

Approved / Revised site plan
 for 118(2) Hope Ave
 Sept 4
 8804010
 2004-206

ALL CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY

THE CONTRACTOR IS FULLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AND THE LOCATION OF THE FOUNDATIONS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE AVAILABLE IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR CORRECT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

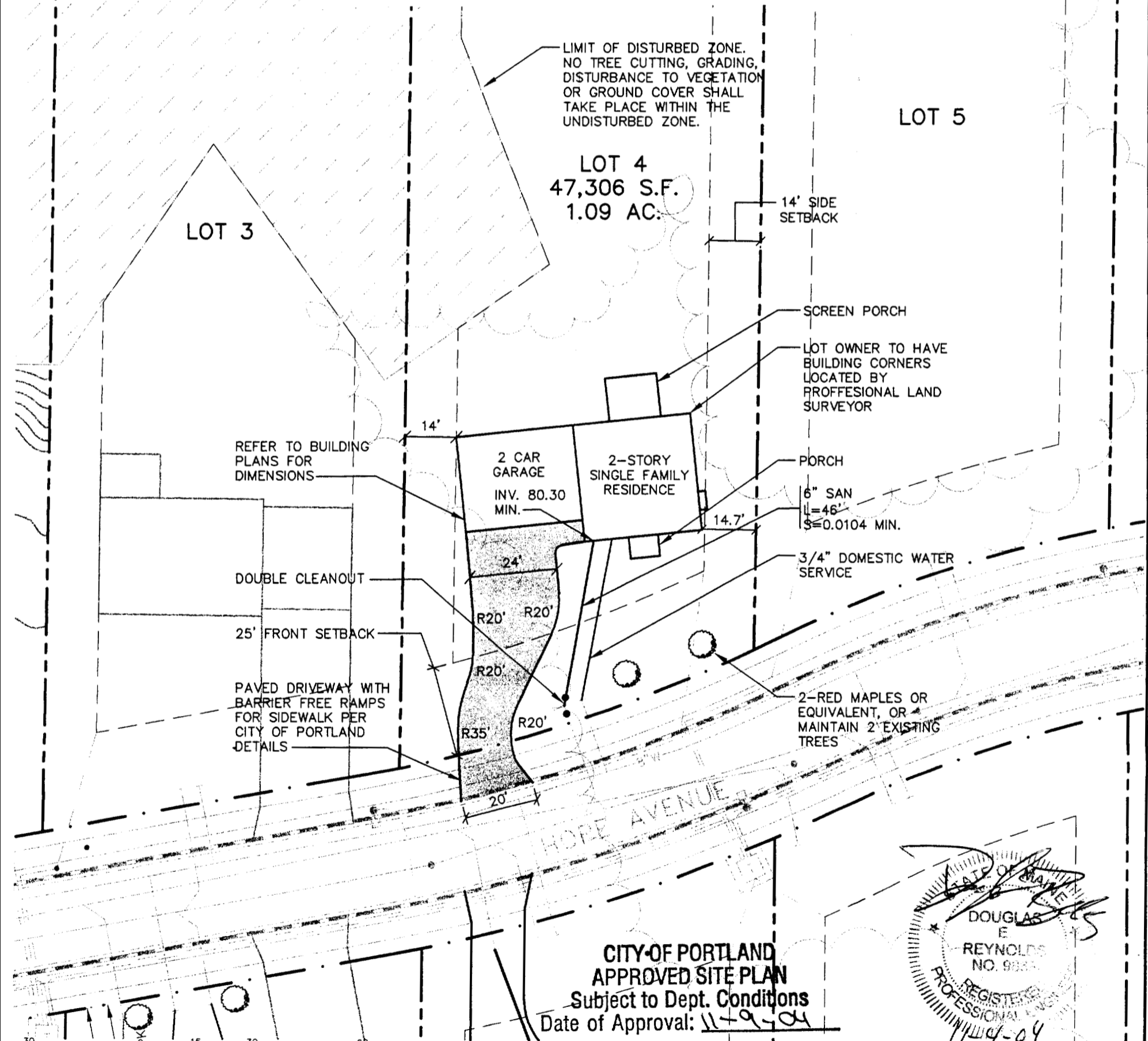
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.

4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

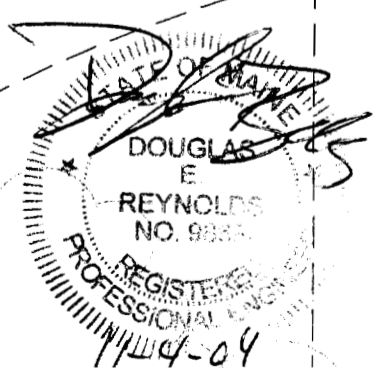
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11-9-04



Draft: CAH	Job No.: 1111
Checked: DER	Scale: 1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG	

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 207-857-6910
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PRESUMPCOT RIVER PLACE



NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

LOT 3

6" FOUNDATION DRAIN GRAVITY TO DAYLIGHT S=0.0104 MIN.

HOMEOWNER TO COORDINATE WITH NEIGHBOR TO LOCATE DITCH ALONG PROPERTY LINE.

UNDISTURBED ZONE PER CITY OF PORTLAND SUBDIVISION APPROVAL. NO TREE CUTTING, GRADING, DISTURBANCE OF VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THE UNDISTURBED ZONE.

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

LOT 4
47,306 S.F.
1.09 AC.

LOT 5

COORDINATE WITH LOT 5 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE, UPON AGREEMENT TO GRADE ALONG PROPERTY LINE, SILT FENCE SHALL SHIFT WEST OF GRADING

SILT FENCE (TYP.)

89.50

2 CAR GARAGE

F.F.E. 91.25

2-STORY SINGLE FAMILY RESIDENCE

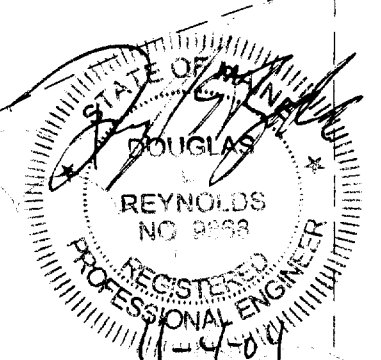
F.F.E. 92.50

NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

DMH5A

HOPE AVENUE



CB7
MHS

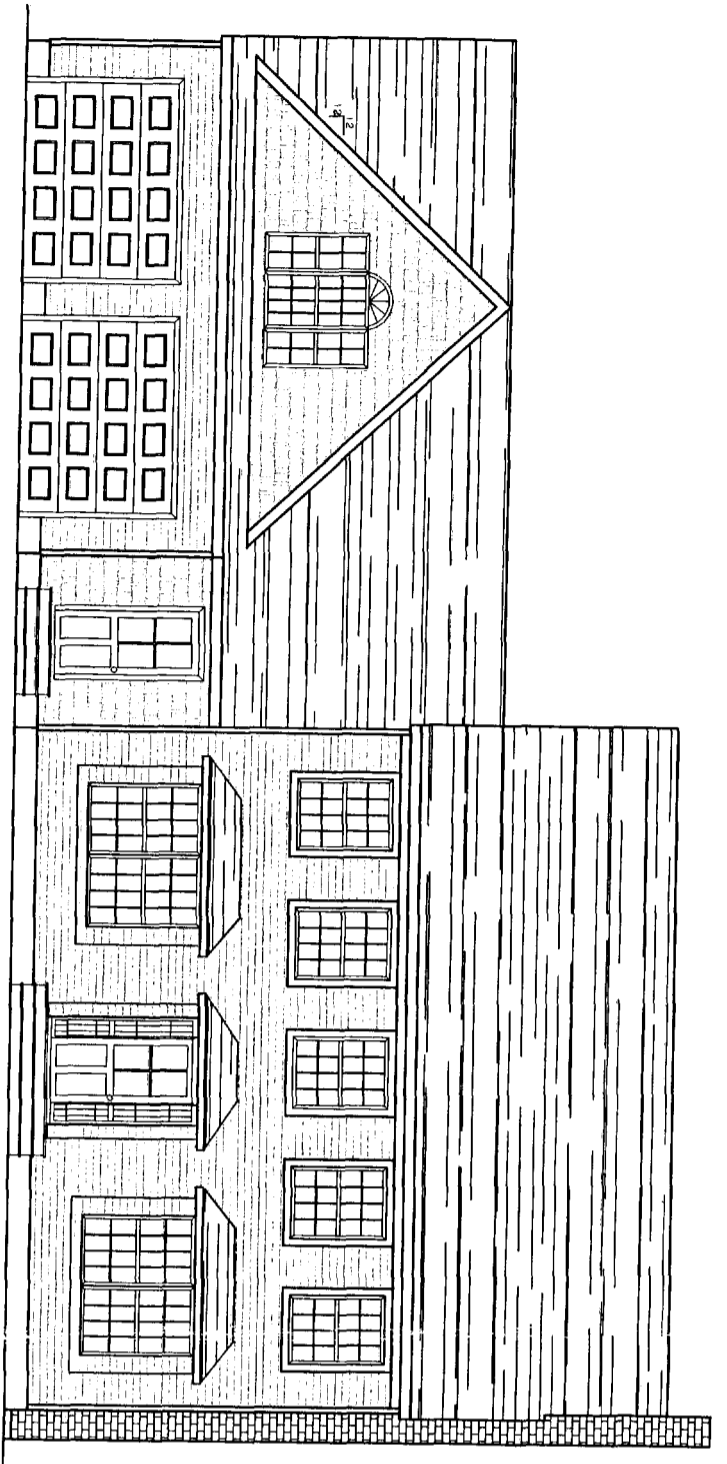


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Draft: CAH	Job No.: 1111
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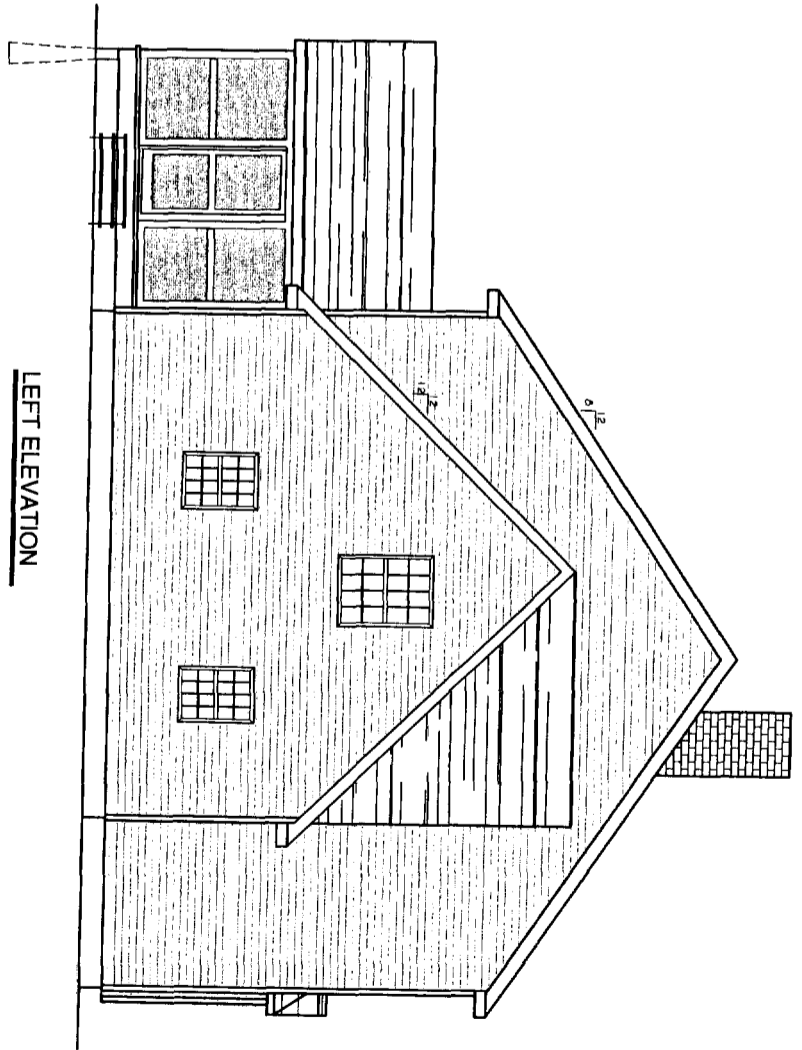
GP Corrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
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 15 Saker Road
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 207-657-6910
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 E-mail: molbox@corrillpalmer.com

Drawing Name: Lot 4 Grading & Drainage Plan
Project: PRESUMPCOT RIVER PLACE

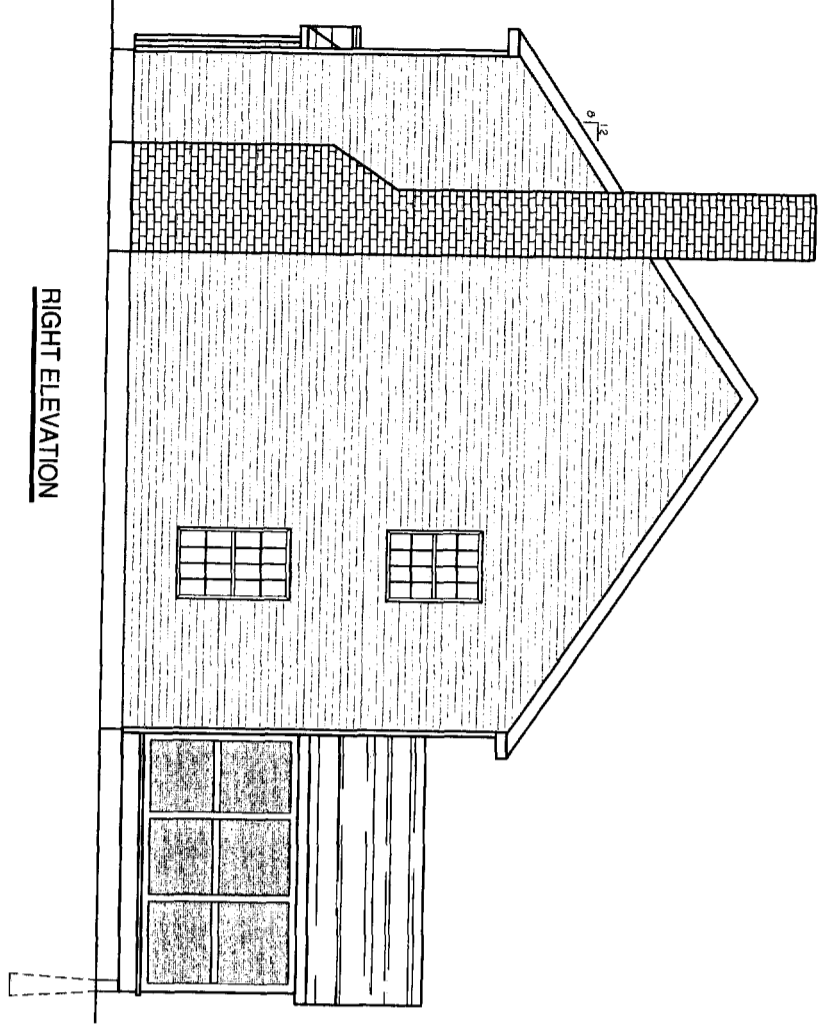
Figure No.
3



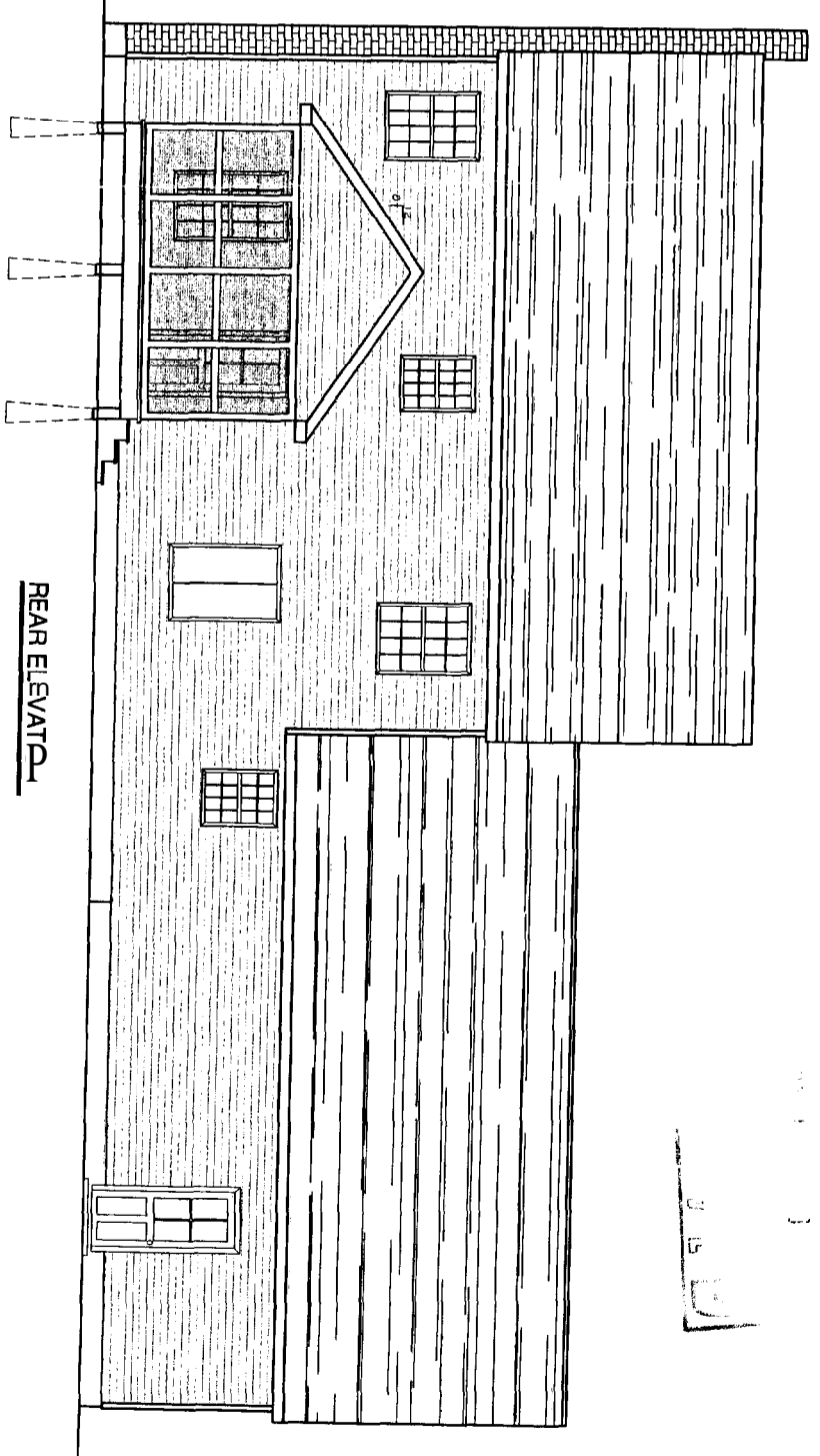
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

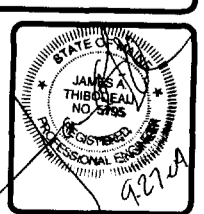
DATE: 09/27/04
 SCALE: 1/4"=1'-0"
 DESIGN BY: CMG
 DRAWN BY: AL

PROJECT: **LOT #4, HOPE AVE**
PORTLAND, ME
 FOR: VESTA CORP
 SHEET TITLE:
BUILDING ELEVATIONS

REVISIONS		
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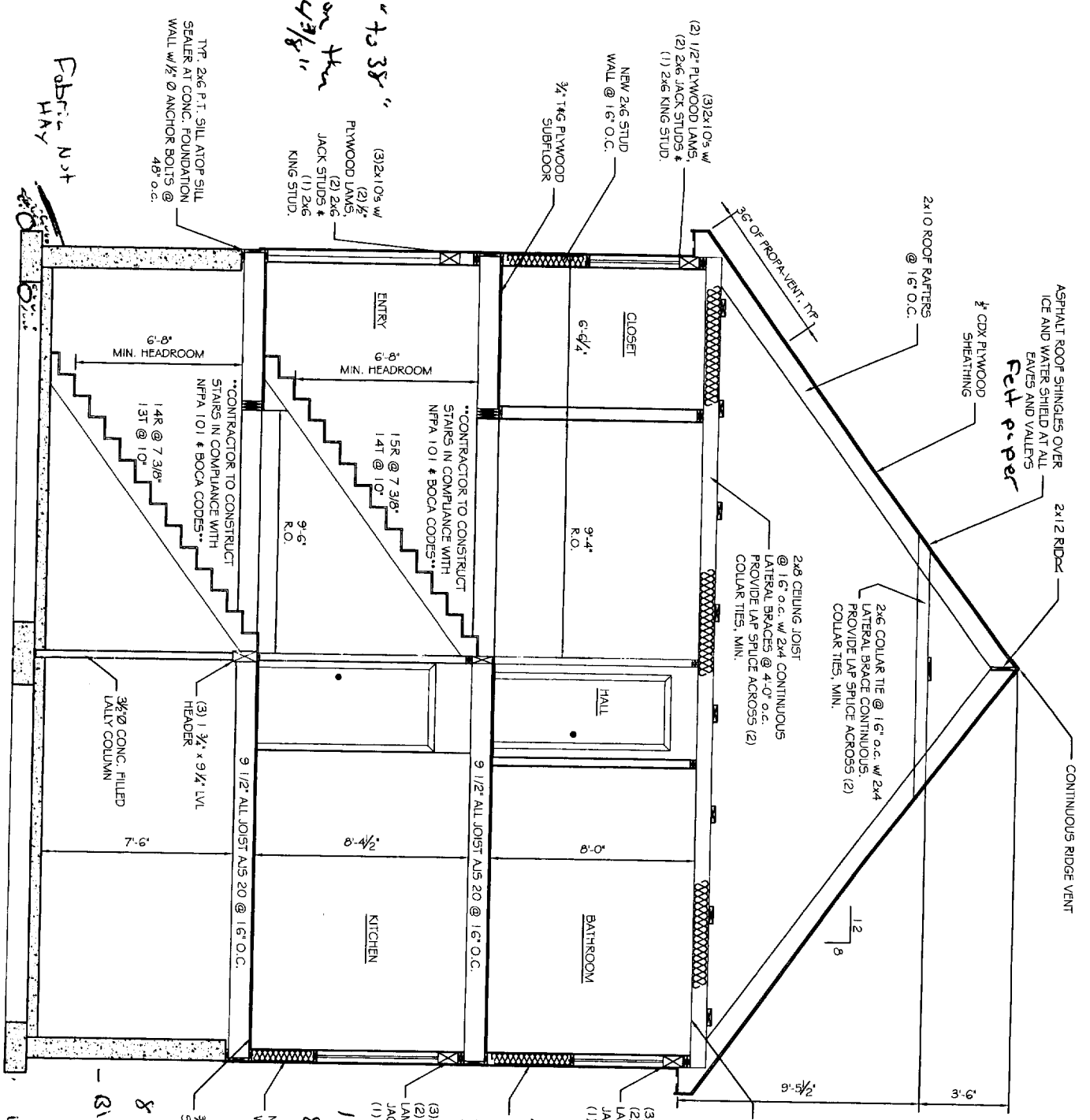
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1:04154\04154 ST-ELEV.DWG

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 FILE # 04154-001-ELEV.DWG
 PROJECT NUMBER:
04154
 SHEET NO.:
S201

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Hand nailed 34" to 38" bolts to be not more than 4 3/8"

Fabric Not
4" Plastic Pipe easel out.
per crushed stone inside + out.

A FRAMING SECTION A
SCALE: 3/8"=1'-0"

8" Drip edge
R38 BATT INSULATION @ CEILING w/ 1x3 STRAPPING @ 16" o.c. w/ 1/2" GYPSUM WALL BOARD

TRF. WALL CONSTRUCTION
1/2" GYPSUM WALLBOARD OVER 6" WALL VAPOR BARRIER, NEW 2x6 STUD WALL @ 16" o.c. w/ R-19 BATT INSULATION, 1/2" PLYWOOD SHEATHING, AIR BARRIER AND CEILING SIDING.

(3) 2x10s w/ (2) 1/2" PLYWOOD LAMS, (2) 2x6 JACK STUDS & (1) 2x6 KING STUD

16 Perry Nails Framing & Perry Nails Sheathing.

8" concrete wall
Black Foundation waterproof coating.

10" x 24" concrete footing.

OCT 1 2004

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PORTLAND, ME
FOR: VEST CORP

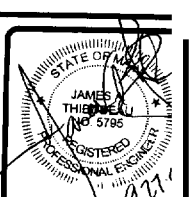
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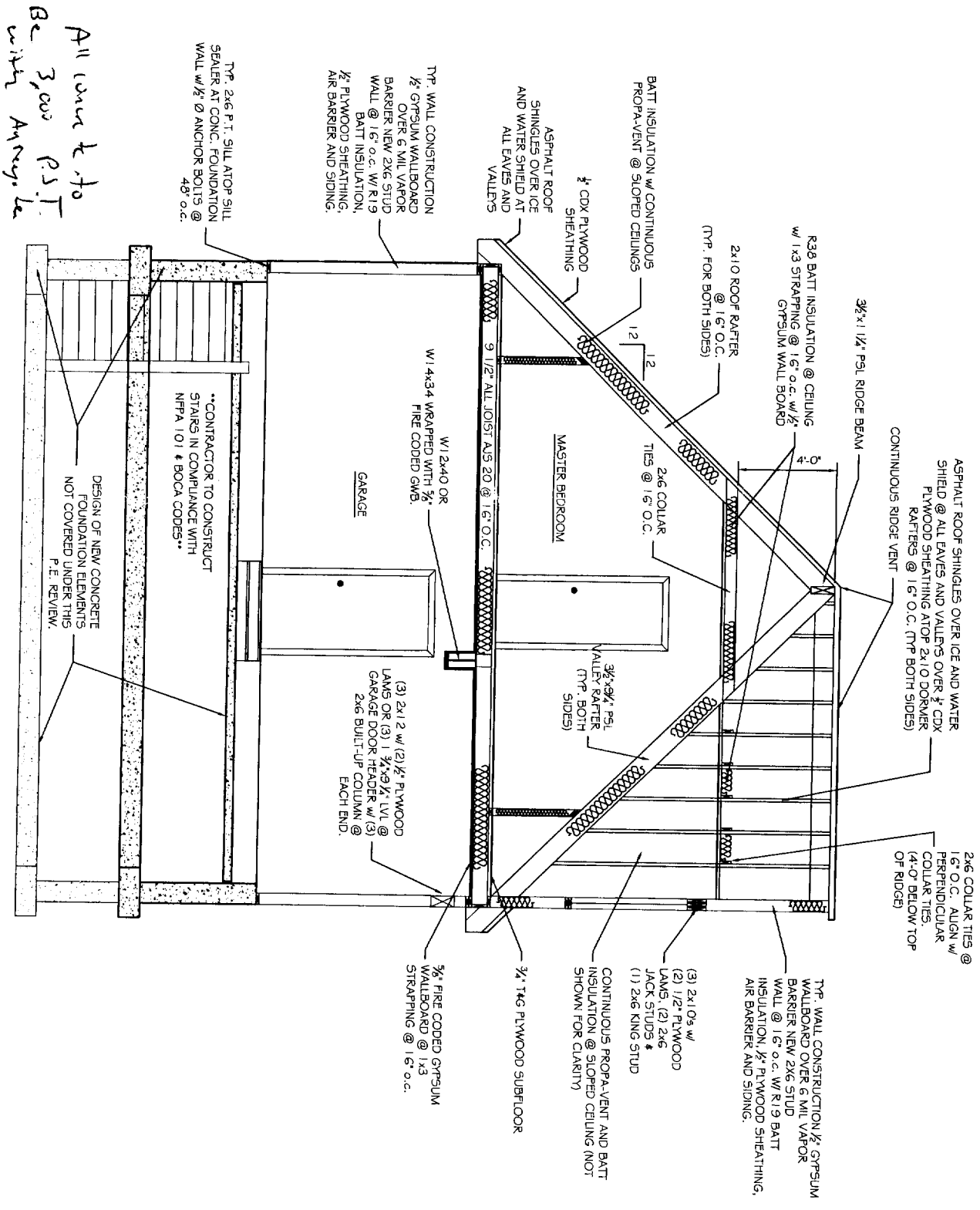
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B FRAMING SECTION B
SCALE: 3/8" = 1'-0"

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2	AL	
3	AL	

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PORTLAND, ME**
FOR: VEST CORP

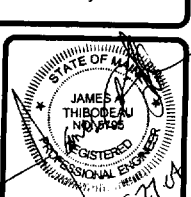
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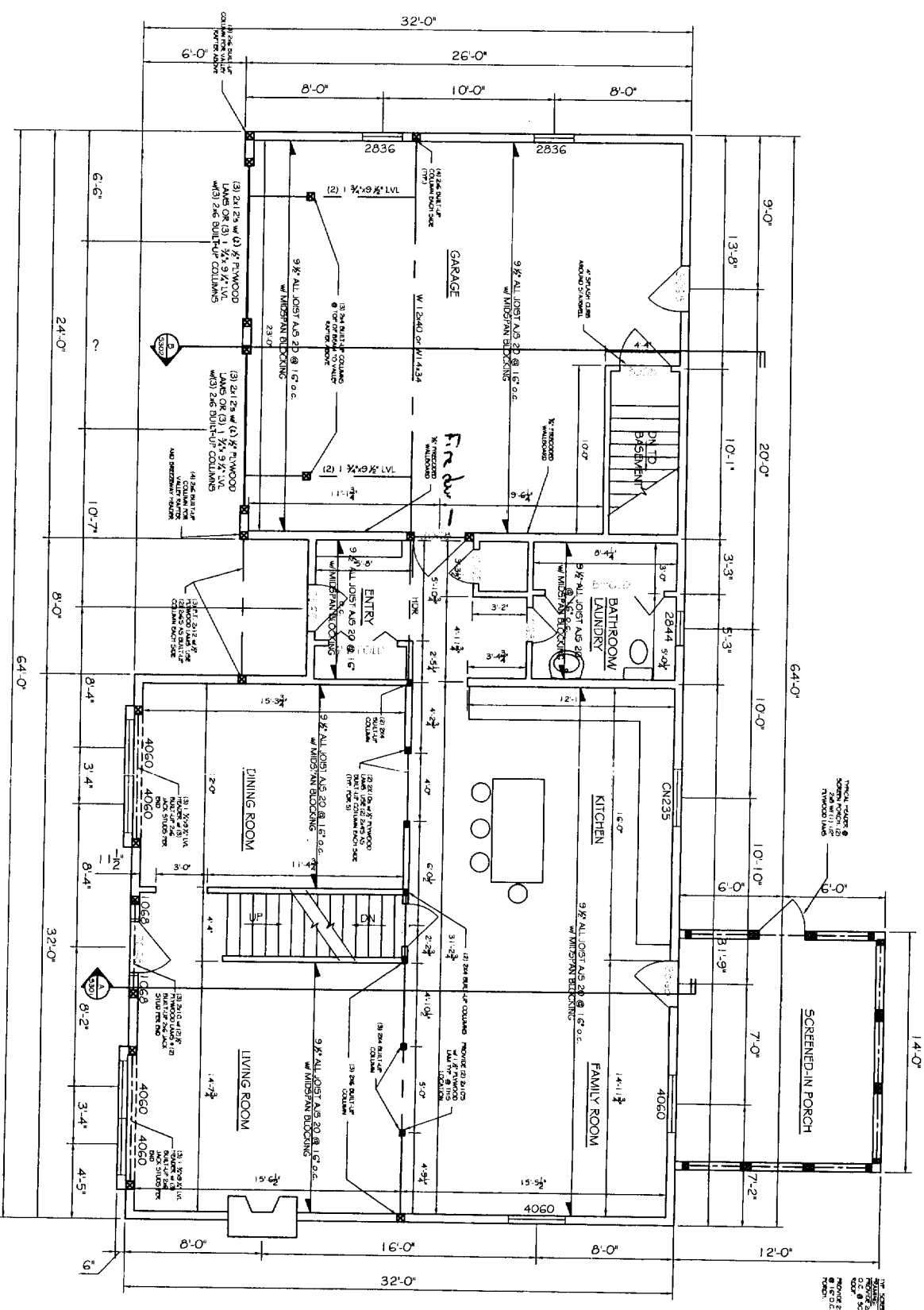
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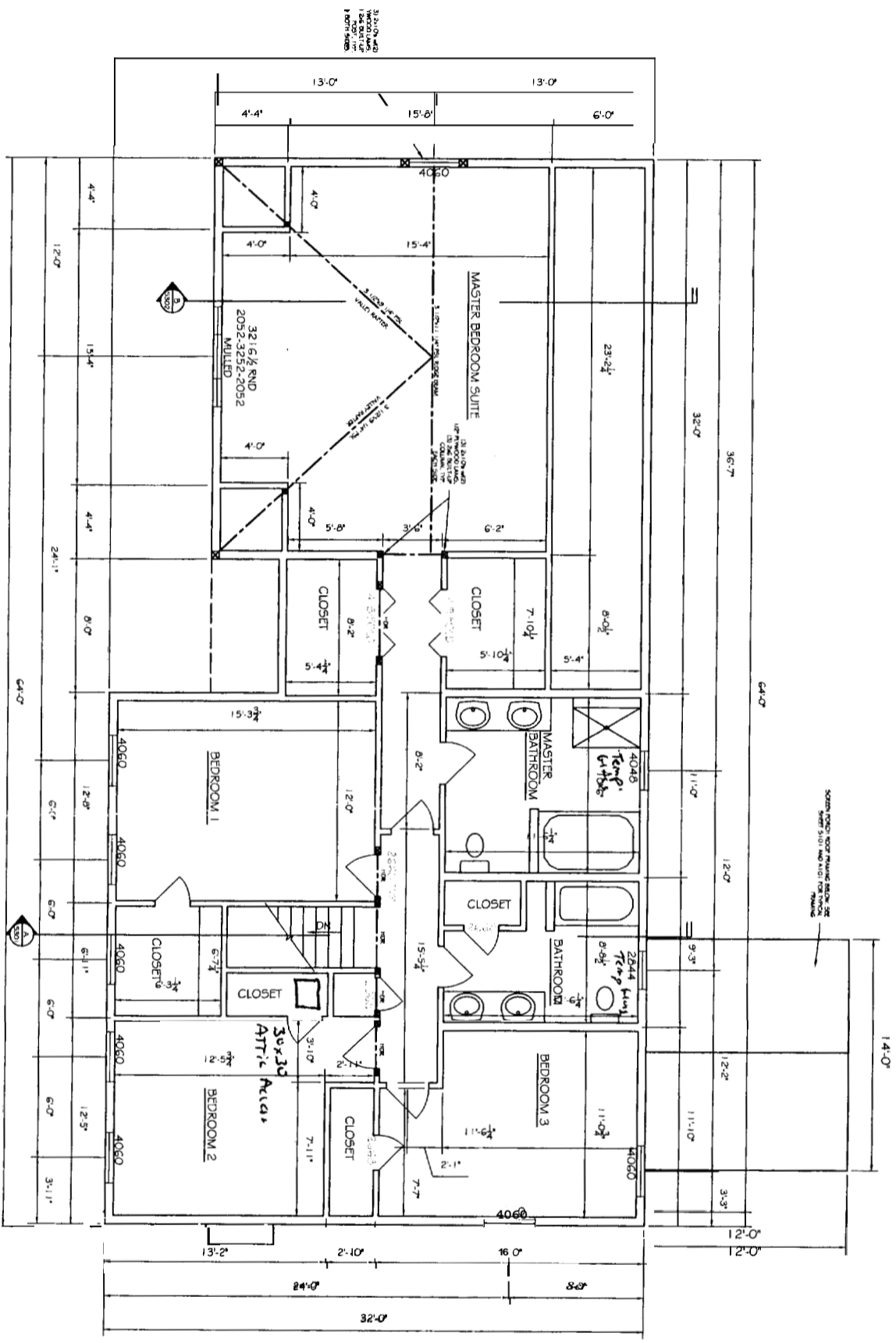


DATE: 09/27/04
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DRAWN BY: AL
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SHEET NO: 3302

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SECOND FLOOR PLAN w/ CEILING FRAMING
SCALE: 1/4"=1'-0"

STRUCTURAL LOADS:

- SNOW LOAD = 50 PSF
- UNBALANCED SNOW LOAD = 75 PSF
- ROOF DEAD LOAD = 1.0 PSF
- CEILING LIVE LOAD = 20 PSF
- CEILING DEAD LOAD = 15 PSF
- WIND LOAD - WINDWARD = 19 PSF
- WIND LOAD - LEeward @ 1 = -19 PSF
- WIND LOAD - LEeward @ 2 & 3 = -23 PSF
- FIRST FLOOR LIVE LOAD = 40 PSF
- FIRST FLOOR DEAD LOAD = 10 PSF
- SECOND FLOOR LIVE LOAD = 30 PSF
- SECOND FLOOR DEAD LOAD = 10 PSF

HEADER CONSTRUCTION NOTES:

- A. INTERIOR HEADERS @ SECOND FLOOR TO BE:
 - (2) 2x10s w/ (1) 1/2" PLYWOOD LAM
 - (2) 2x6 JACK STUDS PER SIDE
 - (1) 2x6 KING STUDS
 TYPICAL UNLESS OTHERWISE NOTED

B. EXTERIOR HEADERS @ SECOND FLOOR TO BE:

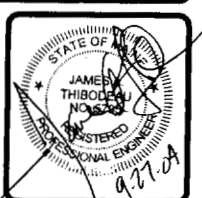
- (3) 2x10s w/ (2) 1/2" PLYWOOD LAMs,
 - (2) 2x6 JACK STUDS PER SIDE,
 - (1) 2x6 KING STUD
- UNLESS NOTED OTHERWISE

GENERAL STRUCTURAL NOTES:

1. ALL PILES ARE 2'-0" E. PABALAM UNLESS OTHERWISE NOTED
2. ALL LVLS ARE 1.9E MICROLAM LVLS UNLESS OTHERWISE NOTED
3. ALL FRAMING LUMBER IS TO BE SPRUCE-PINE-FIR (S-P-F) #2 GRADE OR BETTER
4. ALL SPECIFIED HEADER POSTS ARE "JACK STUDS" & SHOULD EXTEND TO THE UNDERSIDE OF HEADER. CONTRACTOR SHOULD PROVIDE (1) 2x KING STUD, RECD @ EACH END OF HEADER UNLESS OTHERWISE NOTED.
5. ALL NEW STRUCTURAL POSTS SHALL CONTINUE DOWN TO NEXT FLOOR LEVEL.
6. PROVIDE & INSTALL ALL SIMPSON STRONG-TIE CONNECTORS AS RECOMMENDED BY MANUFACTURER.
7. CONTRACTOR TO FOLLOW ALL PRODUCT RECOMMENDATIONS (SEE PROVIDED CUT SHEETS FROM ALL JOIST PRODUCT MANUAL FOR ALL JOIST FLOOR FRAMING TO ACHIEVE SPECIFIED FLOOR PERFORMANCE.
8. ALL JOIST AS 20s TO HAVE MIN. 1/2" BEARING UNLESS OTHERWISE NOTED.

SEP 1 2004

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PORTLAND, ME
FOR VESTA CORP
SHEET TITLE **SECOND FLOOR PLAN w/ CEILING FRAMING**

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No.	BY	DATE

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SCALE: 1/4"=1'-0"
DESIGN BY: CMB
DRAWN BY: AL
FILE #04154-SIG-PLANLDMG
PROJECT NUMBER **04154**
SHEET NO. **S102**