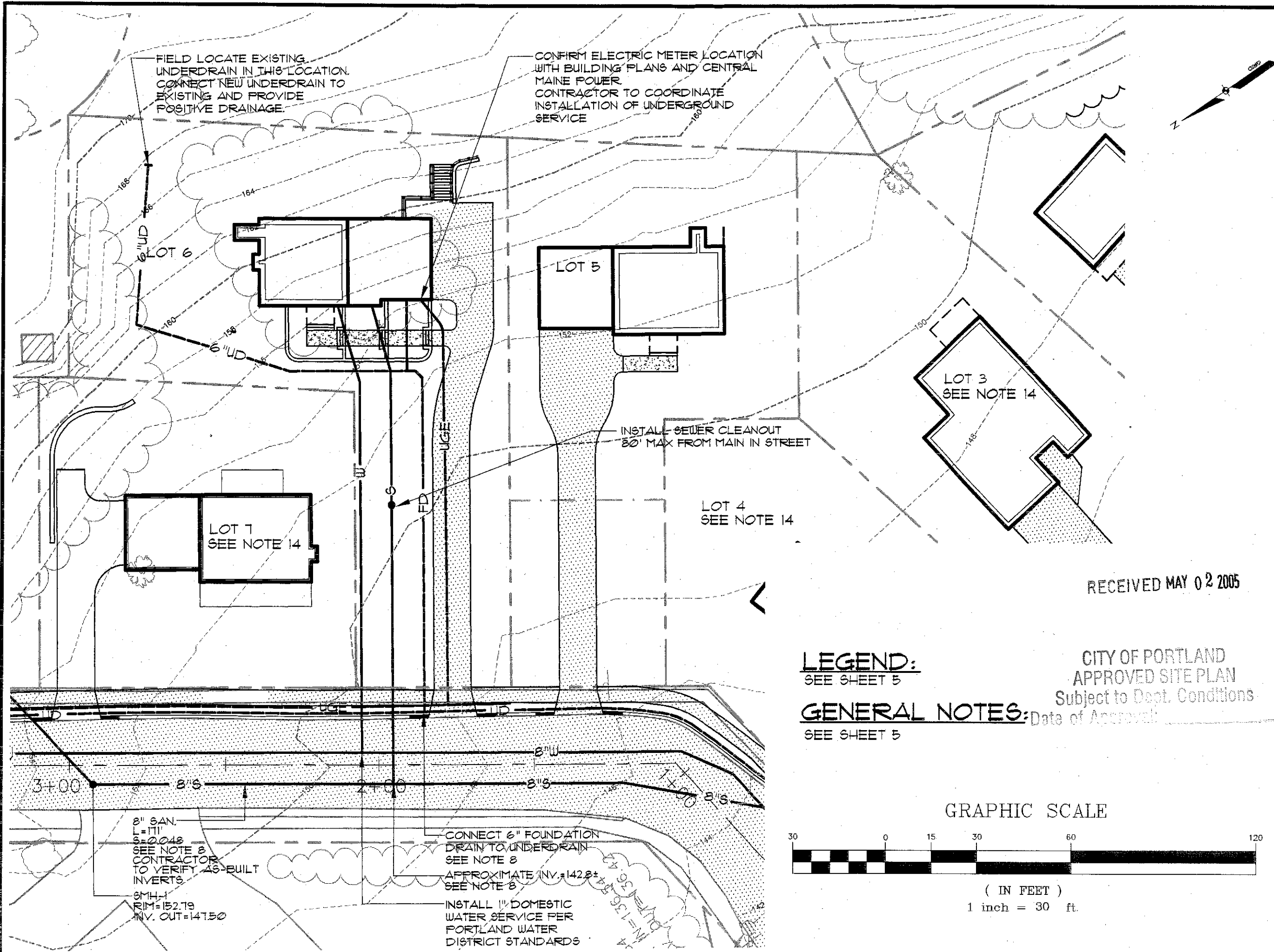


RECEIVED MAY 02 2005  
 CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval:

**LEGEND:**  
 SEE SHEET 5  
**GENERAL NOTES:**  
 SEE SHEET 5



SHEET 2 OF 5



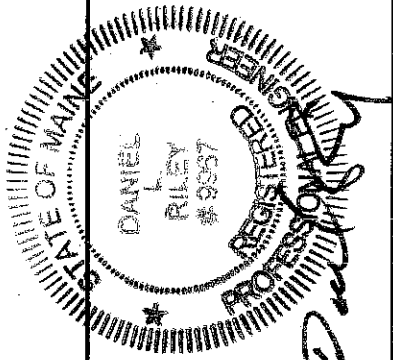
FIELD LOCATE EXISTING UNDERDRAIN IN THIS LOCATION. CONNECT NEW UNDERDRAIN TO EXISTING AND PROVIDE POSITIVE DRAINAGE.

CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

INSTALL SEWER CLEANOUT 30' MAX FROM MAIN IN STREET

8" SAN.  
L=171'  
S=2.048  
SEE NOTE 3  
CONTRACTOR  
TO VERIFY AS-BUILT  
INVERTS  
SMH-1  
RIM=152.79  
INV. OUT=147.50

CONNECT 6" FOUNDATION DRAIN TO UNDERDRAIN  
SEE NOTE 8  
APPROXIMATE INV. 142.8±  
SEE NOTE 8  
INSTALL 1" DOMESTIC WATER SERVICE PER PORTLAND WATER DISTRICT STANDARDS

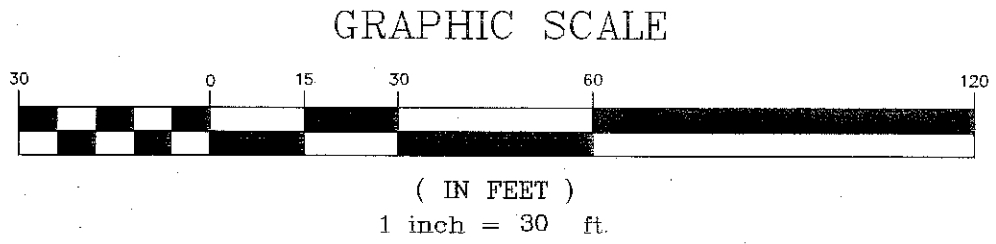


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**LEGEND:**  
SEE SHEET 5

**GENERAL NOTES:** Date of Approval: _____  
SEE SHEET 5

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions

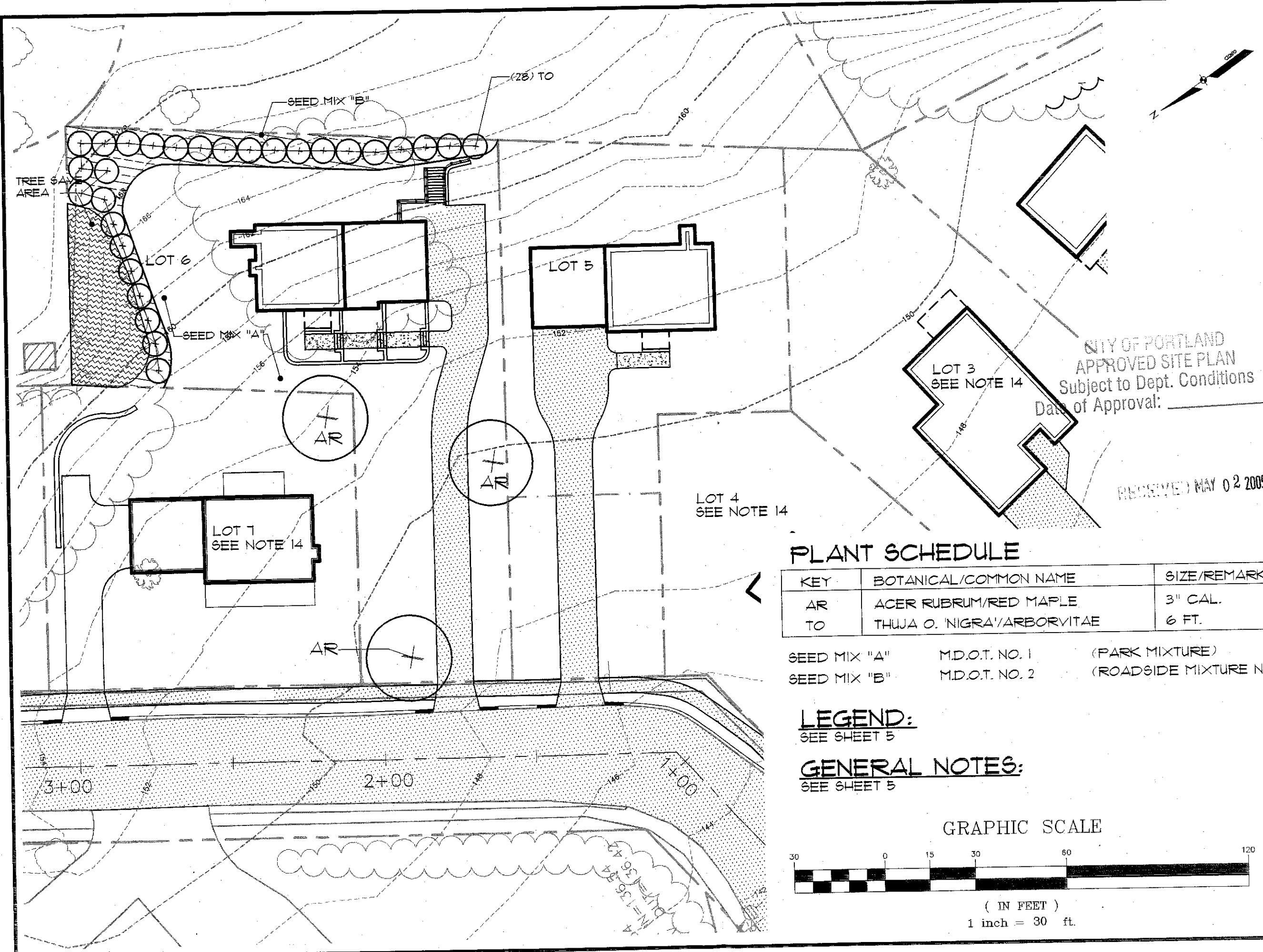


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UTILITY PLAN  
OF: **LOT 6 AUBURN ESTATES**  
LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **LARRY STURDIVANT**  
191 STATE ROAD, SUITE 2  
KITTELY, MAINE 03904

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G_LOTS
<b>SHEET 3 OF 5</b>	





CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: _____

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**PLANT SCHEDULE**

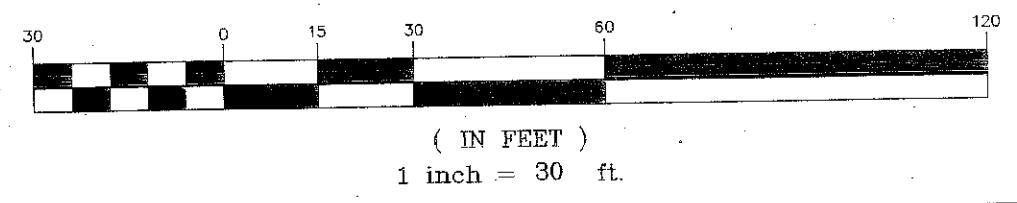
KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.
TO	THUJA O. NIGRA/ARBORVITAE	6 FT.

SEED MIX "A" M.D.O.T. NO. 1 (PARK MIXTURE)  
 SEED MIX "B" M.D.O.T. NO. 2 (ROADSIDE MIXTURE NO. 2)

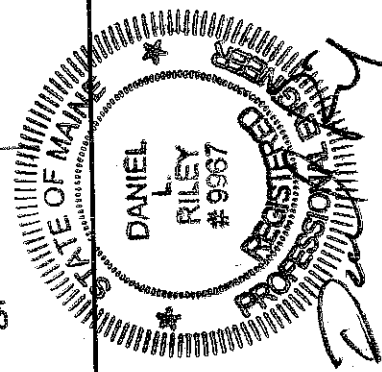
**LEGEND:**  
 SEE SHEET 5

**GENERAL NOTES:**  
 SEE SHEET 5

**GRAPHIC SCALE**



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**LANDSCAPE PLAN**  
 OF:  
**LOT 6 AUBURN ESTATES**  
 LONGVIEW DRIVE  
 PORTLAND, MAINE  
 FOR:  
**LARRY STURDIVANT**  
 191 STATE ROAD, SUITE 2

DESIGN BY:	MT
DRAWN BY:	MT
CHECKED BY:	DL
DATE:	3-9-05
SCALE:	1"=30'
FIELD BK:	7
PROJ. NO:	034
DRAWING:	03453G_LO

# GENERAL NOTES

1. APPLICANT: LARRY STURDIVANT  
191 STATE ROAD, SUITE 2  
KITTERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 6 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: ..... 16,682 SQUARE FEET (0.38 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
  - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE
MIN. LOT SIZE	10,000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1½ STORY	12 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK	
ON SIDE STREET	20 FT.
MAX. LOT COVERAGE	
(BLDG. FOOTPRINT)	20%
MIN. LOT WIDTH	80 FT.
MAX. BLDG. HEIGHT	
(PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT	
(DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

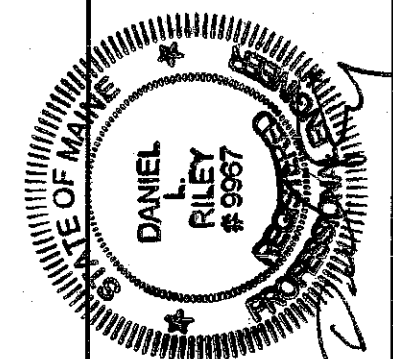
11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 1 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 1 AUBURN ESTATES" FOR DANA CUNNINGHAM BY SEBAGO TECHNICS, INC. DATED SEPTEMBER 15, 2004. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOTS 3 AND 4 TAKEN FROM GRADING PLAN FOR AUBURN ESTATES SUBDIVISION BY SEBAGO TECHNICS, INC., DATED SEPTEMBER 15, 2004.

## LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
—T—	SIGN	
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---S---	SEWER	---S---
---SD---	STORM DRAIN	---SD---
---	FOOTING DRAIN	---FD---
---UD---	UNDERDRAIN	
---UGE---	UNDERGROUND	---UGE#T---
⊗	ELEC. & TEL.	
⊗	GATE VALVE	
⊗	LIGHT POLE	
⊗	HYDRANT	
⊗	MANHOLE	
30.20	SPOT GRADE	× 30.20
○	DECIDUOUS TREE	
⊗	CONIFEROUS TREE	
---	ZONE LINE	

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APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____



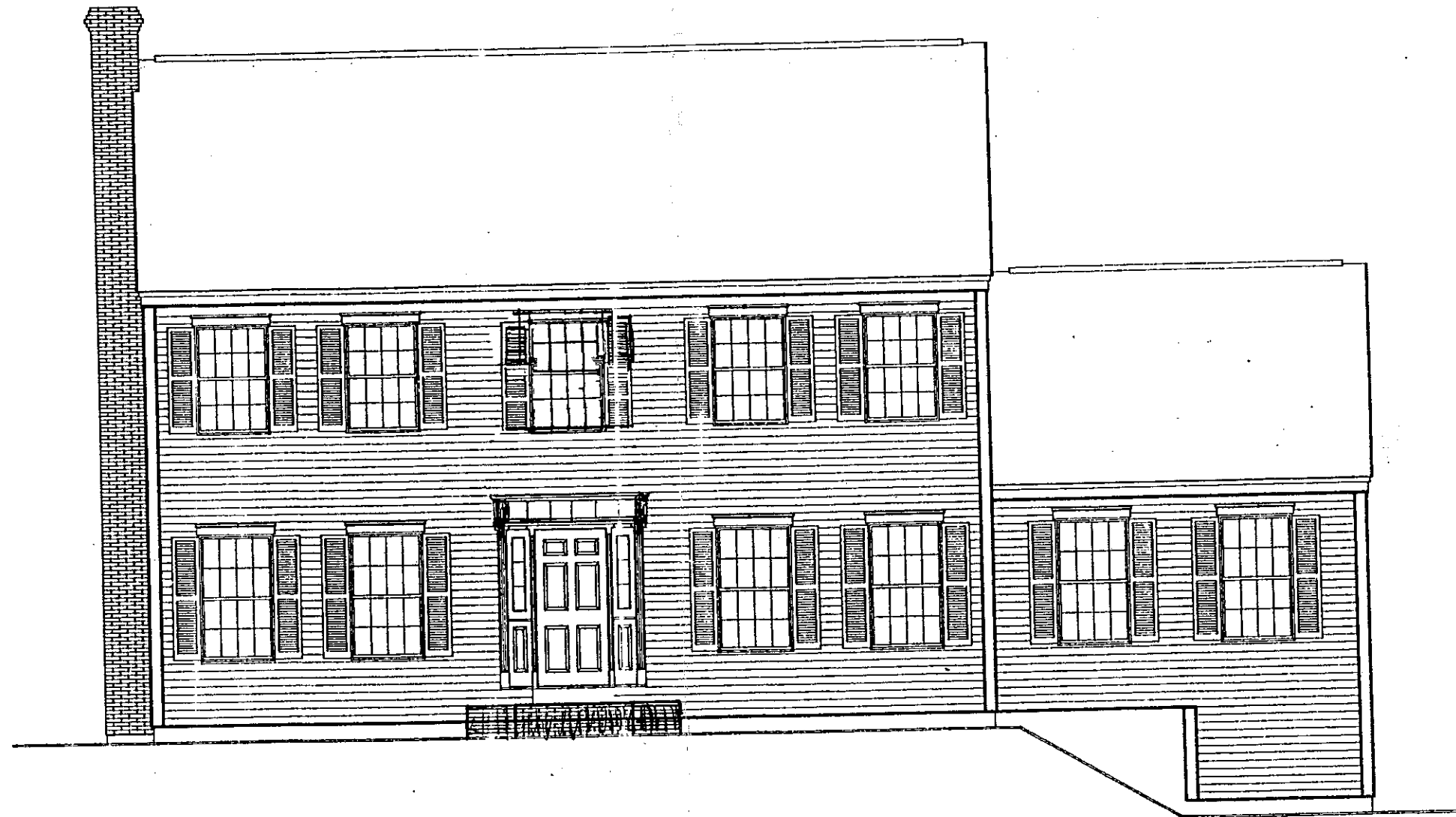
NOTES OF:
LOT 6 AUBURN ESTATES
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
LARRY STURDIVANT
191 STATE ROAD, SUITE 2
KITTERY, MAINE 03904

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G_LOTS
SHEET 5 OF 5	



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FRONT ELEVATION

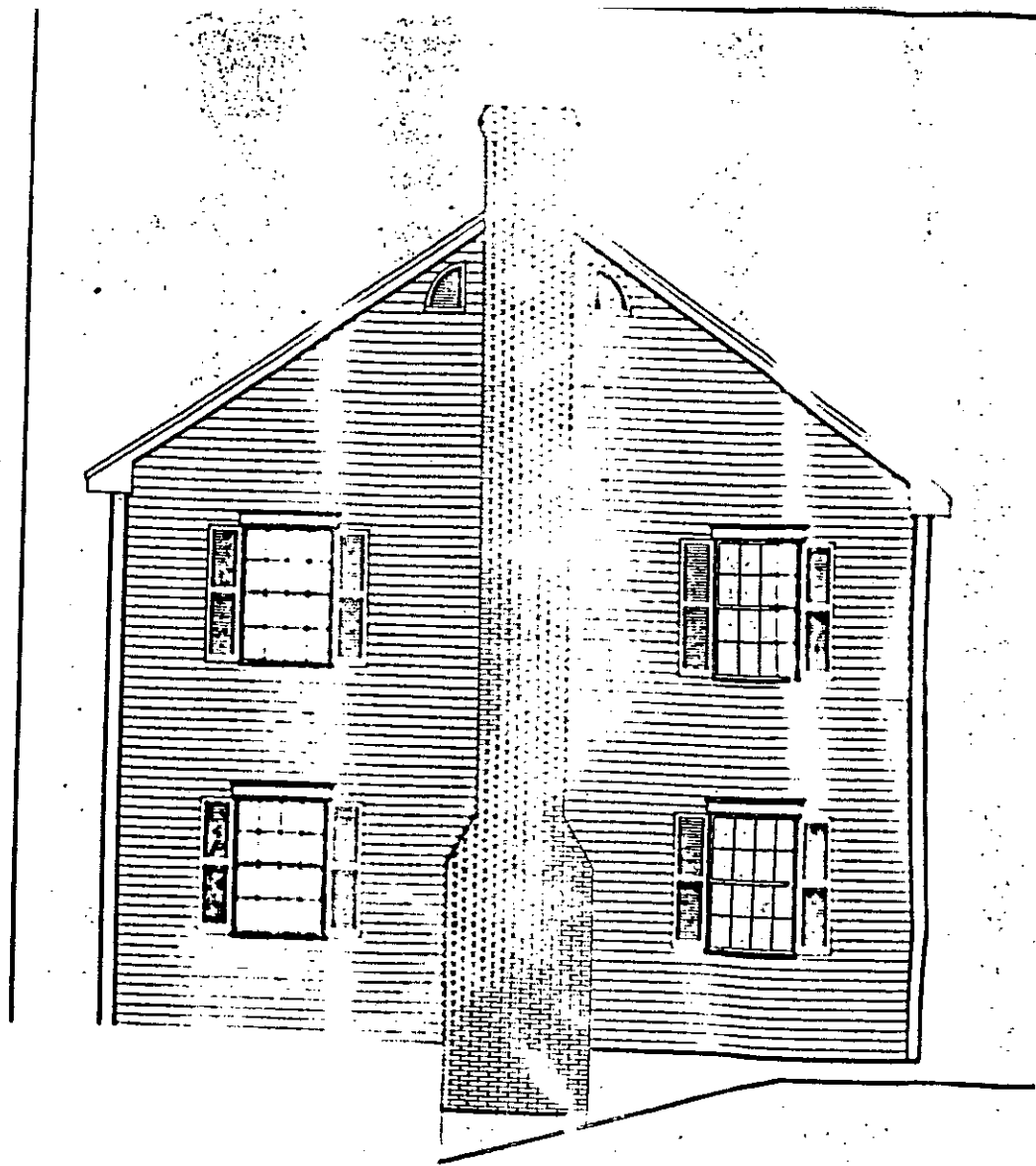
STURDIVANT

BY:

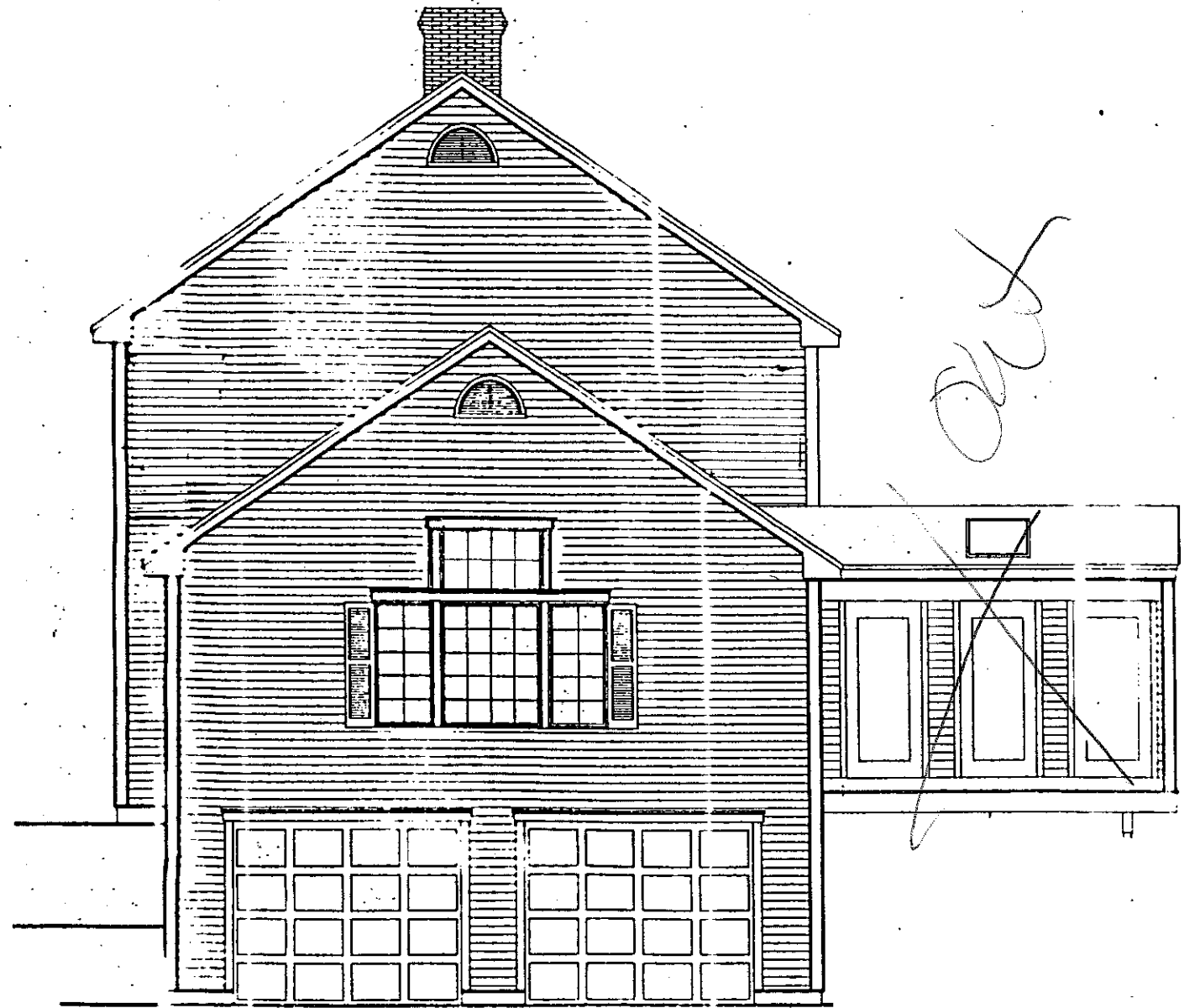
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STURDIVANT RESIDENCE	
BY:	SCALE: 1/4" = 1'-0"
DATE:	SHEET: 8 of 8

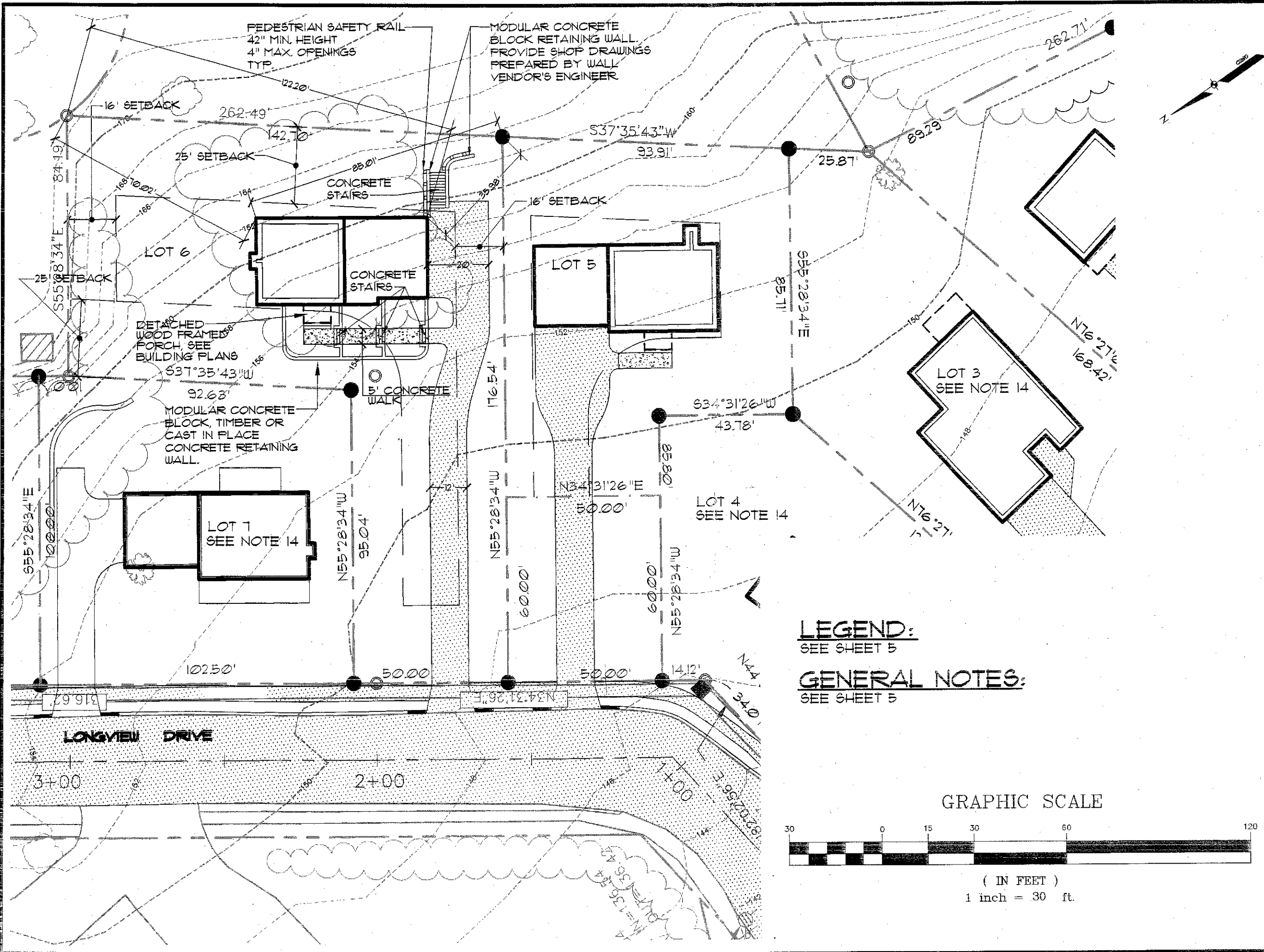


LEFT ELEVATION



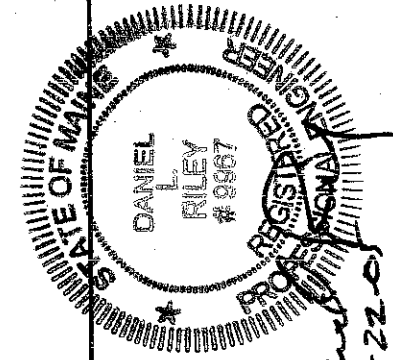
RIGHT ELEVATION

STURDIVANT RESIDENCE	
BY:	SCALE: noted
DATE:	SHEET: 7 of 8



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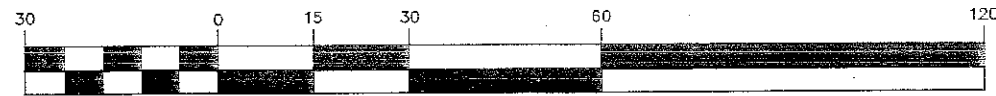
Daniel L. Riley
 3-22-05

SITE PLAN
 OF:
LOT 6 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
LARRY STURDIVANT
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5

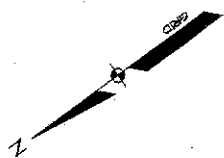
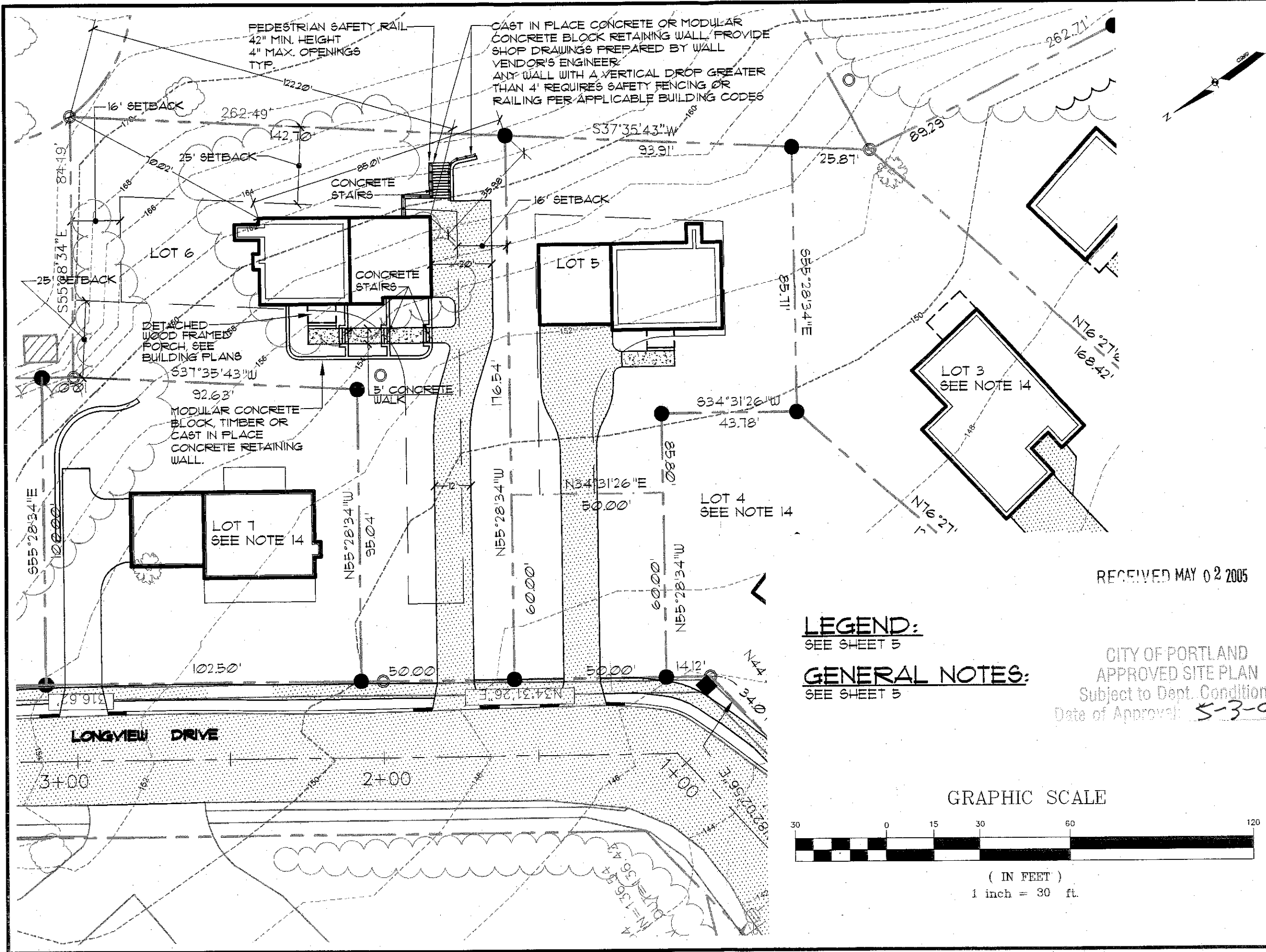
GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

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DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G_LOTS

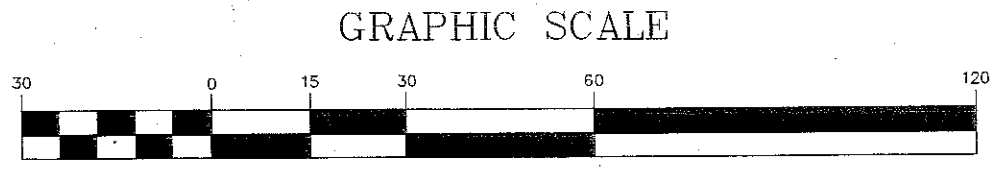
SHEET 1 OF 5



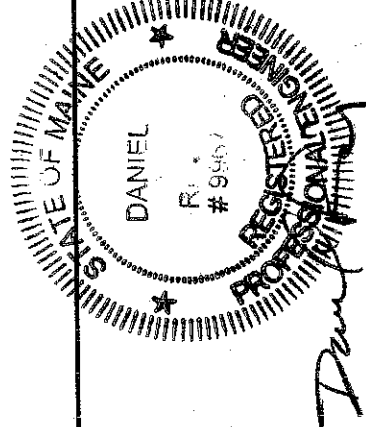
LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5

RECEIVED MAY 02 2005
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 5-3-05

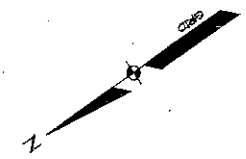
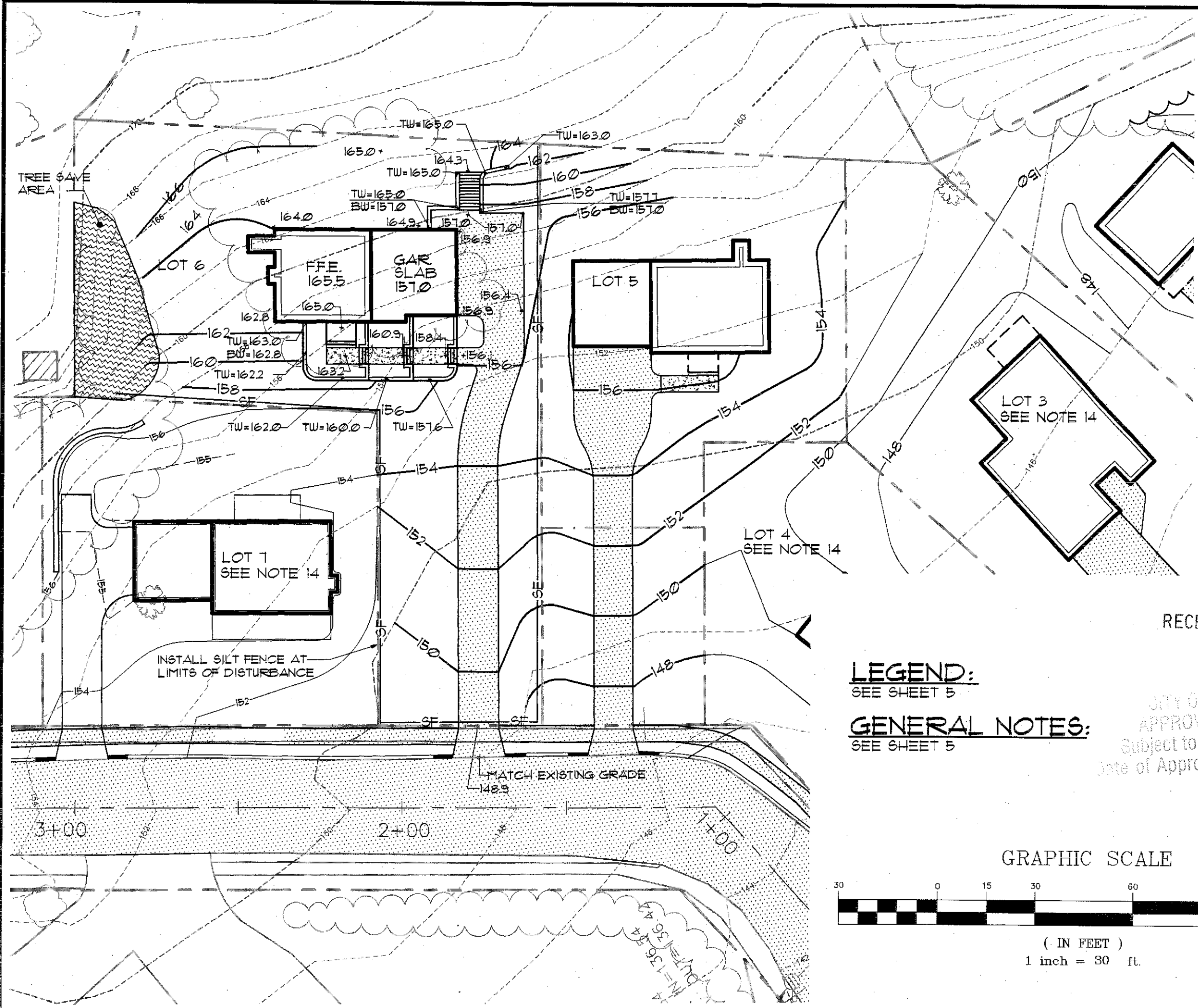


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SITE PLAN
OF:
LOT 6 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
LARRY STURDIVANT
191 STATE ROAD, SUITE 2
KITSEY, MAINE 03904

DESIGN BY:	MTV
DRAWN BY:	MTV
CHECKED BY:	DL
DATE:	3-9-05
SCALE:	1"=30'
FIELD BK:	77
PROJ. NO:	0345
DRAWING:	03453G_LOT

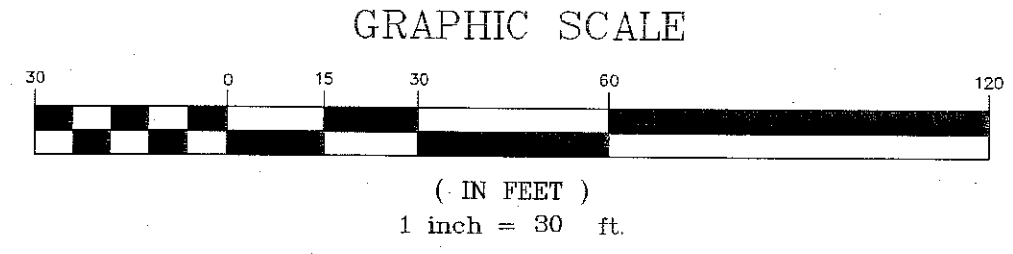


LEGEND:
SEE SHEET 5

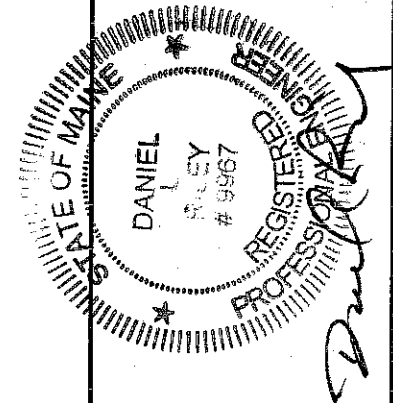
GENERAL NOTES:
SEE SHEET 5

RECEIVED MAY 02 2005

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____



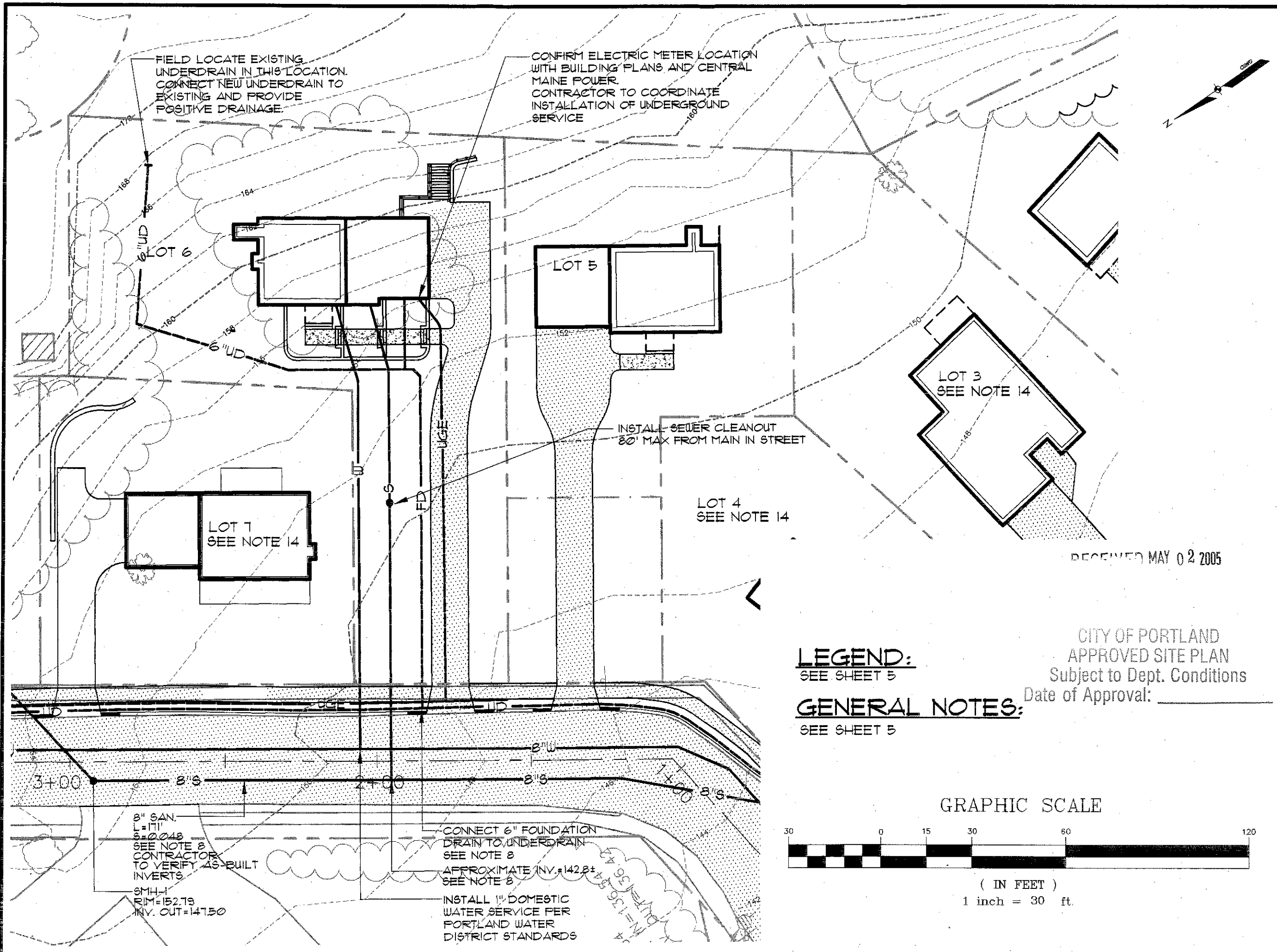
Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277



GRADING PLAN
OF: **LOT 6 AUBURN ESTATES**
LONGVIEW DRIVE
PORTLAND, MAINE
FOR: **LARRY STURDIVANT**
191 STATE ROAD, SUITE 2
KITTEERY, MAINE 03904

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G_LOTS

SHEET 2 OF 5



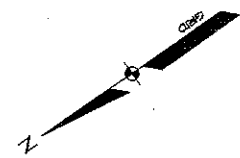
FIELD LOCATE EXISTING UNDERDRAIN IN THIS LOCATION. CONNECT NEW UNDERDRAIN TO EXISTING AND PROVIDE POSITIVE DRAINAGE.

CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

INSTALL SEWER CLEANOUT 80' MAX FROM MAIN IN STREET

8" SAN.
L=171'
S=0.048
SEE NOTE 8
CONTRACTOR TO VERIFY AS-BUILT INVERTS.
SMH-1
RIM=152.79
INV. OUT=147.50

CONNECT 6" FOUNDATION DRAIN TO UNDERDRAIN
SEE NOTE 8
APPROXIMATE INV.=142.8±
SEE NOTE 8
INSTALL 1" DOMESTIC WATER SERVICE PER PORTLAND WATER DISTRICT STANDARDS



LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____

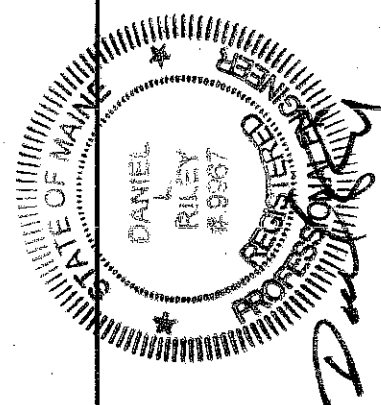
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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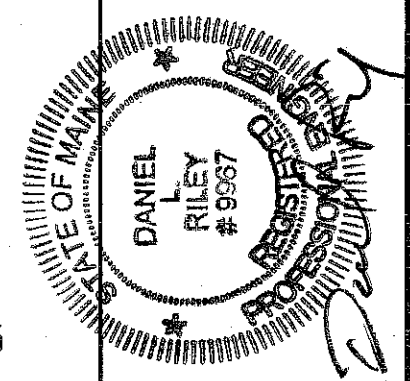
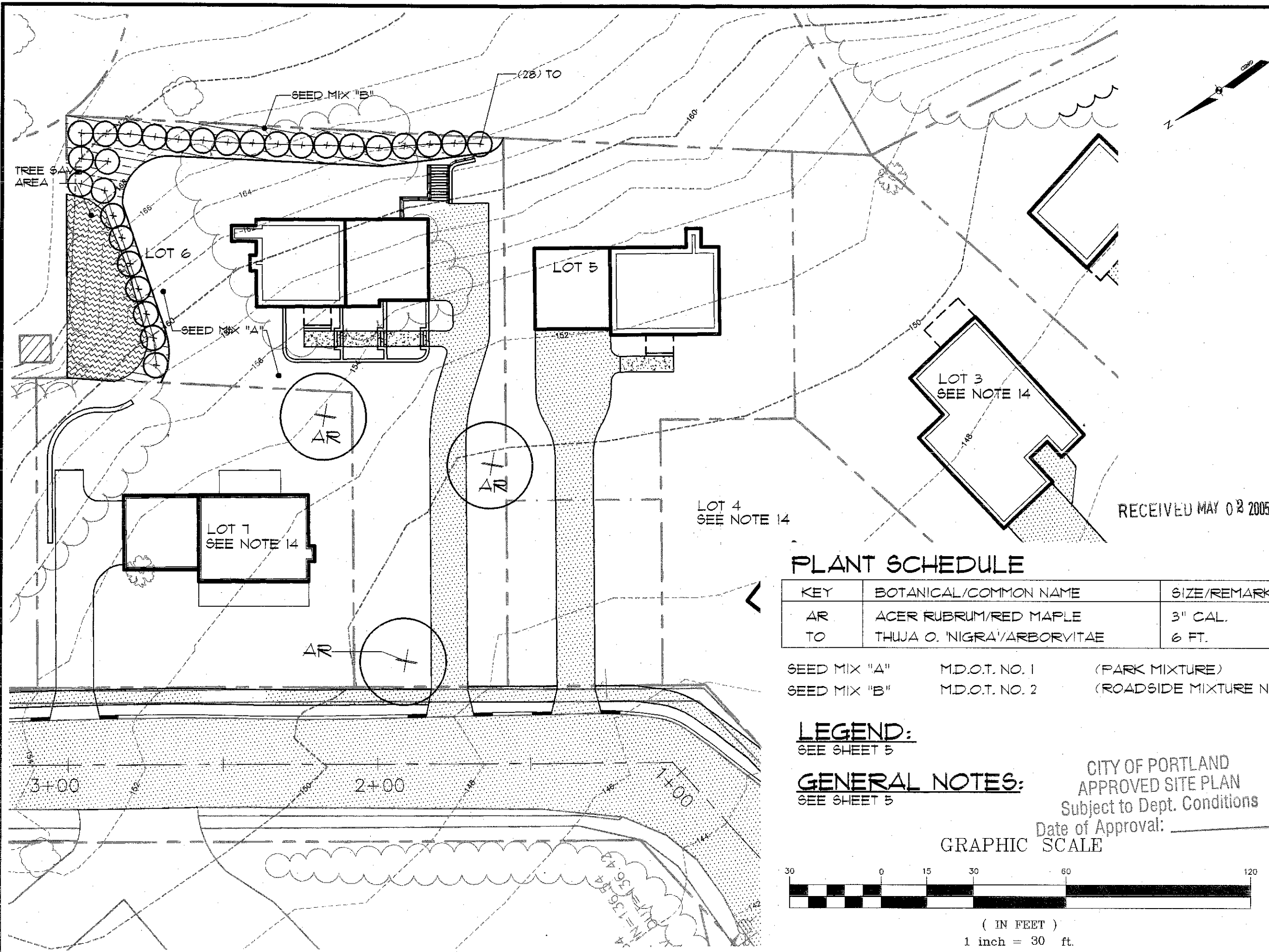
UTILITY PLAN
OF:

LOT 6 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE

FOR:
LARRY STURDIVANT
191 STATE ROAD, SUITE 2
KITTERY, MAINE 03904

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	3-9-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G_LOTS

SHEET 3 OF 5



RECEIVED MAY 02 2005

PLANT SCHEDULE

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.
TO	THUJA O. 'NIGRA'/ARBORVITAE	6 FT.

SEED MIX "A" M.D.O.T. NO. 1 (PARK MIXTURE)
 SEED MIX "B" M.D.O.T. NO. 2 (ROADSIDE MIXTURE NO. 2)

LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5

CITY OF PORTLAND
 APPROVED SITE PLAN
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(IN FEET)
 1 inch = 30 ft.

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 One Chabot Street
 Westbrook, Me 04098-1339
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LANDSCAPE PLAN
 OF:
LOT 6 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
LARRY STURDIVANT
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

DESIGN BY: MTW
 DRAWN BY: MTW
 CHECKED BY: DLR
 DATE: 3-9-05
 SCALE: 1"=30'
 FIELD BK: 778
 PROJ. NO: 03453
 DRAWING: 03453G_LOTS

GENERAL NOTES

1. APPLICANT: LARRY STURDIVANT
191 STATE ROAD, SUITE 2
KITTERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 6 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 16,682 SQUARE FEET (0.38 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
 - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE
MIN. LOT SIZE	10,000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1½ STORY	12 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%
MIN. LOT WIDTH	80 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

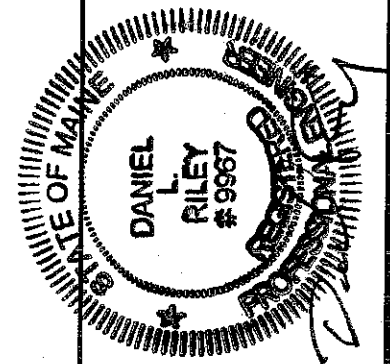
11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 1 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 1 AUBURN ESTATES" FOR DANA CUNNINGHAM BY SEBAGO TECHNICS, INC. DATED SEPTEMBER 15, 2004. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOTS 3 AND 4 TAKEN FROM GRADING PLAN FOR AUBURN ESTATES SUBDIVISION BY SEBAGO TECHNICS, INC., DATED SEPTEMBER 15, 2004.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
—	SIGN	—
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
—W—	WATER	—W—
—S—	SEWER	—S—
—SD—	STORM DRAIN	—SD—
---	FOOTING DRAIN	---
---	UNDERDRAIN	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
⊗	GATE VALVE	⊗
⊙	LIGHT POLE	⊙
⊕	HYDRANT	⊕
⊗	MANHOLE	⊗
30.20	SPOT GRADE	× 30.20
○	DECIDUOUS TREE	○
⊗	CONIFEROUS TREE	⊗
====	ZONE LINE	====

RECEIVED MAY 02 2005

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: _____



### NOTES

OF: **LOT 6 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **LARRY STURDIVANT**  
191 STATE ROAD, SUITE 2  
KITTERY, MAINE 03904

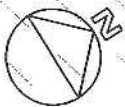
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**GENERAL NOTES**  
 1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

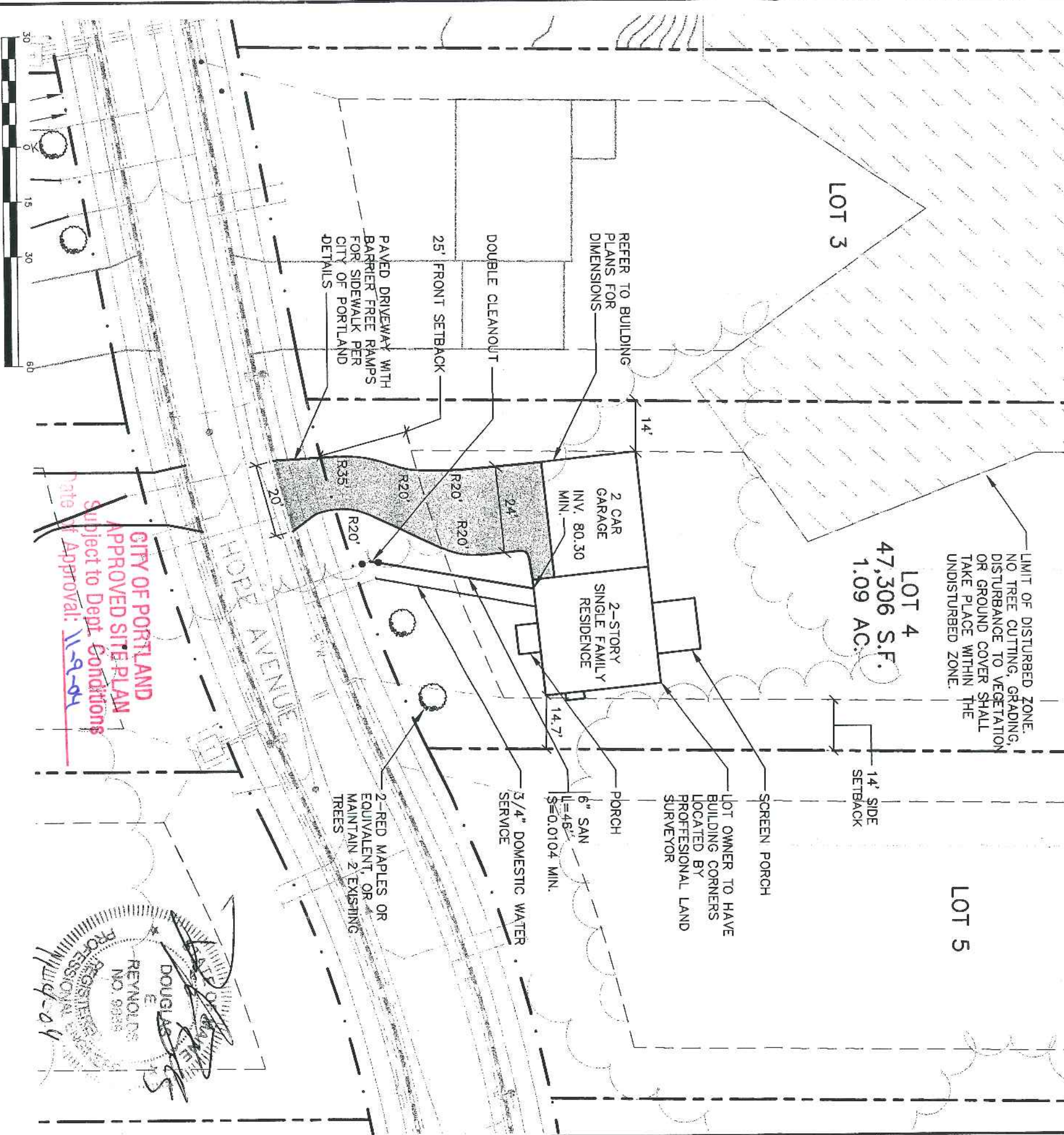
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.

4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



**CITY OF PORTLAND  
 APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 11-9-04

**DOUGLAS E. REYNOLDS**  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 69288  
 11/14/04

Design:	WHS	Date:	11/04
Draft:	GAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG			

**GP** Gorrell-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 19 Box 1237  
 13 Siewer Road  
 Bux, ME 04039  
 207-657-6910  
 Fax: 207-657-6912  
 E-Mail: malskog@palmer.com

Drawing Name:  
**Lot 4 Layout & Utility Plan**  
 Project:  
**PRESUMPSCOT RIVER PLACE**

Figure No.  
**2**





**NOTE:**  
 AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

UNDISTURBED ZONE PER CITY OF PORTLAND SUBDIVISION APPROVAL. NO TREE CUTTING, GRADING, DISTURBANCE OF VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

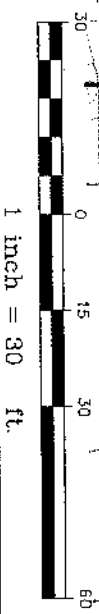
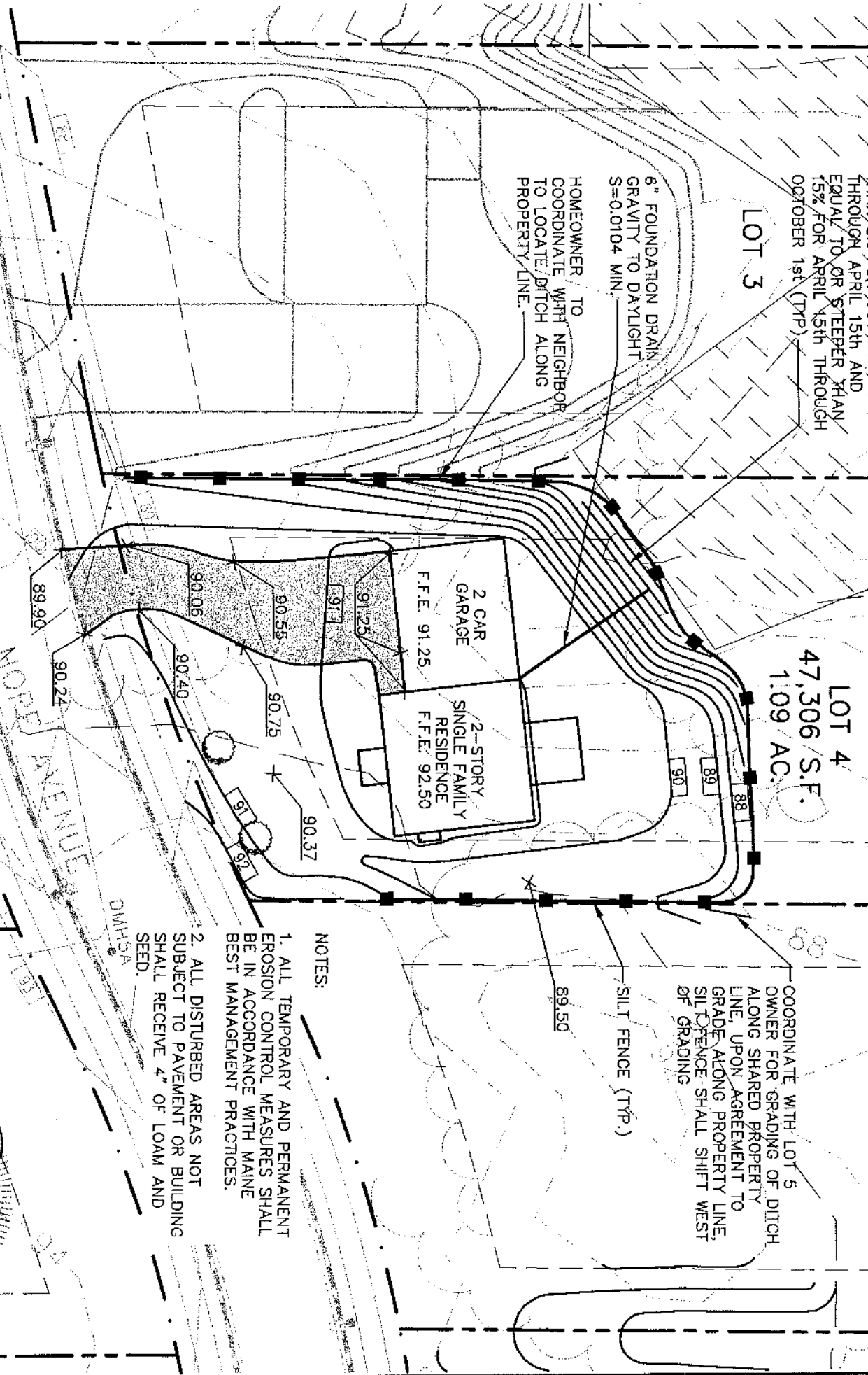
TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT S=0.0104 MIN.

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE.

COORDINATE WITH LOT 5 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE. UPON AGREEMENT TO GRADE ALONG PROPERTY LINE, SILT FENCE SHALL SHIFT WEST OF GRADING

- NOTES:**
1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
  2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.



Designer: WMS	Date: 11/1/04
Draft: CHH	Job No.: 1311
Checked: DER	Scale: 1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG	

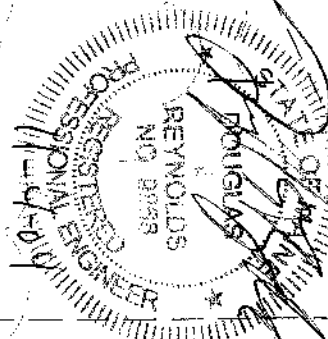
**GP** Gortil-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

90 Box 1237  
 15 State Road  
 Gray ME 04830  
 207-657-6950  
 FAX: 207-657-6912  
 E-Mail: mdpalmer@gortilpalmer.com

Drawing Name: **Lot 4 Grading & Drainage Plan**

Project: **PRESUMPSCOT RIVER PLACE**

Figure No. **3**



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2004-0216

Application I. D. Number

10/15/2004

Application Date

Hope Ave Lot #4

Project Name/Description

118 - 118 Hope Ave, Portland, Maine

Address of Proposed Site

390 A010001

Assessor's Reference: Chart-Block-Lot

Goldeneye Corp  
Applicant  
32 East Bridge St, Westbrook, ME 04092  
Applicant's Mailing Address

_____  
Consultant/Agent  
**Agent Ph:** _____  
**Agent Fax:** _____  
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  
 New Building     Building Addition     Change Of Use     Residential     Office     Retail  
 Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) _____

Proposed Building square Feet or # of Units 47306 sf

Acreage of Site _____

Zoning _____

**Check Review Required:**

Site Plan (major/minor)     Subdivision # of lots     PAD Review     14-403 Streets Review  
 Flood Hazard     Shoreland     Historic Preservation     DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)     Zoning Variance     Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 10/15/2004

**RC Approval Status:**

Approved     Approved w/Conditions See Attached     Denied  
 Reviewer _____  
 Approval Date _____ Approval Expiration _____ Extension to _____  
 Condition Compliance _____ signature _____ date _____  
 Additional Sheets Attached

Performance Guarantee  Required*     Not Required

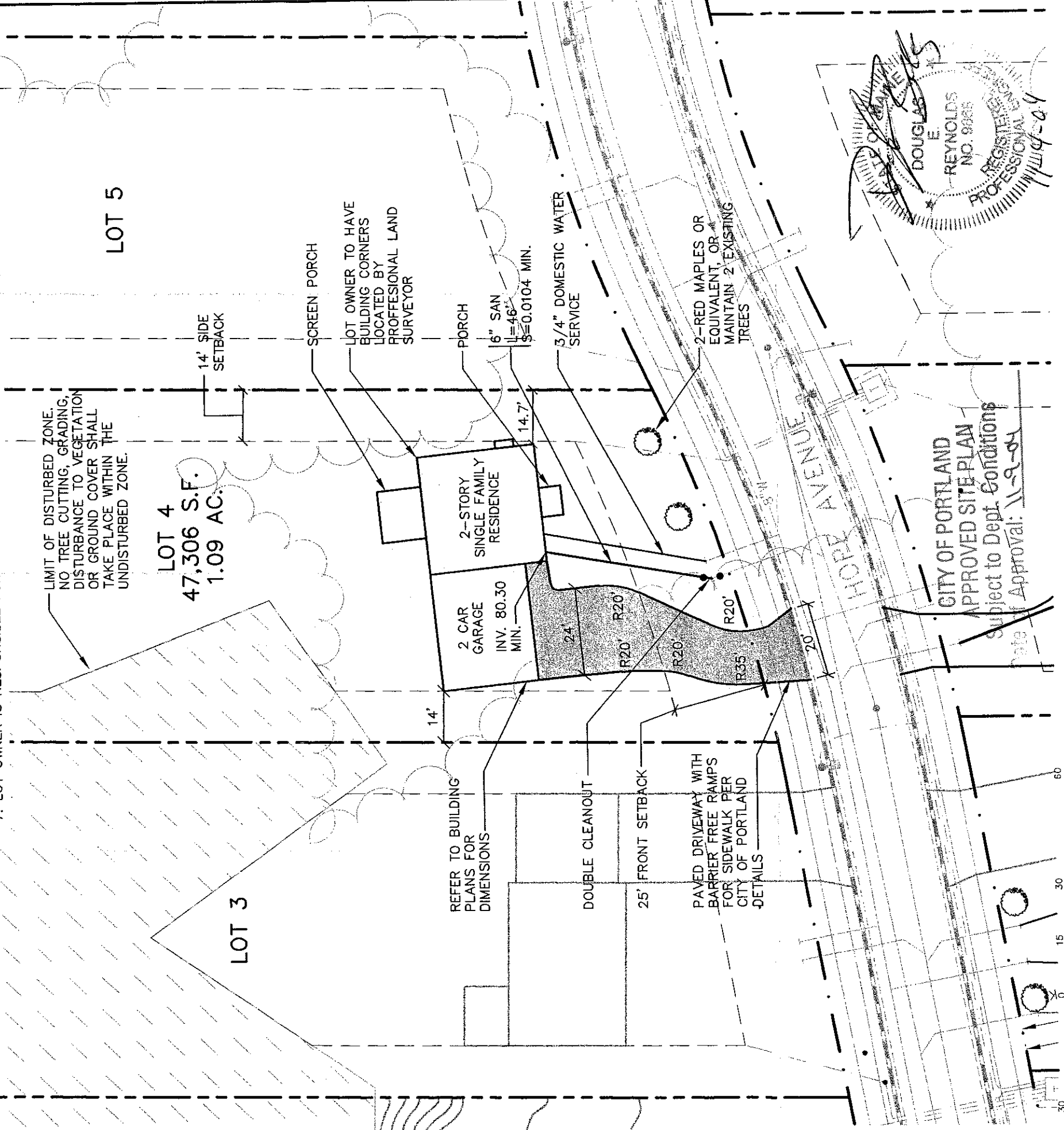
No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted	date	amount	expiration date
Inspection Fee Paid	_____	_____	_____
Building Permit Issue	_____	_____	_____
Performance Guarantee Reduced	_____	_____	_____
Temporary Certificate of Occupancy	_____	remaining balance	signature
Final Inspection	_____	<input type="checkbox"/> Conditions (See Attached)	expiration date
Certificate Of Occupancy	_____	signature	_____
Performance Guarantee Released	_____	signature	_____
Defect Guarantee Submitted	_____	signature	_____
Defect Guarantee Released	submitted date	amount	expiration date
	_____	_____	_____

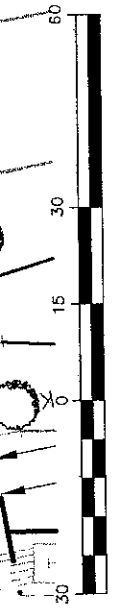
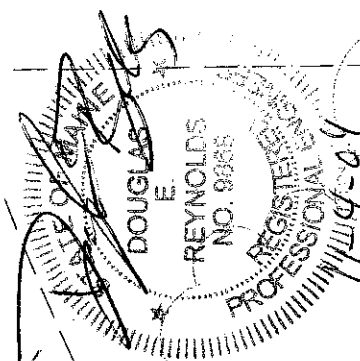


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CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 11-9-04



Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'
File Name: 98089-1198089-ALL-LOTS.DWG			

**GP**  
 Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 P.O. Box 1227  
 19 Shaw Ave.  
 067-WE 0609  
 207-697-6810  
 FAX: 207-697-6812  
 E-Mail: mtd@gorrillpalmer.com

Drawing Name: **Lot 4 Layout & Utility Plan**  
 Project: **PRESUMPCOT RIVER PLACE**





**NOTE:**

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
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TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT S=0.0104 MIN.

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE.

UNDISTURBED ZONE PER CITY OF PORTLAND SUBDIVISION APPROVAL, NO TREE CUTTING, GRADING, DISTURBANCE OF VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

**LOT 4**  
47,306 S.F.  
1.09 AC.

**LOT 3**

**LOT 5**

COORDINATE WITH LOT 5 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE. UPON AGREEMENT TO GRADE ALONG PROPERTY LINE, SILT FENCE SHALL SHIFT WEST OF GRADING

SILT FENCE (TYP.)

2 CAR GARAGE  
F.F.E. 91.25

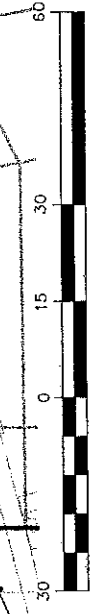
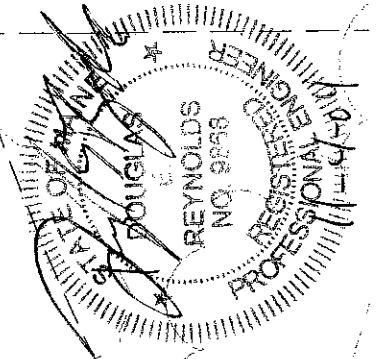
2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 92.50

**NOTES:**

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

DMHSA

NOPEL AVENUE



Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1111
Checked:	DER	Scale:	1"=30'

File Name: 98089-1\98089-ALL-LOTS.DWG

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Drawing Name: **Lot 4 Grading & Drainage Plan**  
Project: **PRESUMPSCOT RIVER PLACE**