

Conditions Section:

Add New Condition
From Default List

Add New Condition

Delete Condition

Close

All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.



Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.



All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.



A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.



A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)



The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.



The limits of clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the do not disturb/no cut zone. All conditions listed in the approved subdivision plan, as they relate to Lot #19 shall be followed.



The note on sheet 3 of the approved single family site plan shall be followed exactly as written, ie hiring licensed professionals to perform the required layout, inspections, and written confirmations.



SPACE AND BULK REQUIREMENTS

MINIMUM LOT SIZE: 6,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:
FRONT YARD 10 FT
REAR YARD* 25 FT
SIDE YARD* 10 FT

MINIMUM LOT WIDTH: 50 FT.

* PRINCIPAL OR ACCESSORY STRUCTURES WITH GROUND COVERAGE
GREATER THAN 100 SQUARE FEET.

Design: DER	Date: 6/07
Draft: CAG	Job No.: -
Checked: DER	Scale: NTS
File Name: 98089-4-ALL LOTS	



Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Buxton, ME 04039

Phone: 207-657-6910
Fax: 207-657-6912
Email: mailbox@gorrillpalmer.com

Drawing Name:

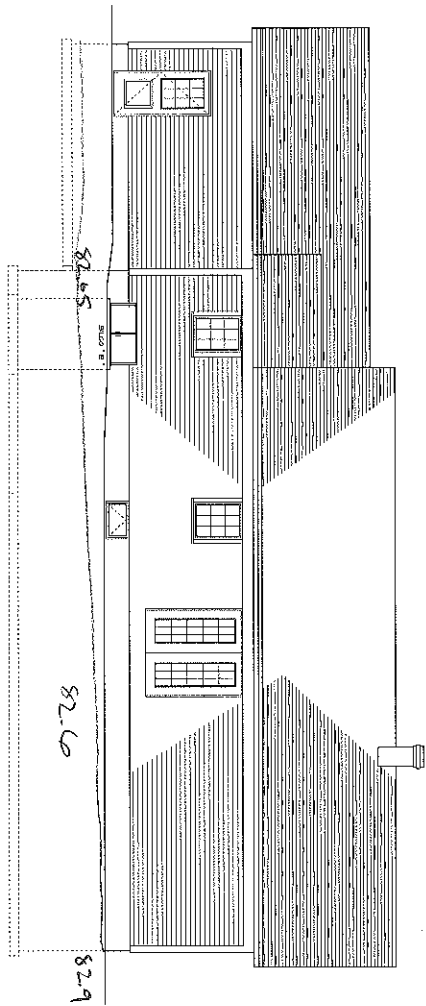
GENERAL NOTES

Project:

**BASKET LANE
Portland, ME**

Figure No.

1

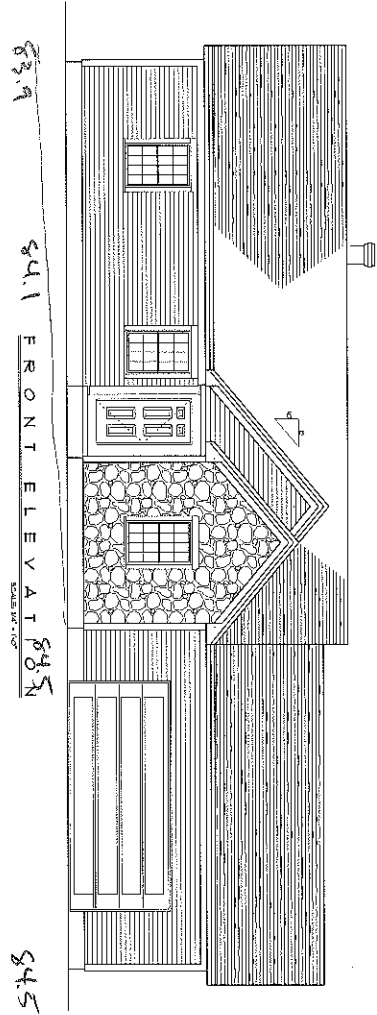


REAR ELEVATION
SCALE: 1/4" = 1'-0"

82.5

82.6

82.9



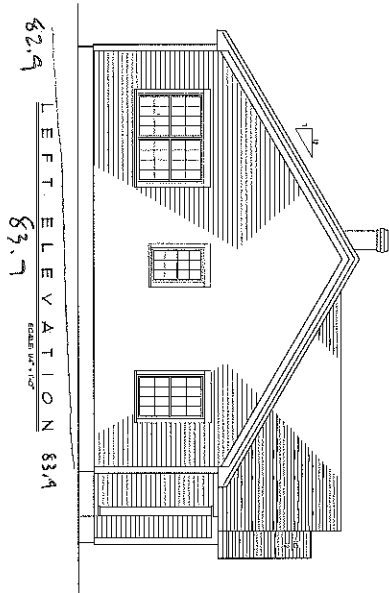
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

83.9

84.1

84.5

84.5

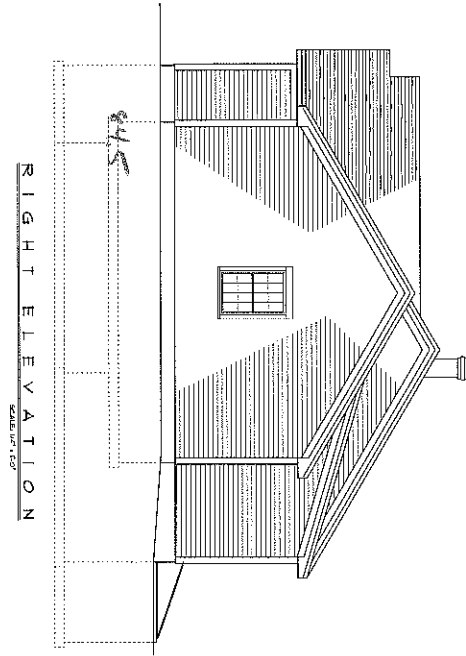


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

82.9


83.7

83.4



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

84.5

 <p>Lavalley Lumber</p> <p>BANFORD 207-324-3350 WELLS 207-646-4535 SPRINGVALE 207-324-3360</p>	<p>DRAWN BY: R A O</p>	<p>DESIGN FOR:</p>	<p>DESIGN OF:</p>
	<p>DATE: 04/20/07</p>	<p>SCOTT CREPEAU</p>	<p>28' X 48' RANCH W/ 2 CAR GARAGE</p>
	<p>REVISED: 06/01/07</p>		
	<p>SCALE: 1/4" = 1'-0"</p>		

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: December 21, 2007

RE: C. of O. for #14 Basket Lane, Lot 19 River Walk Subdivision
(Id#2007-0124)(CBL 390 A 019001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading,
2. Loam and seed,
3. Landscaping/Tree Installation,
4. In addition, written confirmation from a licensed professional certifying site plan & conditions of approval conformance, must be submitted,

I anticipate this work can be completed by **June 1, 2008**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

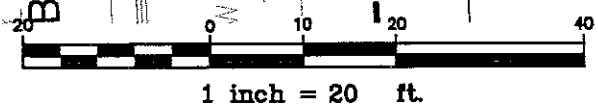
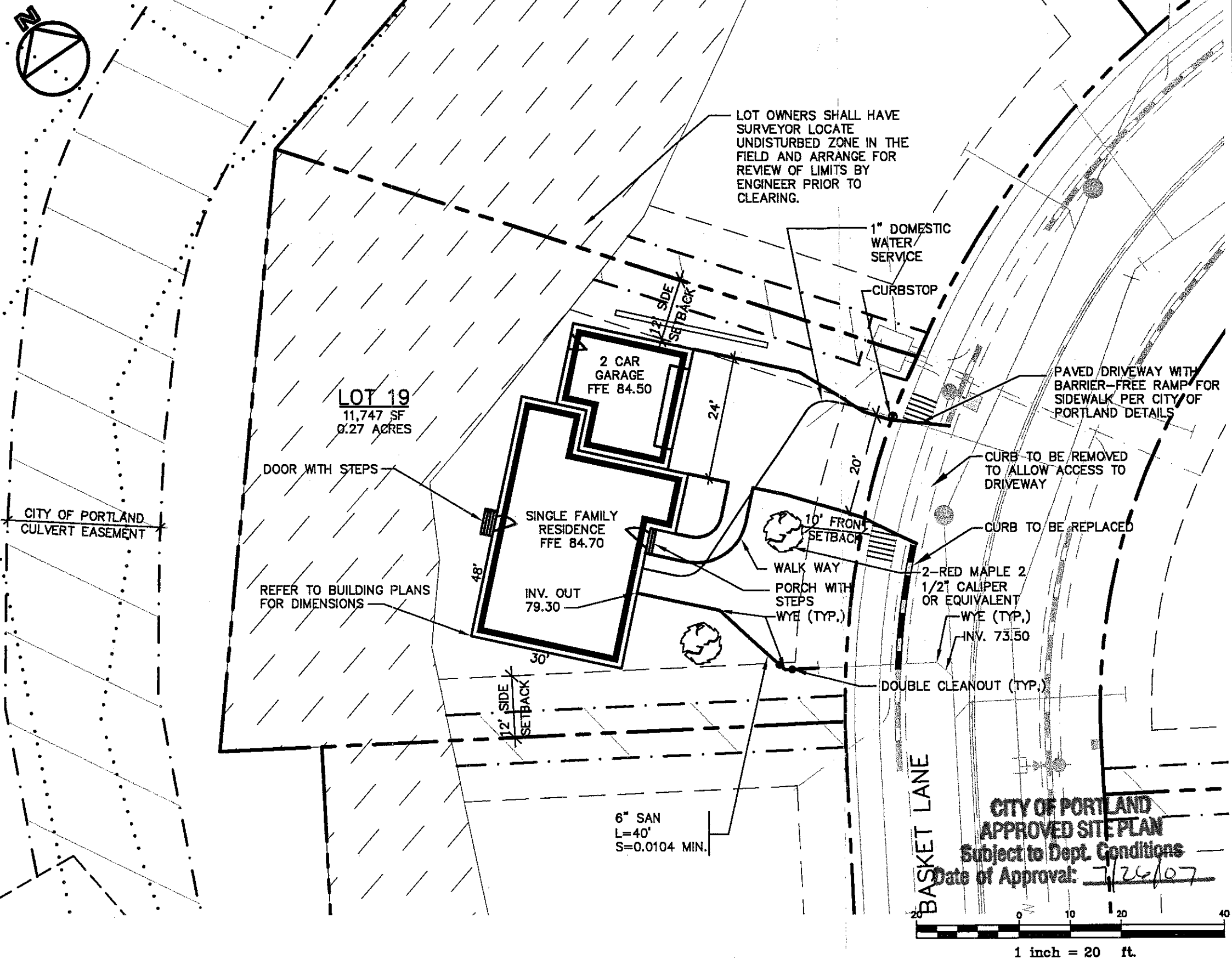
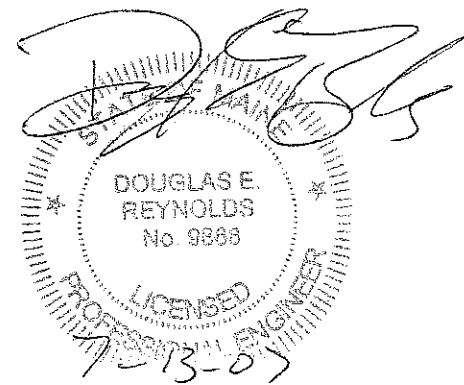
Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2005.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

NOTE:

WATER SERVICE AND SEWER SERVICE SHALL HAVE A MINIMUM 5' OF SEPERATION.



Rev.	Date	Revision

Design:	JLG	Date:	06/07
Draft:	CAG	Job No.:	1890
Checked:	DER	Scale:	1"=20'
File Name: 98089-4-ALL LOTS.dwg			

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gray, ME 04039

207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Lot 19 Site and Utility Plan
Project:	RIVERWALK

Figure No.
2

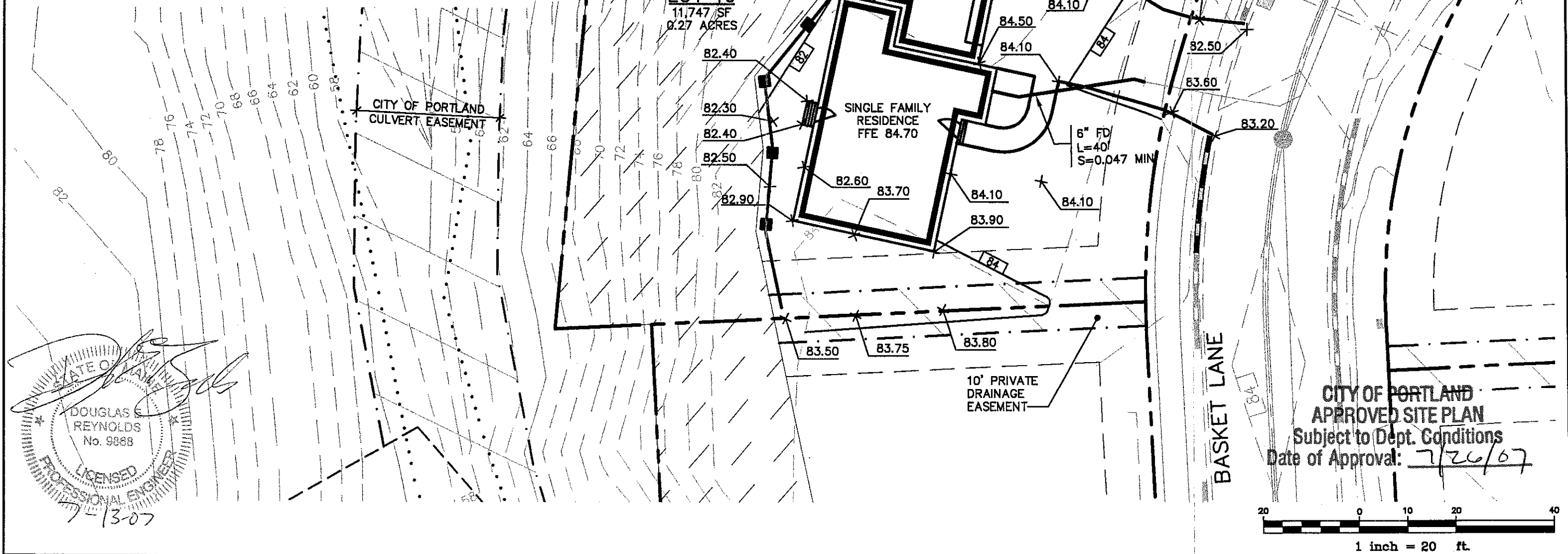
NOTE:

THE OWNER OF THE LOT SHALL BE REQUIRED TO RETAIN A LICENSED MAINE LAND SURVEYOR TO LAYOUT AND CERTIFY THE LOCATION AND ELEVATION OF SAID FOUNDATION AND HOUSE IN ORDER TO ENSURE THAT SAID LOCATION AND ELEVATION CONFORM TO APPROVED SITE PLAN SUBMISSIONS.

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



DOUGLAS E. REYNOLDS
 No. 9868
 LICENSED PROFESSIONAL ENGINEER
 7-13-07

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7/26/07

Rev.	Date	Revision

Design:	JLG	Date:	06/07
Draft:	CAG	Job No.:	1890
Checked:	DER	Scale:	1"=20'
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 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Lot 19 Grading Plan
Project:	RIVERWALK

Figure No.
3