

PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1567 Issue Date: NOV 17 2004 CBL: 390 A010001

Location of Construction: 118 Hope Ave (Lot #4)		Owner Name: Goldeneye Corp	Owner Address: 662 East Bridge St	CITY OF PORTLAND		Phone: 2078792217
Business Name:		Contractor Name: Vesta Corp.	Contractor Address: P.O. 1464 Portland		Phone: 2078792217	
Lessee/Buyer's Name		Phone:	Permit Type: Single Family		Zone: R2	
Fast Use: Vacant Land		Proposed Use: Single Family Home w/ attached 2 car garage	Permit Fee: \$1,896.00	Cost of Work: \$200,000.00	CEO District: 5	
Proposed Project Description: Single Family Home w/ attached 2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB IRC 2003		
		Signature:		Signature: JMB 11/17/04		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:				
Permit Taken By: Idobson	Date Applied For: 10/15/2004	<b>Zoning Approval</b>				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>7004-0216</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>11/3/04</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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<b>Permit No:</b> 04-1567	<b>Date Applied For:</b> 10/15/2004	<b>CBL:</b> 390 A010001
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<b>Location of Construction:</b> 118 Hope Ave (lot #4)	<b>Owner Name:</b> Goldeneye Corp	<b>Owner Address:</b> 662 East Bridge St	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Vesta Corp.	<b>Contractor Address:</b> P.O. 1464 Portland	<b>Phone:</b> (207) 879-2217
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home w/ attached 2 car garage	<b>Proposed Project Description:</b> Single Family Home w/ attached 2 car garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/03/2004

**Note:** **Ok to Issue:**

- 1) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum 12' wide. Individual homeowners shall be responsible for paving of driveway.
- 2) NO DAYLIGHT BASEMENTS are being shown. NO DAYLIGHT BASWMENTS are being approved.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages. A rear 12' x 14' screen porch is being shown and approved.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/17/2004

**Note:** 11/3/04 Spoke to Mike D. About review issues, he went on vacation and will call later. **Ok to Issue:**

- 1) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be permitted and installed in order to change the use of this space.
- 2) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 3) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 4) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 11/09/2004

**Note:** **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext .8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Your new street address HAS NOT BEEN ASSIGNED YET, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**2003 INTERNATIONAL  
RESIDENTIAL CODE®  
FOR ONE- AND TWO-FAMILY DWELLINGS  
2003 PLAN REVIEW RECORD**

Plan Review # PS1012  
Date # 04.15.07  
Valuation \_\_\_\_\_  
Fee \_\_\_\_\_

JURISDICTION 390-A-010  
(City, County, Township, etc.)  
BUILDING LOCATION 118 Hope Ave Lot # 4  
(Street address)  
BUILDING DESCRIPTION Basement entry of 4 unit Attached Garage  
with 2nd floor porch  
REVIEWED BY \_\_\_\_\_

This document is for informational purposes only and does not constitute a contract. The plan review is performed as indicated in the code. It is the responsibility of the applicant to provide all necessary information and details for the review. The code is the authority for all requirements. The code is the authority for all requirements. The code is the authority for all requirements. The code is the authority for all requirements.

**CORRECTION LIST**

No.	DESCRIPTION	Code Section
11/17/04	Basement Egress - Spec House smokes - Per M.D. Handrails - Per M.D.	
?	Screen porch Ht off Grade less than 30" Per M.D.	



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NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation require coordination with the inspection phase (R109) of the project.

### BUILDING PLANNING (Chapter 3)

LOCAL DESIGN CRITERIA (Table R301.2(1) unless noted otherwise)

Floor live load (Table R307.5) 40 & 30 psf  
 Roof live load (Table R301.6) \_\_\_\_\_ psf  
 Ground snow load 50 psf  
 Basic wind speed \_\_\_\_\_ mph  
 Wind exposure category (R307.2.7.4) \_\_\_\_\_  
 High wind ( $\geq 110$  mph) design criteria (R307.2.7.7) \_\_\_\_\_  
 Seismic design category (SDC) [Figure R301.2(2)] \_\_\_\_\_  
 SDC C&D provisions (R307.2.2) \_\_\_\_\_  
 Weathering area \_\_\_\_\_

LOCAL DESIGN CRITERIA (cont'd.)

Frost line depth 4'  
 Termite area \_\_\_\_\_  
 Decay area \_\_\_\_\_  
 Winter design temperature \_\_\_\_\_  
 Ice shield underlayment required \_\_\_\_\_  
 Flood hazards \_\_\_\_\_

LOCATION ON LOT (R302)

\_\_\_\_\_ 1-hour rating for exterior walls located less than 3 feet from lot line (R302.7)  
 \_\_\_\_\_ Exterior wall openings/penetrations (R302.2/R302.3)

Use	Area (ft <sup>2</sup> )	Width	Average ceiling	Minimum ceiling	Natural* light	Natural ventilation*
Living	120	7'-0"	7'-0"	5'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	5'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	5'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	5'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	7'-0"	5'-0"†	3 square feet	1 1/2 square feet

† 6'-8" min. over plumbing fixtures.

\_\_\_\_\_ Required heating (R303.8)

SANITATION (R306 & R307)

\_\_\_\_\_ Water closet  
 \_\_\_\_\_ Lavatory  
 \_\_\_\_\_ Tub or shower  
 \_\_\_\_\_ Kitchen area with sink  
 \_\_\_\_\_ Sanitary sewer (Chapter 30)  
 \_\_\_\_\_ Private disposal (Appendix I)

GLAZING (R308)

\_\_\_\_\_ Identification (R308.7)  
 \_\_\_\_\_ Louvered windows or jalousies (R308.2)  
 \_\_\_\_\_ Human impact loads/hazardous locations (R308.3/R308.4)  
 \_\_\_\_\_ Skylights and sloped glazing (R308.6)

GARAGES AND CARPORTS (R309)

\_\_\_\_\_ No opening between garage and sleeping room (R309.1)  
 ✓ \_\_\_\_\_ Other openings (garage to residence); 1 3/8" solid wood doors, 20-minute fire-rated doors (R309.1)  
5/8 - 5/8 \_\_\_\_\_ Garage-dwelling separation; 1/2" gypsum board on garage side, except 5/8" Type X required below habitable rooms (R309.2)

GARAGES AND CARPORTS (cont'd.)

\_\_\_\_\_ Floor surface noncombustible (R309.3)  
 \_\_\_\_\_ Carport: open two sides; noncombustible floors; sloped floor (R309.4)

EGRESS (R310 through R312)

\_\_\_\_\_ Basement with habitable space and sleeping room window for emergency escape: opening 5.7 square feet (grade floor, 5 square feet), 24" net clear height, 20" net clear width; maximum sill height = 44" (R370.7 through R310.1.4)  
 \_\_\_\_\_ Window wells (R370.2)  
 \_\_\_\_\_ Exit balconies (R317.2.7)  
 \_\_\_\_\_ Exit access or hallway  $\geq 3'$  (R317.3)  
 \_\_\_\_\_ One exit from each dwelling unit (R317.4.7)  
 \_\_\_\_\_ Exit door  $\geq (3'0" \times 6'8")$  (R317.4.2)  
 \_\_\_\_\_ Landings for doors (R311.4.3)  
 \_\_\_\_\_ Stairways; minimum width = 3'0"; maximum stair rise = 7 3/4"; minimum tread = 10" with 3/4"-1 1/4" nosing; minimum headroom = 6'8" (R317.5)  
 \_\_\_\_\_ Landings for stairways; minimum dimension 3'6" (R311.5.4)  
 \_\_\_\_\_ Special stairways (R311.5.8)  
 \_\_\_\_\_ Ramp slope (1:8 maximum) (R317.6)  
 \_\_\_\_\_ Ramp landing, minimum 3' x 3' (R311.6.2)  
 \_\_\_\_\_ Ramp handrails; one required if slope > 1:12 (R317.6.3)

## BUILDING PLANNING (cont'd.)

### EGRESS (cont'd.)

- \_\_\_\_\_ Stairway illumination (R311.5.7)
- \_\_\_\_\_ Under stair protection (R311.2.2)
- \_\_\_\_\_ Handrails; required on one side of stair, handrail height = 34" to 38; Type I or Type II grip (R311.5.6 through R311.5.6.3)
- \_\_\_\_\_ Guards: required for porches, balconies, open sides of stairs, or raised floor surfaces > 3' 0" above floor; 34"-36" minimum guard height (R312.1)
- \_\_\_\_\_ Opening limitations (R312.2)

### SMOKE ALARMS (R313)

- \_\_\_\_\_ Location and interconnection (R313.1)
- \_\_\_\_\_ Power source (R313.2)

### FOAM PLASTIC (R314)

- \_\_\_\_\_ Approved (R314.1)
- \_\_\_\_\_ Specific requirements (R314.2)

### WALL AND CEILING FINISH (R315)

- \_\_\_\_\_ Flame spread (R315.1)
- \_\_\_\_\_ Smoke-developed index (R315.2)

### INSULATION (R316)

- \_\_\_\_\_ Flame spread (R316.1)
- \_\_\_\_\_ Smoke-developed index (R316.1)
- \_\_\_\_\_ Attic (R316.4)

### DWELLING UNIT SEPARATION (R317)

- \_\_\_\_\_ Two-family dwellings: 1-hour fire-resistance rating (R317.1)
- \_\_\_\_\_ Supporting construction (R317.1.1)
- \_\_\_\_\_ Townhouse 2 hour exception (R317.2)
- \_\_\_\_\_ Continuity (R317.2.1)
- \_\_\_\_\_ Townhouse parapet (R317.2.2)
- \_\_\_\_\_ Townhouse structural independence (R317.2.4)
- \_\_\_\_\_ Rated penetrations (R317.3)

### MOISTURE VAPOR RETARDERS (R318)

- \_\_\_\_\_ Required (R318.1)

### DECAY AND TERMITE AREAS (R319 & R320)

- \_\_\_\_\_ Location required [Table R301.2(1)]
- \_\_\_\_\_ Quality mark (R319.2 and R320.1.1)

### SITE ADDRESS (R321)

- \_\_\_\_\_ Premises identification (R321.1)

### ACCESSIBILITY (R322)

- \_\_\_\_\_ Accessible dwelling units applicable (R322.1)

### FLOOD-RESISTANT CONSTRUCTION (R323)

- \_\_\_\_\_ Construction (R323.1)
- \_\_\_\_\_ Hazard area & elevation requirements (R323.2 and R323.3)
- \_\_\_\_\_ Design professional (R323.3.6)

## FOUNDATIONS (Chapter 4)

### MATERIALS (R402)

- \_\_\_\_\_ Wood foundations (R402.1)
- 3000 PSI \_\_\_\_\_ Concrete, compressive strength (R402.2)

### FOOTINGS (R403)

- >1500 \_\_\_\_\_ Soil bearing value (R401.4, R403.1)
- 10" X 24" \_\_\_\_\_ Footing width (see page 5)
- 8" \_\_\_\_\_ Footing edge thickness = 6" minimum; footing projection = 2" minimum, but ≤ footing thickness (R403.1.1)
- N/A \_\_\_\_\_ Footings in SDC D, & D<sub>1</sub> (R403.1.2 R403.1.3 and R403.1.6.1)
- 4' \_\_\_\_\_ Depth below (outside) grade = 12" minimum; but below frost line except for frost protected footings. Seismic Design Category D, and D<sub>2</sub> = 18" min. (R403.1.4, R403.1.4.1 and R403.1.4.2)

### FOOTINGS (cont'd.)

- 1/2" 480c. \_\_\_\_\_ Sill plate bolting in concrete/masonry = 1/2" diameter bolts at 6' o.c. and within 12" but not less than 7 bolt diameters from corner, 7" embedment (R403.1.6)

- N/A \_\_\_\_\_ Footings adjacent to slopes (R403.1.7)
- N/A \_\_\_\_\_ Frost protected shallow foundations (R403.3)

### FOUNDATION WALLS (R404 through R406)

- N/A \_\_\_\_\_ Masonry foundation walls (R404.1.1)
- \_\_\_\_\_ Concrete foundation walls (R404.1.2)
- N/A \_\_\_\_\_ SDC D provisions (R404.1.4)
- N/A \_\_\_\_\_ Maximum wall height [Table R404.1.1(1)]
- N/A \_\_\_\_\_ Maximum unbalanced fill height [Table R404.1.1(1)]
- 4" \_\_\_\_\_ Minimum nominal wall thickness [Table R404.1.1(1)]

	LOAD-BEARING VALUE OF SOIL (psf)			
	1,500	2,000	3,000	≥ 4,000
Conventional light-frame construction				
1-story	12	12	12	12
2-story	15	12	12	12
3-story	23	17	12	12
4-inch brick veneer over light frame or 8-inch hollow concrete masonry				
1-story	12	12	12	12
2-story	21	16	12	12
3-story	32	24	16	12
8-inch solid or fully grouted masonry				
1-story	16	12	12	12
2-story	29	21	14	12
3-story	42	32	21	16

For SI: 1 inch = 25.4 mm, 1 pound per square foot = 0.0479 kN/m<sup>2</sup>.

a. Where minimum footing width is 12 inches, a single wythe of solid or fully grouted 12-inch nominal concrete masonry units is permitted to be used.

**FOUNDATION WALLS (cont'd.)**

- \_\_\_\_\_ Reinforcement size and spacing [Tables R404.1.1(2) through R404.1.1(4)]
- \_\_\_\_\_ Height above finished grade (R404.1.6)
- 2x6 Sill plate size (R404.3)
- N/A Insulating concrete forms (ICF) (R404.4)
- OK Drains required if habitable or usable spaces are below grade\* (R405)
- \_\_\_\_\_ Soil class (Table R405.1)
- OK Dampproofing if basements are below grade\* (R406.1)
- N/A Waterproofing if high water table\* (R406.2)

\* If uninhabitable, see under-floor space (R408)

**COLUMNS (R407)**

- N/A Protection from decay or corrosion (R407.1 and R407.2)
- N/A Structural requirements (R407.3)
- N/A Anchorage (R407.3)
- N/A Wood columns (minimum 4" square) (R407.3)
- 3 1/2" Steel columns (minimum 3 diameter, standard weight) (R407.3)

**UNDER-FLOOR SPACE (R408)**

- \_\_\_\_\_ Ventilation (R408.1 and R408.2)
- \_\_\_\_\_ Access (R408.3)
- \_\_\_\_\_ Removal of debris (R408.4)
- \_\_\_\_\_ Finished grade (R408.5)
- \_\_\_\_\_ Flood resistance (R408.6)

**FLOORS (Chapter 5)**

**WOOD JOISTS AND GIRDERS (R502)**


- 9 1/2" AJS 20 Species and grade (R502.1)
- \_\_\_\_\_ Joists — Sleeping areas, LL = 30 psf [Table R502.3.1(1)]
- \_\_\_\_\_ Joists — Nonsleeping areas, LL = 40 psf [Table R502.3.1(2)]
- 3-2x10 w/ply Cantilevered joists [Tables R502.3.3(1) and R502.3.3(2)]
- 3-1 1/4 x 9 1/4 w/ply Girder spans and header spans for exterior bearing walls [Table R502.5(1)]
- 8-6 1/2 Girder spans and header spans for interior bearing walls [Table R502.5(2)]
- \_\_\_\_\_ Joists under bearing partitions (R502.4)

**WOOD JOISTS AND GIRDERS (cont'd.)**

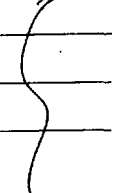
- 1.5 Bearing (1.5" minimum on wood or metal: 3" on masonry or concrete) and lapped joists (3") (R502.6, R502.6.1)
- midspan Lateral restraint and bridging (R502.7, R502.7.1)
- \_\_\_\_\_ Drilling and notching (R502.8)
- \_\_\_\_\_ Fastening (R502.9)
- \_\_\_\_\_ Framing of openings (R502.10)
- 1/2 AJS Wood trusses (R502.11)
- \_\_\_\_\_ Draftstopping (R502.12)

## FLOORS (cont'd.)

### LUMBER FLOOR SHEATHING (R503.1)

-  Allowable span (**Table R503.1**)
- Endjoints (**R503.1.1**)

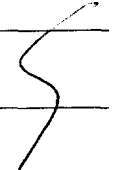
### WOOD STRUCTURAL PANEL SHEATHING (R503.2)

-  Grade (**R503.2.1**)
- Thickness (**R503.2.1**)
- Allowable spans [**Tables R503.2.1.1(1) and R503.2.1.1(2)**]
- Installation [**Table 602.3(1)**]


### PARTICLEBOARD UNDERLAYMENT (R503.3)

- Grade (**R503.3.1**)
- T & G** Thickness (**R503.3.2**)
- 3/4** Installation [**Table R602.3(1)**]

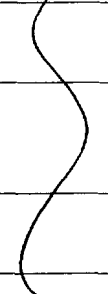
### TREATED-WOOD FLOORS (ON GROUND) (R504)

-  Base course: **4"** thick with maximum **3/4"** gravel or **1/2"** crushed stone (**R504.2.1**)
- Moisture barrier: placed over base course (**R504.2.2**)
- Materials (**R504.3**)

### STEEL FLOOR FRAMING (R505)

-  Cold-formed steel; applicability limits; in-line framing (**R505.1**)
- Structural framing (**R505.2**)
- Material (**R505.2.1**)
- Identification (**R505.2.2**)
- Corrosion protection (**R505.2.3**)
- Fastening (**R505.2.4**)
- Floor construction (**R505.3**)

### CONCRETE FLOORS (ON GROUND) (R506)

-  Thickness: **3 1/2"** minimum; Concrete strength (**R506.1**)
- Support: prepared subgrade; maximum earth fill = **8"**; maximum sand or gravel fill = **24"** (**R506.2.1**)
- Base course: **4"** graded with **2"** maximum aggregate (**R506.2.2**)
- Vapor retarder (**R506.2.3**)

## WALL CONSTRUCTION (Chapter 6)

### GENERAL (R601)

- Design (**R601.2**)
- Component and cladding wind loads [**Table R301.2(2)**]
- Windows in windborne debris regions (**R301.2.1.2**)

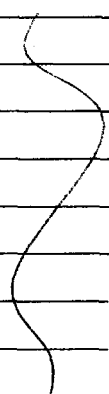
### WOOD CONSTRUCTION (R602)

- Construction [**Figures R602.3(1) and R602.3(2)**]
- H** Stud grade (**R602.2**)
- 2x6** Exterior walls (**R602.3**)
- 16** Stud spacing (**R602.3.1**)
- 2x4** Interior load-bearing walls (**R602.4**)
- Interior nonbearing walls: **2" x 3"** at **24"** o.c. or **2" x 4"** flat at **16"** o.c. (**R602.5**)
- Drilling and notching — studs (**R602.6**)
- LVL 3** Drilling and notching — top plate (**R602.6.1**)
- 3-2x10** Headers [**Tables R502.5(1), R502.5(2), R602.7.2 and Figure R602.7.2**]
- N/A** Fireblocking (**R602.8**)

### WOOD CONSTRUCTION (cont'd.)

- Cripple walls (**R602.9**)
- Wall bracing method (**R602.10.1 and R602.10.3**)
- Wall bracing amount and location (**Table R602.10.1**)
- Wall bracing length (**R602.10.4**)
- SDC D (**R602.10.9, R602.10.11 and R602.11**)

### STEEL WALL FRAMING (R603)

-  General (**R603.1**)
- Structural Framing (**R603.2**)
- Material (**R603.2.1**)
- Identification (**R603.2.2**)
- Corrosion protection (**R603.2.3**)
- Fastening (**R603.2.4**)
- Wall construction (**R603.3**)
- Headers (**R603.6**)
- Structural sheathing (**R603.7**)



## WALL CONSTRUCTION (cont'd.)

### SHEATHING (R604 & R605)

- \_\_\_\_\_ Wood structural panels (R604)
- 1/2" ply Particleboard (R605)

### MASONRY CONSTRUCTION (R606 through R610)

- \_\_\_\_\_ General design (R606)
- \_\_\_\_\_ SDC C & D (R606.11)
- \_\_\_\_\_ Unit masonry (R607)
- Multiple wythe masonry (R608)
- Grouted masonry (R609)
- Glass unit masonry (R610)

### INSULATING CONCRETE FORM WALL CONSTRUCTION (R611)

- General design (R611.1 and R611.2)
- Type of ICF wall design (R611.3 through R611.5)
- Construction requirements (R611.7 through R611.9)

### CONVENTIONAL CONCRETE WALL CONSTRUCTION (R612)

- \_\_\_\_\_ Design basis (R612.1)

### WINDOWS & DOORS (R613)

- \_\_\_\_\_ General; performance; testing and labeling (R613.2 through R613.3)

## WALL COVERING (Chapter 7)

### INTERIOR WALL COVERING (R702)

- \_\_\_\_\_ Plaster material (R702.2)
- \_\_\_\_\_ Plaster support (R702.2.1)
- 1/2" Gypsum board material (R702.3.1)
- \_\_\_\_\_ Gypsum board support, application and fastening (R702.3.2 through R702.3.6)
- \_\_\_\_\_ Ceramic tile (R702.4)
- \_\_\_\_\_ Other finishes (R702.5 and R702.6)

### EXTERIOR WALL COVERING (R703)

- \_\_\_\_\_ Sheathing paper required (R703.2)
- cedar Wood siding (R703.3)
- \_\_\_\_\_ Attachment and minimum thickness (Table R703.4)

### EXTERIOR WALL COVERING (cont'd.)

- \_\_\_\_\_ Wood shakes and shingles (R703.5)
- \_\_\_\_\_ Exterior plaster (R703.6)
- Stone & masonry veneer (R703.7 & Figure R703.7); Steel angle lintels-4" minimum bearing each end (R703.7.3)
- Veneer ties: #9 U.S. gage wire or #22 U.S. gage by 7/8" corrugated metal; 24" o.c. horizontal spacing; 2.67 square feet maximum area supported (wind > 30 psf and SDC C or D, maximum area = 2 square feet) (R703.7.4.1)
- \_\_\_\_\_ Flashing (R703.7.5 and R703.8)
- R19 Exterior insulation finish systems (R703.9)
- \_\_\_\_\_ Fiber cement siding (R703.10)

## ROOF-CEILING CONSTRUCTION (Chapter 8)

### GENERAL (R801)

- \_\_\_\_\_ Design (R801.2 & R801.3)
- \_\_\_\_\_ Component and cladding wind loads [Table R301.2(2)]

### ROOF FRAMING (R802)

- \_\_\_\_\_ Fire-retardant-treated wood (R802.1.3)
- \_\_\_\_\_ Framing details (R802.3)
- 2x6 Rafter tie (~~16~~ o.c.) (R802.3.1)
- \_\_\_\_\_ Purlins (2" x 4" at 4' o.c. minimum) (Figure R802.5.1, R802.5.1)
- \_\_\_\_\_ Bearing (R802.6)
- \_\_\_\_\_ Cutting and notching (R802.7)
- 3/2x11 1/4 Engineered wood products (R802.7.2)

### ROOF FRAMING (cont'd.)

- \_\_\_\_\_ Lateral support and bridging (R802.8)
- \_\_\_\_\_ Framing of openings (R802.9)
- \_\_\_\_\_ Wood trusses (R802.10)
- \_\_\_\_\_ Roof tie-down (R802.11)

### CEILING JOISTS [Tables R802.4(1), R802.4(2)]

- 2x6 Without attic storage, LL = 10psf
- 2x8 With attic storage LL = 20psf
- 16 o.c. Spacing
- \_\_\_\_\_ Species
- \_\_\_\_\_ Grade
- \_\_\_\_\_ Span
- \_\_\_\_\_ Size

## ROOF-CEILING CONSTRUCTION (cont'd.)

### RAFTERS [Tables R802.5.1(1) through R802.5.1(8)]

- Ground snow load/LL = 20psf
- Controlling design (LL or snow)
- yes  Ceiling attached/ceiling not attached
- Spacing
- Species
- Grade
- 160-L  Span
- 2x10  Size
- H<sub>H</sub> Adjustment factor

### ROOF SHEATHING (R803.2)

- Grade
- 1/2 CDX  Thickness
- FRTW allowable stresses/grading
- Allowable spans [Table R503.2.1.1(1)]
- Installation (R803.2.3)

### STEEL ROOF FRAMING (R804)

- General (R804.7)
- Structural framing (R804.2)
- Material (R804.2.1)
- Identification (R804.2.2)
- Corrosion protection (R804.2.3)
- Fastening (R804.2.4)
- Roof construction (R804.3)
- Roof tie-down (R804.4)

### ROOF VENTILATION (R806)

- Ridge  Ventilation requirements (R806.7, R806.2)

### ATTIC ACCESS (R807)

- 30x30  Access requirements (807.1)

### INSULATION CLEARANCE (R808)

- Insulation requirements (R806.3, R808.7)

## ROOF ASSEMBLIES (Chapter 9)

### ROOF CLASSIFICATION (R902)

- Asphalt  Roof covering materials (R902.1)

### WEATHER PROTECTION (R903)

- dup edge  Flashing (R903.2) ice & water shield
- Coping (R903.3) Felt
- Roof drainage (R903.4)

### MATERIALS (R904)

- Compatibility; specifications; physical characteristics; identification (R904.2 through R904.4)

### REQUIREMENTS FOR ROOF COVERINGS (R905)

- Asphalt shingles (R905.2)
- Clay and concrete tile (R905.3)
- Metal roof shingles (R905.4)
- Mineral-surfaced roll roofing (R905.5)
- Slate and slate-type shingles (R905.6)

### REQUIREMENTS FOR ROOF COVERINGS (cont'd)

- Wood shingles (R905.7)
- Wood shakes (R905.8)
- Built-up roofs (R905.9)
- Metal roof panels (R905.10)
- Modified bitumen roofing (R905.11)
- Thermoset single-ply roofing (R905.12)
- Thermoplastic single-ply roofing (R905.13)
- Sprayed polyurethane foam roofing (R905.14)
- Liquid-applied coatings (R905.15)

### ROOF INSULATION (R906)

- 38  General (R906.1)

### REROOFING (R907)

- Materials and methods (R907.1)
- Structural support (R907.2)
- Recover vs replace (R907.3)

## CHIMNEYS AND FIREPLACES (Chapter 10)

### MASONRY CHIMNEYS (R1001)

- \_\_\_\_\_ Construction (**R7007.7** and Figure R7003.7)
- \_\_\_\_\_ Corbeling (R7007.2)
- \_\_\_\_\_ Changes in dimension (R7007.3)
- \_\_\_\_\_ Additional load (**R7007.5**)
- \_\_\_\_\_ Termination (R7007.6)
- \_\_\_\_\_ Spark arrestors (R1007.6.1)
- \_\_\_\_\_ Wall thickness;  $\geq 4'$  (R7007.7)
- \_\_\_\_\_ Flue lining - material/installation (R1007.8 and R7007.9)
- \_\_\_\_\_ Multiple flues (**R7007.70**)
- \_\_\_\_\_ Flue area (appliance) (R7001.7.1)
- \_\_\_\_\_ Flue area (masonry fireplace) (R7007.72)
- \_\_\_\_\_ Inlet (R7007.73)
- 2 \_\_\_\_\_ Cleanout opening (R7007.74)
- ? \_\_\_\_\_ Chimney clearance (R1001.75)
- \_\_\_\_\_ Fireblocking (R7001.76)
- \_\_\_\_\_ Chimney crickets (**R7007.77**)

### FACTORY-BUILT CHIMNEYS (R7002)

- 4 \_\_\_\_\_ Listed and labeled (**R7002.1**)

- \_\_\_\_\_ Installation (R1002.3 and R1002.4)

### MASONRY FIREPLACES (R1003)

- \_\_\_\_\_ Construction (Figure R7003.7 and Table R7003.7)
- \_\_\_\_\_ SDC D reinforcing/anchorage (R7003.3 and R7003.4)
- \_\_\_\_\_ Firebox walls and dimensions (R7003.5 and R1003.6)
- \_\_\_\_\_ Steel fireplace units (R7003.5.7)
- \_\_\_\_\_ Lintel (noncombustible) (R1003.7)
- \_\_\_\_\_ Hearth extension material (R7003.9)
- \_\_\_\_\_ Hearth extension (R7003.70)
- \_\_\_\_\_ Fireplace clearance (R7003.71)
- \_\_\_\_\_ Mantel and trim (R1003.12)
- \_\_\_\_\_ Fireblocking (R7003.73)

### FACTORY-BUILT FIREPLACES (R1004)

- 2 \_\_\_\_\_ Labeled and listed (R7004.7)
- \_\_\_\_\_ Installation (R1004.2)

### EXTERIOR AIR SUPPLY (R1005)

- \_\_\_\_\_ Intake size (R1005.4)

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## ENERGY EFFICIENCY\* (Chapter 11)

- \_\_\_\_\_ Compliance; material and equipment (**N7 707.2, N1 707.3**)
- \_\_\_\_\_ Building envelope (N1 702)

- \_\_\_\_\_ Mechanical systems (N1103)
- \_\_\_\_\_ Service water heating (**N7 704**)

\*See energy conservation plan review record

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## MECHANICAL (Chapters 12-23)

- \_\_\_\_\_ Appliance labeling (M1302, M1303)
- \_\_\_\_\_ Appliance access (M1305, M1401)
- \_\_\_\_\_ Appliance installation (M1307)
- \_\_\_\_\_ Heating and cooling equipment; heating and cooling load calculations (Chapter 14)
- \_\_\_\_\_ Exhaust systems (Chapter 75)
- \_\_\_\_\_ Duct systems (Chapter 76)
- \_\_\_\_\_ Combustion air (Chapter 77)

- \_\_\_\_\_ Chimney and vent location and terminations (Chapter 10 and Chapter 18)
- \_\_\_\_\_ Special fuel-burning equipment (Chapter 79)
- \_\_\_\_\_ Boilers/water heaters (Chapter 20)
- \_\_\_\_\_ Hydronic piping (Chapter 27)
- \_\_\_\_\_ Special piping and storage systems (Chapter 22)
- \_\_\_\_\_ Solar systems (Chapter 23)
- \_\_\_\_\_ Penetrations of fire-resistance rated assemblies (R377.3)

## FUEL GAS (Chapter 24)

_____ Application (G2401.1)	_____ Pipe sizing (G2413)
_____ General regulations (G2404)	_____ Piping materials (G2414)
_____ Appliance location (G2406)	_____ Piping installation (G2415 & G2419)
_____ Air requirements (G2407)	_____ Piping support (G2418 & G2424)
_____ Installation (G2408)	_____ Valves, controls, connections (G2420, G2421 <b>and</b> G2422)
_____ Clearances (G2409)	_____ Venting (G2425 & G2428)
_____ Electrical and electrical bonding (G2410, G2411)	_____ Misc appliances (G2423, G2429-G2453)

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## PLUMBING (Chapters 25-32)

_____ Water service location and depth (P2603, P2604)	_____ Water supply and distribution system design and calculations (Chapter 29)
_____ Sanitary and storm sewer location and depth (P2603, P2604)	_____ Drain, waste and vent pipe sizing and riser dia- gram (P3004, P3005, Chapter 31)
_____ Piping support (Table P2605.1)	_____ Sumps and ejectors (P3007)
_____ Listed plastic materials (P2608)	_____ Backwater valves (P3008)
_____ Plumbing fixtures (Chapter 27)	_____ Fixture traps (P3201)
_____ Water heater size and location (Chapter 28)	_____ Penetrations of fire-resistance rated assem- blies (R317.3)

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## ELECTRICAL (Chapters 33-42)

_____ Penetrations of fire-resistance rated assem- blies (€3302)	_____ Feeder requirements and load calculations (€3604)
_____ Listed and labeled materials (€3303)	_____ Wiring methods (Chapter 37)
_____ Service equipment and location (€3501, €3506)	_____ Required lighting and receptacle outlets (€3807, €3803)
_____ Service size and load calculations (€3502)	_____ Devices and lighting fixtures (Chapter 39)
_____ Available fault current (€3506)	_____ Appliance installation (Chapter 40)
_____ System grounding (€3507)	_____ Swimming pools (Chapter 41)
_____ Required branch circuits (€3603)	_____ Class 2 remote-control, signaling and power-limited circuits (Chapter 42)

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## MANUFACTURED HOUSING USED AS DWELLINGS (Appendix E)

_____ Provisions adopted (R102.5)	_____ Compliance with Appendix E verified
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## RADON CONTROL MEASURES (Appendix F)

_____ Provisions adopted (R102.5)	_____ Compliance with Appendix F verified
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## **SWIMMING POOLS, SPAS AND HOT TUBS (Appendix G)**

\_\_\_\_\_ Provisions adopted (*R702.5*)

\_\_\_\_\_ Compliance with Appendix G verified

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\_\_\_\_\_ Provisions adopted (*R102.5*)

\_\_\_\_\_ Compliance with Appendix H verified

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## **PRIVATE SEWAGE DISPOSAL (Appendix I)**

\_\_\_\_\_ Provisions adopted (*R102.5*)

\_\_\_\_\_ Compliance with Appendix I verified

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## **EXISTING BUILDINGS AND STRUCTURES (Appendix J)**

\_\_\_\_\_ Provisions adopted (*R702.5*)

\_\_\_\_\_ Compliance with Appendix J verified

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## **SOUND TRANSMISSION (Appendix K)**

\_\_\_\_\_ Provisions adopted (*R102.5*)

\_\_\_\_\_ Compliance with Appendix K verified

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## **NOTES**

# All Purpose Building Permit Application

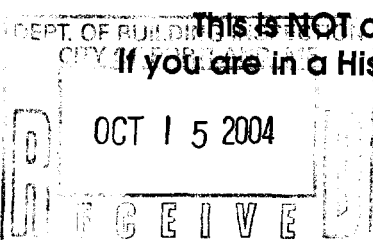
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot #4 Hope Ave. # 118 Hope Ave</u>		
Total Square Footage of Proposed Structure <u>From an 1,824 SF. Living 2,800</u>	Square Footage of Lot <u>1.09 Ac.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>390</u> Block# <u>A</u> Lot# <u>10</u>	Owner: <u>The Vesto Corporation</u>	Telephone: <u>879-2217</u> <u>232-8050 cell</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>P.O. BOX 1464</u> <u>Portland ME. 04104</u> <u>879-2217</u>	Cost Of Work: \$ <u>200,000.00</u> <u>1821, cost of</u> Fee: \$ <u>300 Site</u> <u>75 Cost</u> <u>\$2196.00</u>
Current use: <u>road</u>		
If the location is currently vacant, what was prior use: <u>Raw land</u>		
Approximately how long has it been vacant: <u>always</u>		
Proposed use: <u>Single Family Residence</u>		
project description: <u>Build a new Single Family residence w/ attached 2 CAR</u>		
Contractor's name, address & telephone: <u>Vesto Corp. Mike Dimillo</u> <u>P.O. 1464 Portland ME. 04104</u> <u>879-2217</u>		
Who should we contact when the permit is ready: <u>Mike Dimillo</u>		
Mailing address: <u>P.O. 1464</u> <u>Portland ME. 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>879-2217</u> <u>232-8050</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 10/15/04



**This is NOT a permit, you may not commence ANY work until the permit is issued.**

**If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

Applicant: Vesta Corp

Date: 11/3/04

Address: 118 Hope Ave (lot #4)

C-B-L: 390-A-010

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Const

permit # 04-1567

Zone Location - R-2

Interior or corner lot -

32x40

24x26

Proposed Use/Work - to construct single family home with attached 2 car garage  
12x14 car screen

Sevage Disposal - City

Lot Street Frontage - 50' min - 96' +

Front Yard - 25' min - 35' scaled

Rear Yard - 25' min - 100' + shown

Side Yard - 14' min - 14' & 14.7' shown

Be sure to check

2 story

Projections - right side chimney - rear 12x14 screen porch - front stop 5'x8' stairs

Width of Lot - 80' min - 96' scaled

Height - 35' MAX - 25' scaled

Lot Area - 10,000 sq ft min - 47,306 sq ft per assessors

Lot Coverage/ Impervious Surface - 20% = 9461.2 sq ft MAX

Area per Family - 10,000 sq ft

Off-street Parking - 2 req - 2 car garage

Loading Bays - N/A

Site Plan - # 2004-0216 - mmor/mmor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

32 x 40 =	1280
24 x 26 =	624
12 x 14 =	168
5' x 8' =	40

OK

2112 sq ft

No Daylight basement shown