

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

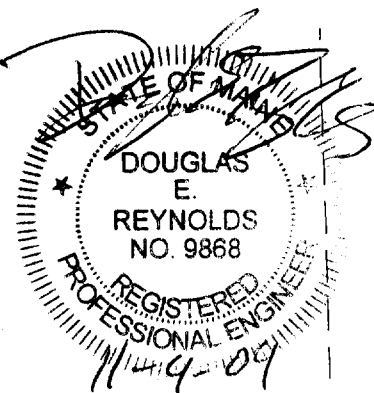
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.

4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



LOT 2

LOT 3
54,010 S.F.
1.24 AC.

UNDISTURBED ZONE

14'

DECK

REFER TO BUILDING PLANS FOR DIMENSIONS

INV. 78.98 MIN.

6" SAN
L=50'
S=0.0104 MIN.

3/4" DOMESTIC WATER SERVICE

2"-2.5" CAL. RED MAPLES OR EQUIVALENT

25' FRONT SETBACK

2-STORY SINGLE FAMILY RESIDENCE

2 CAR GARAGE

24'

14' SIDE SETBACK

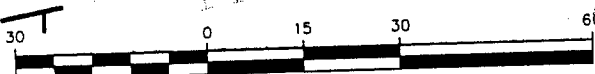
LOT OWNER TO HAVE BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

DOUBLE CLEANOUT

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALKS PER CITY OF PORTLAND DETAILS

HOPE AVENUE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-9-04



1 inch = 30 ft.

Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1096
Checked:	DER	Scale:	1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG			

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Saker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mail@gorrillpalmer.com

Drawing Name:
Lot 3 Site Layout & Utility Plan
Project:
PRESUMPCOT RIVER PLACE

Figure No.

2

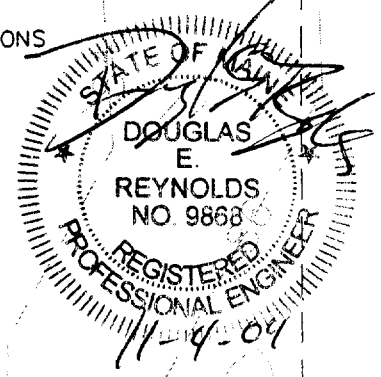


NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



LOT 2

LOT 3
54,010 S.F.
1.24 AC.

SILT FENCE (TYP)

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

FOUNDATION DRAIN
GRAVITY TO DAYLIGHT

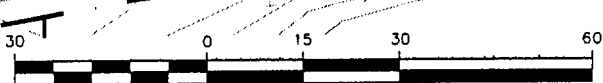
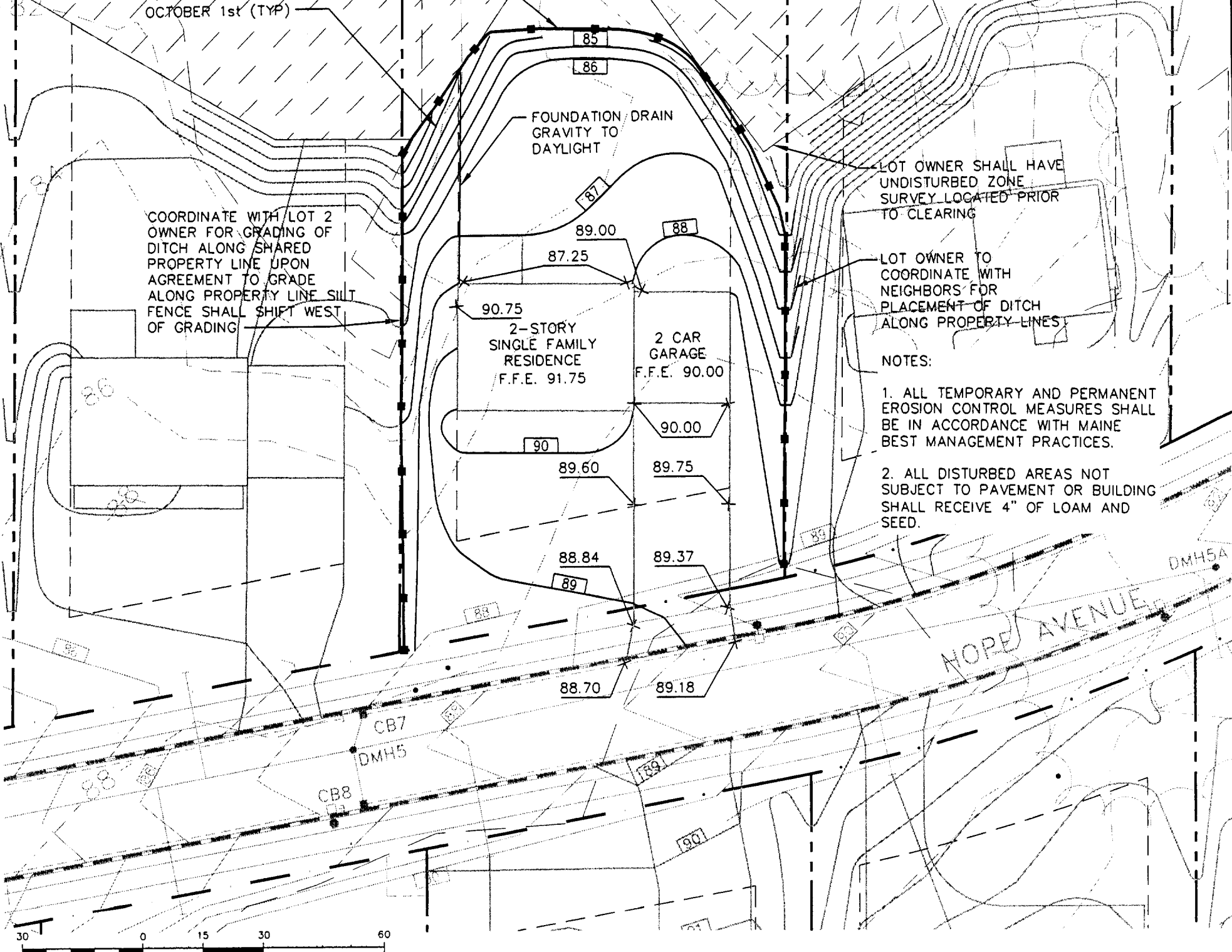
COORDINATE WITH LOT 2 OWNER FOR GRADING OF DITCH ALONG SHARED PROPERTY LINE UPON AGREEMENT TO GRADE ALONG PROPERTY LINE SILT FENCE SHALL SHIFT WEST OF GRADING

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

LOT OWNER TO COORDINATE WITH NEIGHBORS FOR PLACEMENT OF DITCH ALONG PROPERTY LINES

NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.



1 inch = 30'

Design:	WHS	Date:	11/04
Draft:	CAH	Job No.:	1096
Checked:	DER	Scale:	1"=30'
File Noms: 98089-1\98089-ALL-LOTS.DWG			

Corrill-Palmer Consulting Engineers, Inc.
15 Saker Road
Gray, ME 04039
207-657-6910
Fax: 207-657-6912
E-Mail: malbox@corrpalmer.com

Drawing Name:
Lot 3 Grading & Drainage Plan
PRESUMPCOT RIVER PLACE

Figure No.
3

1. NEW ENGLAND HOMES INC.
 CORPORATE OFFICES PHONE: (603) 864-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 MANUFACTURING PLANT PHONE: (603) 436-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 MANUFACTURER LICENSE #HT00000015 ASSIGNED BY THE
 STATE OF MAINE MANUFACTURED HOUSING BOARD
 EXPIRATION DATE OF CURRENT LICENSE
 6-30-2006

2. T. R. A.
 CORPORATE OFFICES PHONE: (574) 244-0745
 700 E. BEARDSLEY AVE. ELKHART, INDIANA 46514
 THIRD PARTY INSPECTION AGENCY APPROVED
 BY THE STATE OF MAINE

3. INDEX OF DRAWINGS
 ALL APPROVED DRAWINGS AND DOCUMENTATION USED
 TO DEFINE THIS STRUCTURE AND THE SYSTEMS THEREIN,
 ARE ON FILE AT THE MAINE STATE MANUFACTURED
 HOUSING BOARD, TRA & ASSOCIATES (THE THIRD PARTY
 INSPECTION AGENCY) AND NEW ENGLAND HOMES, INC.
 ATTACHED ARE PERTINENT DRAWINGS FOR THIS MODEL.

GENERAL NOTES
 1. N.E.H. (NEW ENGLAND HOMES INC.) LIMITS ITS
 SITE RESPONSIBILITIES TO SETTING AND ATTACH-
 ING MODULAR UNITS TO BUILDERS PROPERLY
 DESIGNED AND PREPARED FOUNDATION AND ANCHORAGE
 SEE THE 'NEH SITE REFERENCE MANUAL' FOR A
 COMPLETE DELINEATION OF SITE RESPONSIBILITIES
 FOR THE BUILDER AND THE COMPANY.
 2. ALL NOTES CONTAINING THE TERM 'BY BUILDER' ARE
 DENING OBLIGATIONS WHETHER FOR MATERIAL WHICH
 IS NOT SUPPLIED OR INSTALLED BY THE COMPANY,
 OR FOR CONSTRUCTION METHODOLOGY/ACCEPTABLE BUILD-
 ING PRACTICE FOR WHICH THE COMPANY ACCEPTS NO RE-
 SPONSIBILITY AND SHOULD BE REVIEWED CAREFULLY BY
 THE BUILDER AND THE LOCAL BUILDING INSPECTOR. ALL
 NOTES CONTAINING THE TERM 'BY BUILDER' ALSO DEFINE
 AREAS OF RESPONSIBILITY WHICH ARE NOT SANCTIONED BY
 THE THIRD PARTY INSPECTION AGENCY OR THE STATE OF
 MAINE'S CERTIFICATION OF MANUFACTURED HOUSING FOR
 THIS PROJECT.

4. BUILDING INTORTATION
 a) PROJECT: ONE AND TWO FAMILY DWELLINGS
 PROPOSED LOCATION ADDRESS:
 THE STATE OF MAINE
 b) RA USE GROUP (SECT. 310.6 BOCA 1993)
 c) SB CONSTRUCTION CLASSIFICATION (SECT.
 606.1 BOCA 1993)
 d) AREA OF BUILDING PER FLOOR MAX. 4800 S.F.
 e) AMOUNT OF ENCLOSED SPACE MAX. 35000 C.F.
 f) HEIGHT OF BUILDING ABOVE GRADE (TABLE 503)
 1. MAX. 2 STORIES
 2. MAX. 35 FEET
 g) DESIGN OCCUPANCY LOAD PER FLOOR: MAX. 24
 SPECIAL SYSTEMS BY TYPE
 1. TYPE OF FIRE PROTECTION SYSTEM:
 1993 BOCA WITH MAINE AMENDMENTS
 2. TYPE OF FIRE SUPPRESSION SYSTEM
 N/A.
 3. OTHER N/A.

1) DESIGN LIVE LOADS
 1. WIND RECD. DESIGN
 90 MPH 90 MPH
 2. ROOF 60 psf 65 psf
 3. FLOORS 40 psf 40 psf
 4. FLOORS/SLEEPING AREAS) 30 psf 30 psf
 5. CORRIDOR N/A N/A
 6. STAIRS 100 psf 100 psf
 7. BALCONIES 60 psf 60 psf
)) DESIGN OF STAIRS (SECT. 817)
 1. MAXIMUM RISER: 8 1/4"
 2. MINIMUM TREAD: 9"
 3. MINIMUM HEADROOM: 6'8"
 4. MINIMUM WIDTH: 3'0"
 ~) WINTER DESIGN TEMPERATURE
 INSIDE +70°F OUTSIDE -20°F
 1) SEISMIC DESIGN CATEGORY: C

5. TYPE OF HEATING SYSTEM
 a) FORCED HOT WATER BASEBOARD (TYPICAL)
 ELECTRIC BASEBOARD (OPTIONAL)
 b) TYPE OF CHIMNEY/VENTING SYSTEM(S): NOT BY
 THE COMPANY. SUPPLIED AND INSTALLED BY THE
 BUILDER AND INSPECTED AND APPROVED BY THE
 CODE ENFORCEMENT OFFICER.

6. ENVIRONMENTAL PERFORMANCE
 a) U' VALUES REQUIRED BY CODE AND DESIGN VALUES
 1) WALLS .05 .0526
 2) FLOORS .09 .0909
 3) ROOF/CEILING .026 .026
 4) DOORS .14 .072
 5) WINDOWS .50 .33
 6) FOUNDATIONS UNHEATED UNHEATED
 * NOTE: BASEMENT CEILING INSULATION IS SUPPLIED AND
 INSTALLED ON SITE BY THE BUILDER. AS IS THE
 MATERIAL AND LABOR FOR ALL OTHER REQUIREMENTS
 OF THE 1992 CABO MODEL ENERGY CODE.

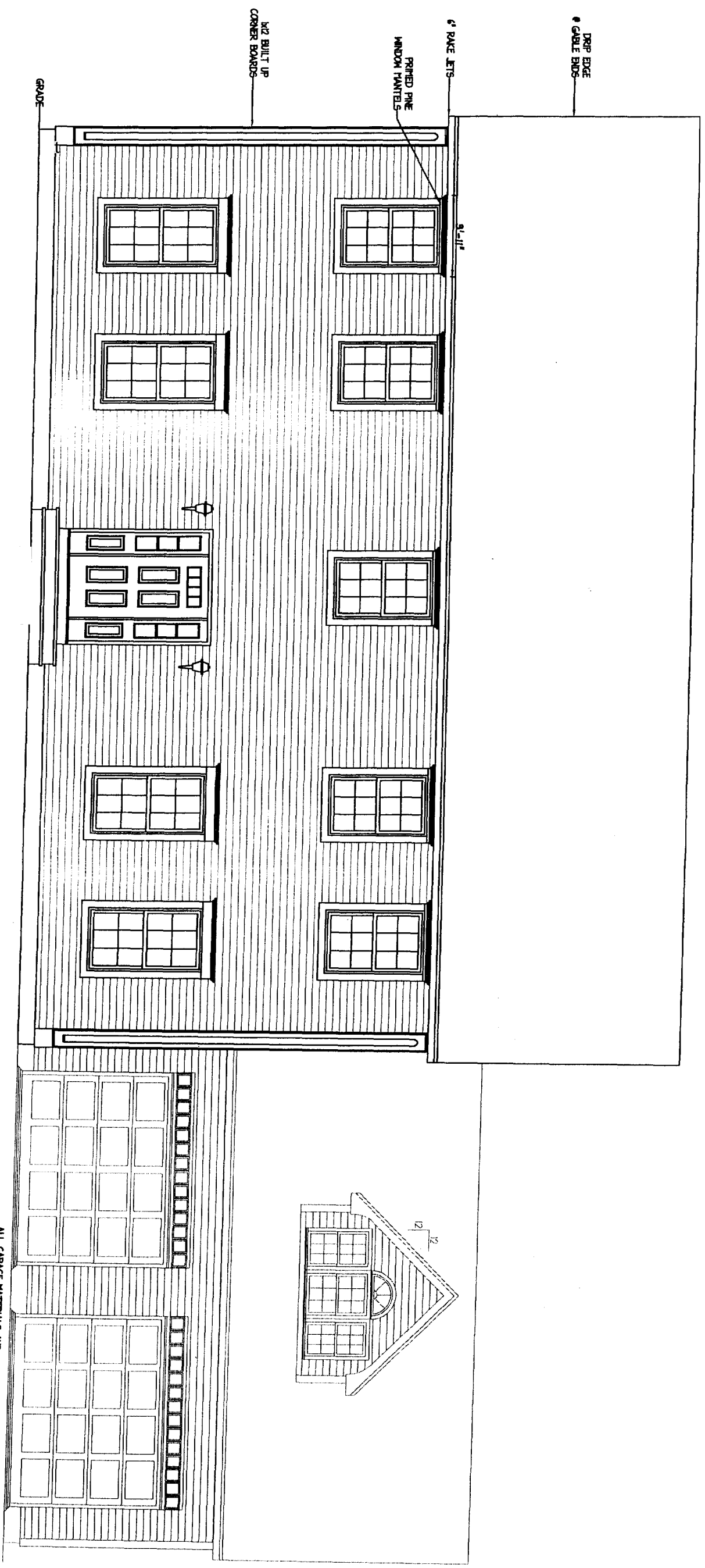
7. STATE CODES
 1993 BOCA NATIONAL BUILDING CODE
 1992 CABO ONE AND TWO FAMILY DWELLING CODE
 1993 BOCA NATIONAL PLUMBING CODE
 1996 NATIONAL ELECTRICAL CODE
 1997 NFPA-31 INSTALLATION OF OIL
 BURNING EQUIPMENT
 1994 NFPA-101 LIFE SAFETY CODE WITH MAINE AMENDMENTS
 1992 CABO MODEL ENERGY CODE

8. SPACE FOR APPROVAL STAMPS

OCT 14 2004

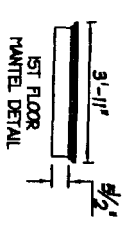
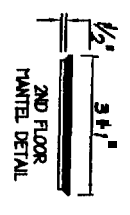
T. R. ARNOLD & ASSOCIATES, INC.
 P. O. BOX 1081
 ELKHART, IN 46515
 State(s) MAINE
 Accredited Evaluation and
 Inspection Agency
 This document is certified as being in conformance
 with STATE
BUILDING CODES
 Approved By P. Z. Beardsley
 Date SEP 23 2004
 Approval of this document does not authorize or approve
 any omissions or deviation from the requirements of
 applicable State laws.

9. DATA PLATE & STATE LABEL
 a) I.T.R.A. LABEL PER MODULE BOX
 TYPICALLY ON BACK WALL OF A CLOSET
 AND ON THE WALL UNDER THE KITCHEN SINK.
 b) I DATA PLATE AND I STATE LABEL PER
 LIVING UNIT, TYPICALLY UNDER THE
 KITCHEN SINK.
 c) I STATE OF MAINE WARRANTY SEAL ON
 CABINET DOOR TYPICALLY UNDER KITCHEN SINK.



ALL GARAGE MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER, NOT NEH

NOTE:
1) DELETE ALL SIDING



- NOTE:
2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
4) SAMP (2) PRIMED PINE WINDOW HANTLES LOOSE
5) PRIMED PINE WINDOW CASING ON (3) SIDES OF WINDOWS ON FRONT AND LEFT CABLE BID.

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

FRONT ELEVATION



NEW ENGLAND HOMES INC.

270 OCEAN ROAD
GREENLAND, NH, 03040
© COPYRIGHT 2000

DRAWN	ATH	DATE	09/24/04
REV.		DATE	
SCALE	3/16" = 1'-0"		

BLUE HORIZON DEVELOPMENT

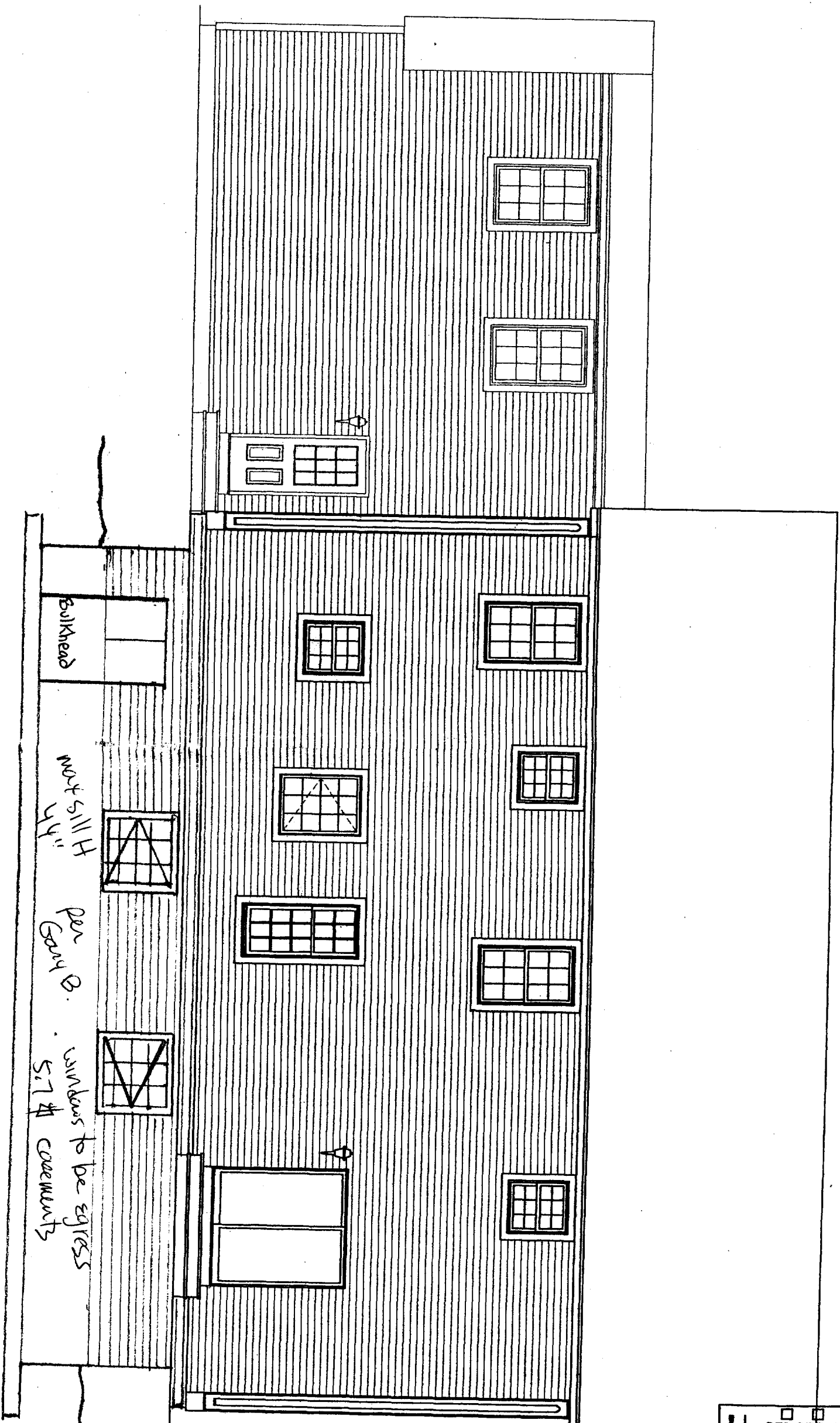
9590

0101

FINAL APPROVAL OF DRAWINGS PER
 FINAL 1/20/04

- I HAVE CHECKED OVER THE DRAWING FOR ACCURACY AND COMPLIANCE WITH PERMITS, REGULATED AGENCIES, I HEREBY AUTHORIZE YOU TO RELEASE PROJECT FOR BUILDING PRODUCTION
- I HEREBY AUTHORIZE YOU TO RELEASE PROJECT FOR BUILDING PRODUCTION WITH PERMITS-UP CHANGES OR ISSUANCE OF ATTACHED NOTES.
- APPROVAL, WORK AUTHORIZATION REGISTERED WITH PERMITS-UP CHANGES AS NOTED ON THE DRAWING OR ATTACHED NOTES.

DATE: _____
 SIGNATURE: _____
 TITLE: _____



11/22/04

Received
 11/12/04
 from Jay

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to handle and finish.

ASTORIA
 COLONIA

REAR ELEVATION



NEW ENGLAND HOMES INC.

270 OCEAN ROAD
 GREENLAND, NH 03040
 © COPYRIGHT 2000

DATE	09/23/04
REV.	A
DATE	10/29/04
SCALE	3/16" = 1'-0"

700E AVE
 LOT 3 - FLAHERTY
 BLUE HORIZON DEVELOPMENT

0102

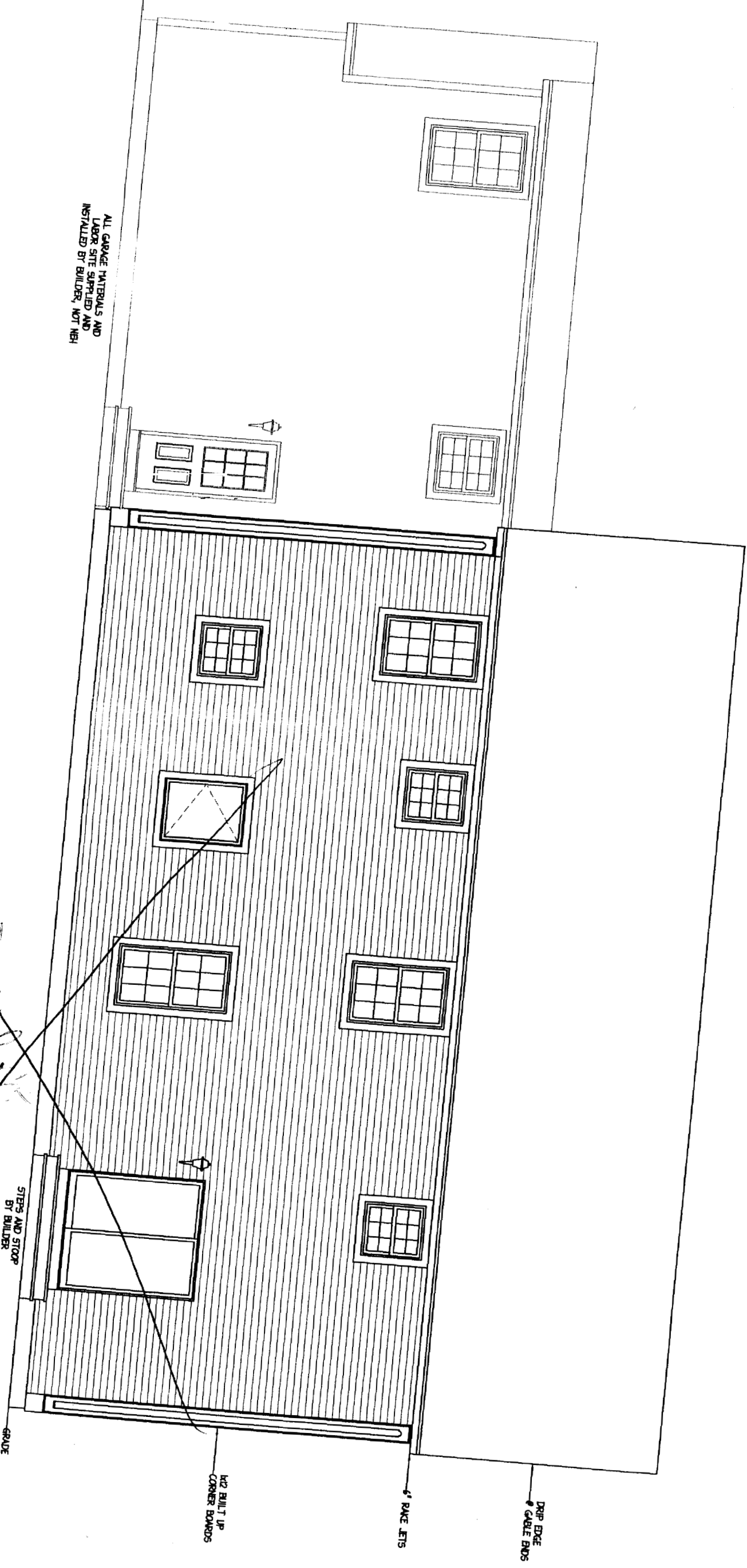
ASTORIA COLONIAL

REAR ELEVATION

- NOTE:
- 1) DELETE ALL SIDING
 - 2) ADD ICE AND SINK
 - 3) INSTALL ALUMINUM UNDER PATIO DOOR
 - 4) PRIME PINE HAND
- OVER ALL WINDOW AND PATIO DOOR FLANGES
 2 UNDER PATIO DOOR
 3 (3) SIDES OF WINDOWS ON REAR

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ALL GARAGE MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER, NOT NEH



NEW ENGLAND HOMES INC.

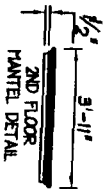
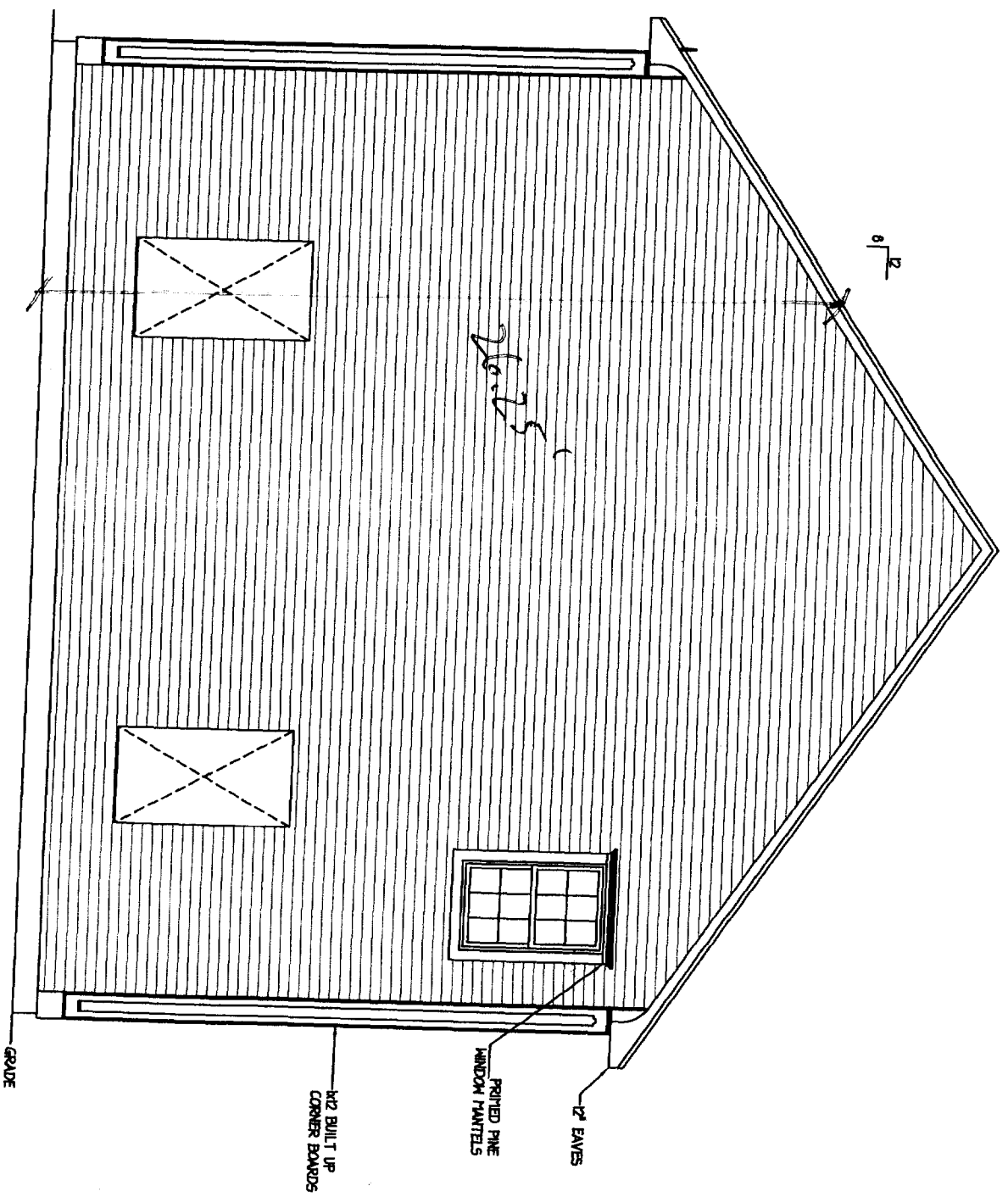
270 OCEAN ROAD
 GREENLAND, NH 03040
 © COPYRIGHT 2000

REV.	DATE	BY	DATE
SCALE	3/16" = 1'-0"		

BLUE HORIZON DEVELOPMENT

0102

*NO SIDING TO BE INSTALLED
 see revised plans received on 11/12/04 from Jay Reynolds*



- NOTE:
- 1) DELETE ALL SIDING
 - 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
 - 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
 - 4) PRINTED PINE WINDOW CASING ON (3) SIDES OF WINDOWS ON FRONT AND LEFT GABLE END.

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**ASTORIA
COLONIAL**

LEFT ELEVATION



NEW ENGLAND HOMES INC.

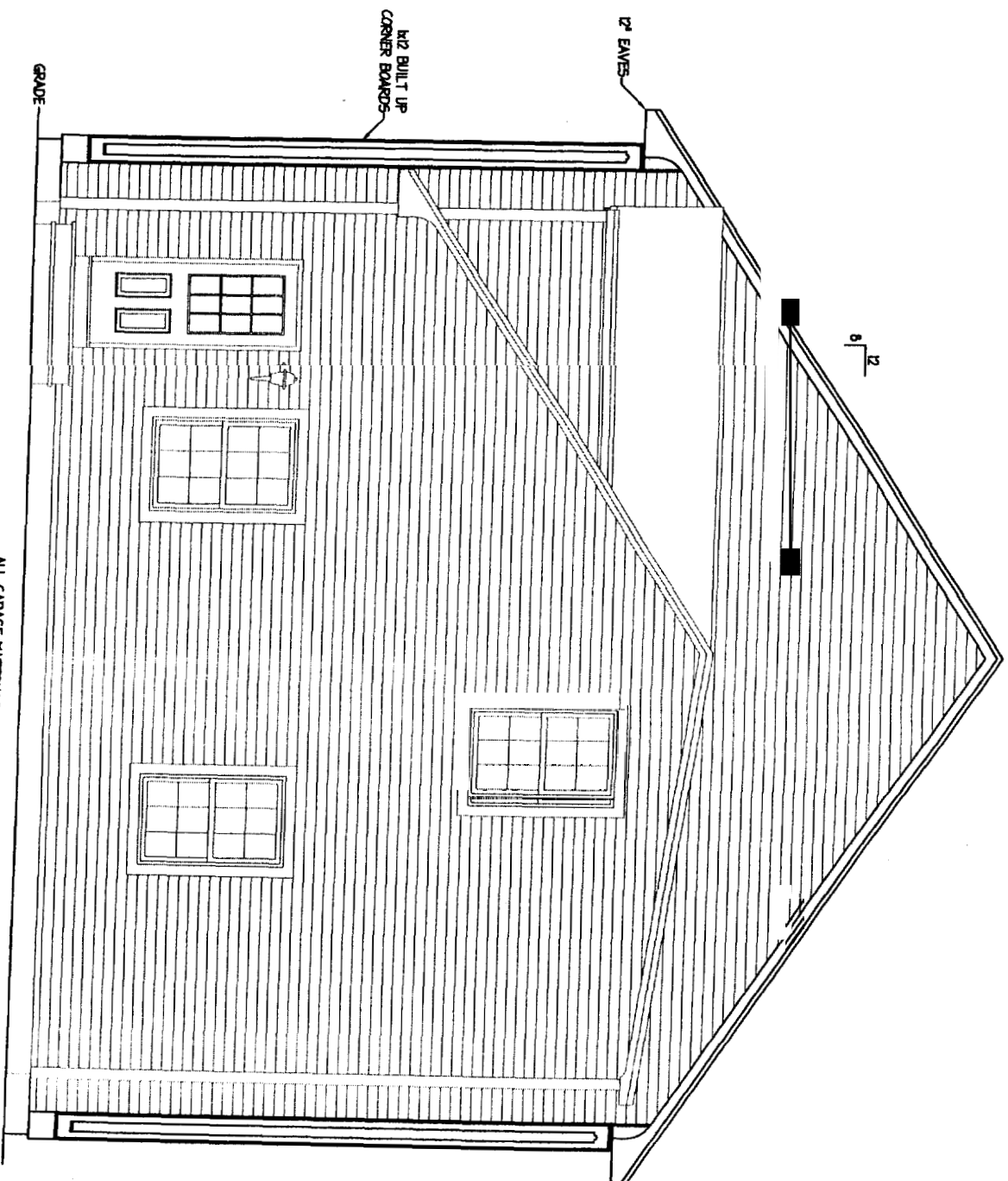
270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

DRWN	ATH	DATE	09/24/04
REV.		DATE	
SCALE	3/16" = 1'-0"		

9590

BLUE HORIZON DEVELOPMENT

0103



ALL GARAGE MATERIALS AND
LABOR SITE SUPPLIED AND
INSTALLED BY BUILDER, NOT NEH

- NOTE:
- 1) DELETE ALL SINKS
 - 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
 - 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**ASTORIA
COLONIAL**

RIGHT ELEVATION



NEW ENGLAND HOMES INC.

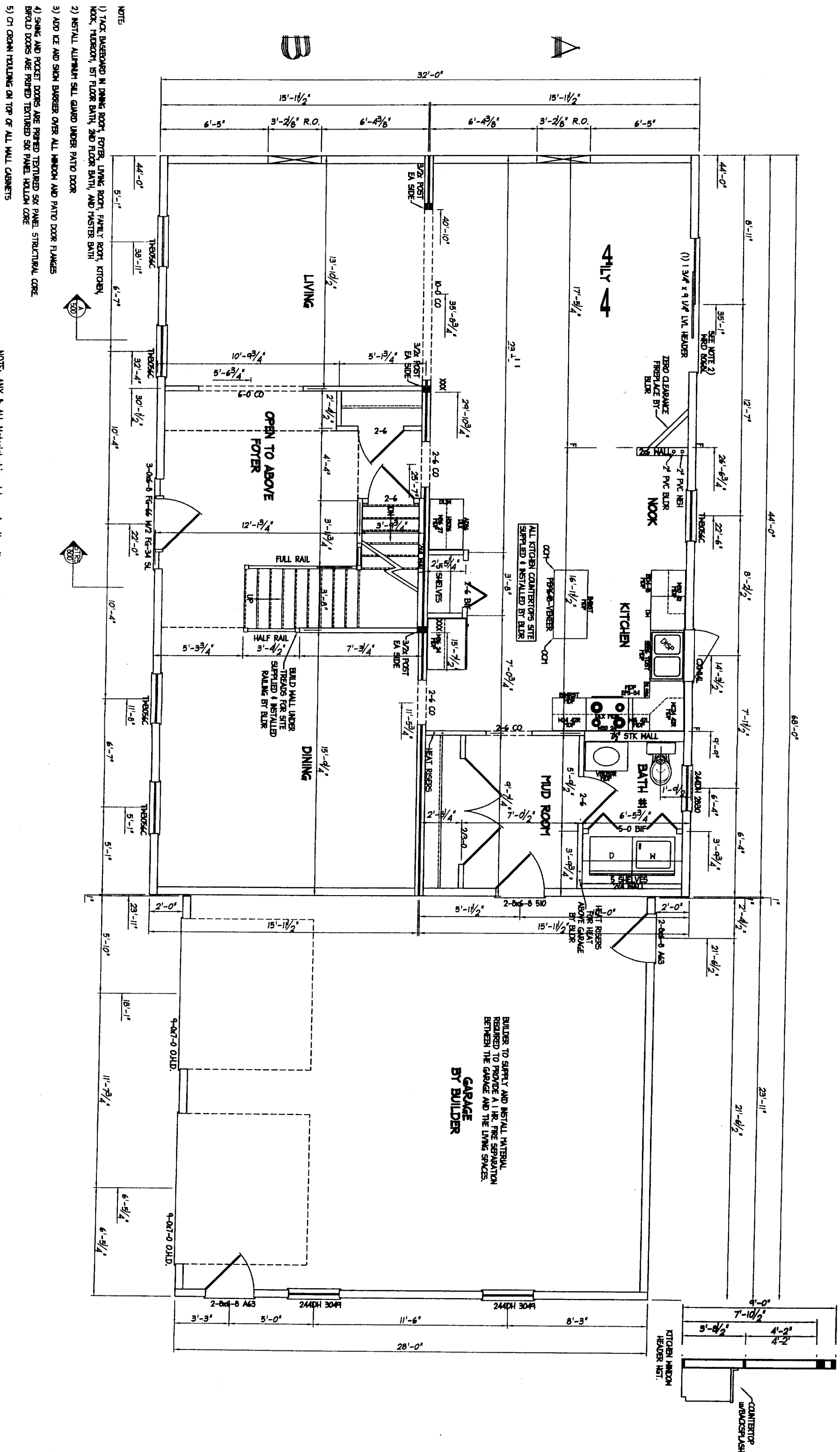
270 OCEAN ROAD
GREENLAND, NH 03840
© COPYRIGHT 2000

DRAWN	ATH	DATE	09/24/04
REV.		DATE	
SCALE	3/16" = 1'-0"		

9590

BLUE HORIZON DEVELOPMENT

0104



- NOTE
- 1) TACK BASEBOARD IN LIVING ROOM, Foyer, LIVING ROOM, FAMILY ROOM, KITCHEN, NOOK, HUBROOM, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH
 - 2) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
 - 3) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
 - 4) SWING AND POCKET DOORS ARE PRIME TEXTURED SIX PANEL STRUCTURAL CORE BIFOLD DOORS ARE PRIME TEXTURED SIX PANEL HOLLOW CORE
 - 5) ON CROWN MOLDING ON TOP OF ALL WALL CABINETS

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

1st FLOOR PLAN

New England Homes

NEW ENGLAND HOMES INC.

270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

SCALE	3/16" = 1'-0"
REV.	
DATE	
DATE	09/24/04
ATH	

BLUE HORIZON DEVELOPMENT

9590

0201

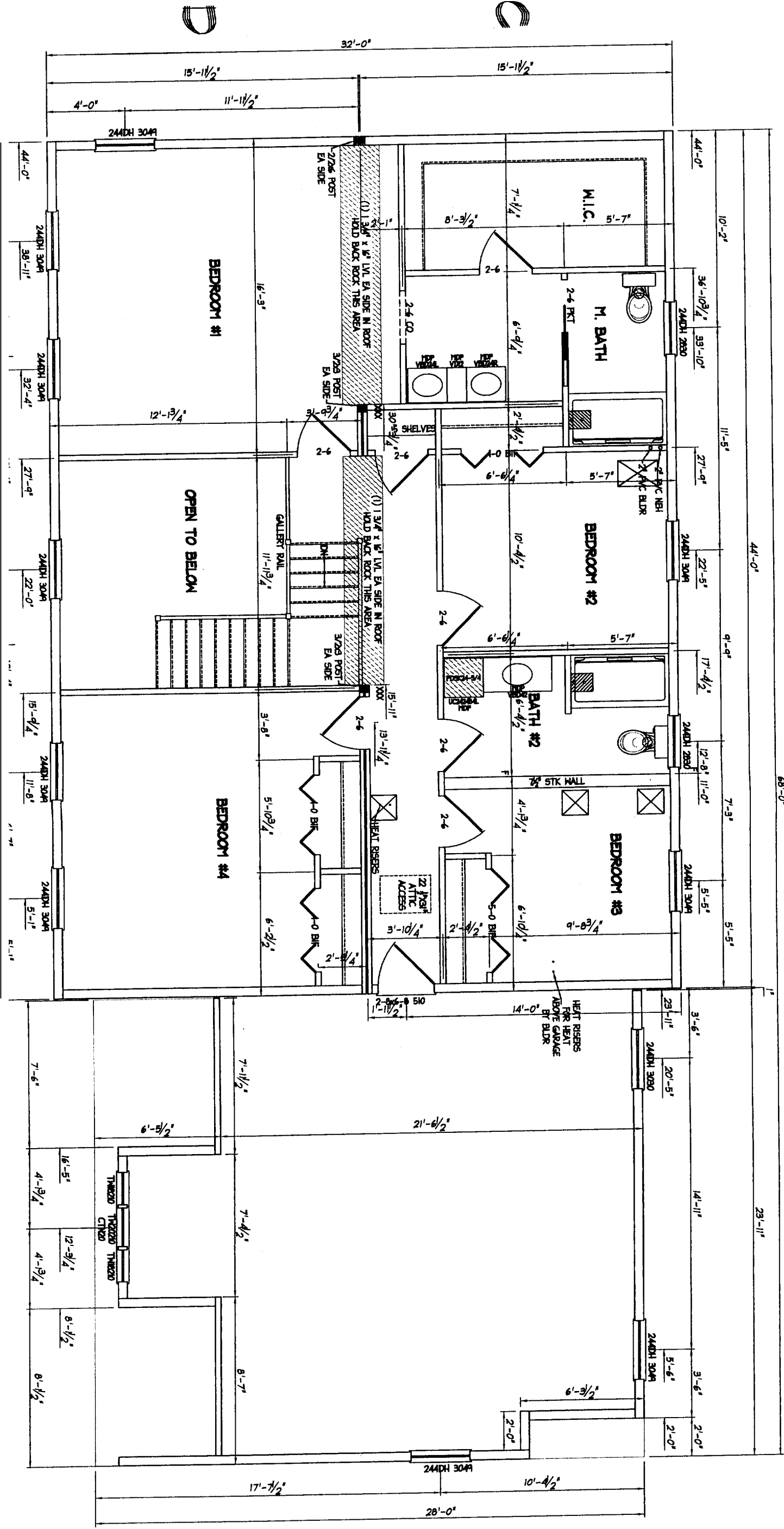
GARAGE BY BUILDER

BUILDER TO SUPPLY AND INSTALL MATERIAL REQUIRED TO PROVIDE A 1 HR. FIRE SEPARATION BETWEEN THE GARAGE AND THE LIVING SPACES.

ALL KITCHEN COUNTERTOPS SITE SUPPLIED & INSTALLED BY BLDG

BUILD WALL UNDER TREASURY FOR SITE SUPPLIED & INSTALLED RAILING BY BLDG

COUNTERTOP w/BACKSLASH
KITCHEN WINDOW HEADER HGT.



NOTE:
 1) TACK BASEBOARD IN DINING ROOM, FOYER, LIVING ROOM, FAMILY ROOM, KITCHEN, HALL, HUBROOM, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH
 2) SINK AND POCKET DOORS ARE FINISHED TEXTURED SIX PANEL STRUCTURAL CORE
 BROAD DOORS ARE FINISHED TEXTURED SIX PANEL HOLLOW CORE

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

2ND FLOOR PLAN



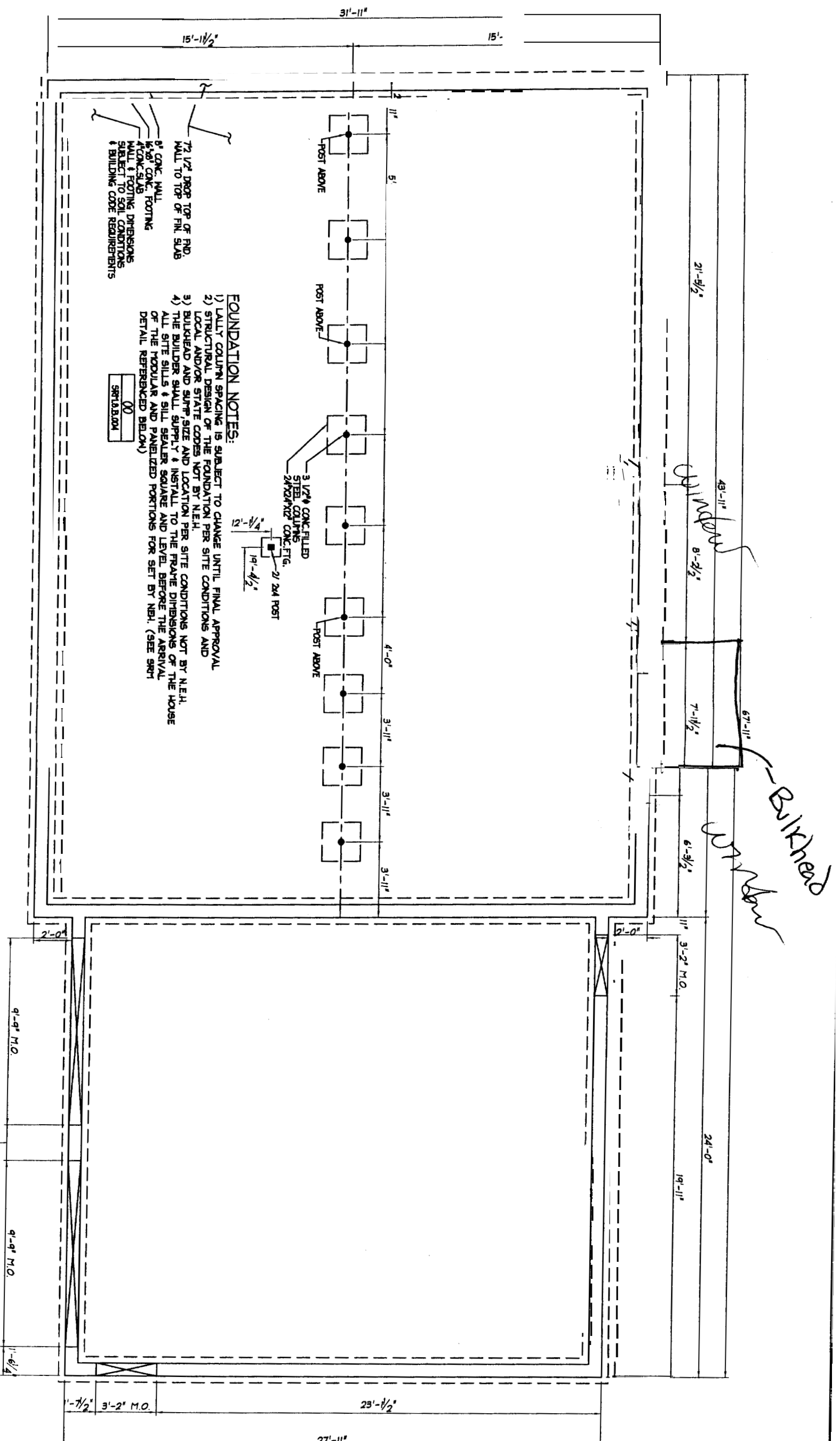
NEW ENGLAND HOMES INC.
 270 OCEAN ROAD
 GREENLAND, NH 03040
 © COPYRIGHT 2000

REV.	DATE	BY
09/24/04	ATH	

SCALE 3/16" = 1'-0"

9590 BLUE HORIZON DEVELOPMENT

0202



7 1/2" PROP TOP OF END WALL TO TOP OF FIN. SLAB
 8" CONC. WALL
 4" x 8" CONC. SLAB
 4" CONC. FOOTING
 WALL & FOOTING DIMENSIONS SUBJECT TO SOIL CONDITIONS & BUILDING CODE REQUIREMENTS

FOUNDATION NOTES:

- 1) LALLY COLUMN SPACING IS SUBJECT TO CHANGE UNTIL FINAL APPROVAL
- 2) STRUCTURAL DESIGN OF THE FOUNDATION PER SITE CONDITIONS AND LOCAL AND/OR STATE CODES NOT BY N.E.H.
- 3) BULKHEAD AND SURF, SITE AND LOCATION PER SITE CONDITIONS NOT BY N.E.H.
- 4) THE BUILDER SHALL SUPPLY & INSTALL TO THE FRAME DIMENSIONS OF THE HOUSE ALL SITE SILLS & SILL SEALER SQUARE AND LEVEL BEFORE THE ARRIVAL OF THE MODULAR AND PANELIZED PORTIONS FOR SET BY NEH. (SEE SHEET DETAIL REFERENCED BELOW)

00
 SPT12A.DWG

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

FOUNDATION PLAN



NEW ENGLAND HOMES INC.

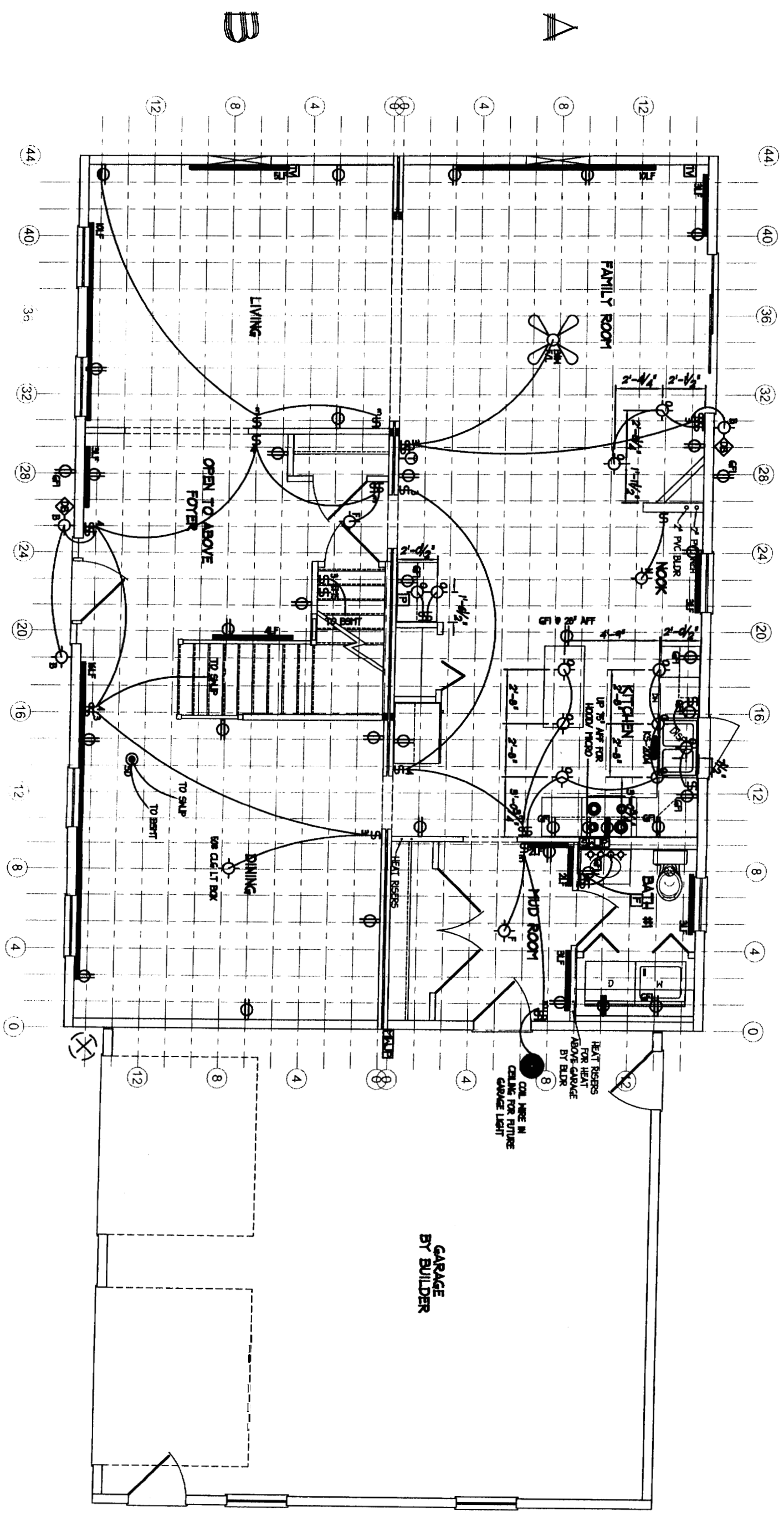
270 OCEAN ROAD
 GREENLAND, N.H. 03040
 © COPYRIGHT 2000

DRAWN	ATH	DATE	09/24/04
REV		DATE	
SCALE	3/16" = 1'-0"		

BLUE HORIZON DEVELOPMENT

9590

0301



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

AST
COLC

1st ELECTRICAL



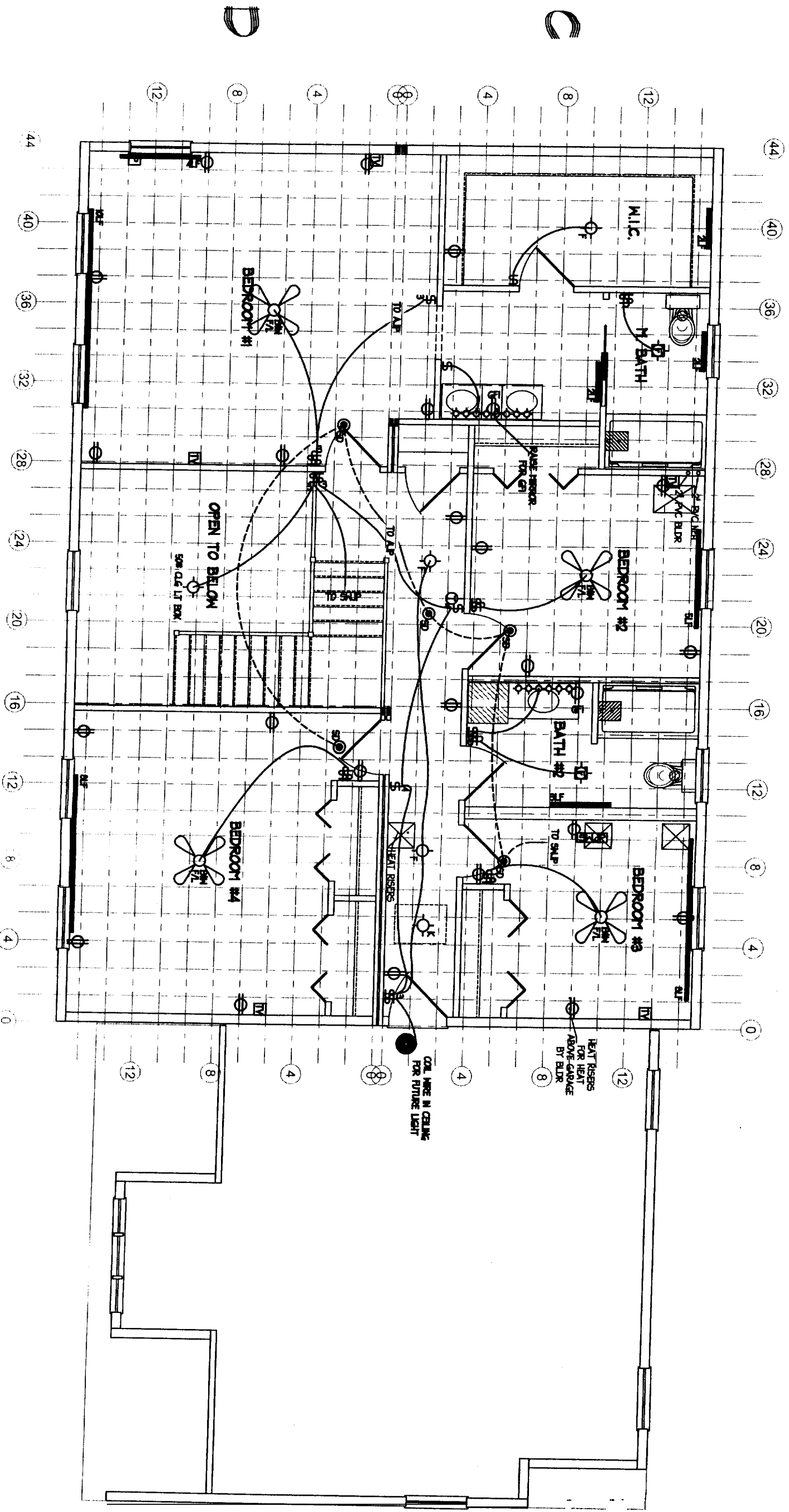
NEW ENGLAND HOMES INC.

270 OCEAN ROAD
GREENLAND, N.H. 03040
© COPYRIGHT 2000

REV.	DATE	DATE
SCALE	3/16" = 1'-0"	

9590
BLUE HORIZON DEVELOPMENT

0401



**ASTORIA
COLONIAL**

2ND ELECTRICAL



NEW ENGLAND HOMES INC.
270 OCEAN ROAD
GREENLAND, N.H. 03040
© COPYRIGHT 2000

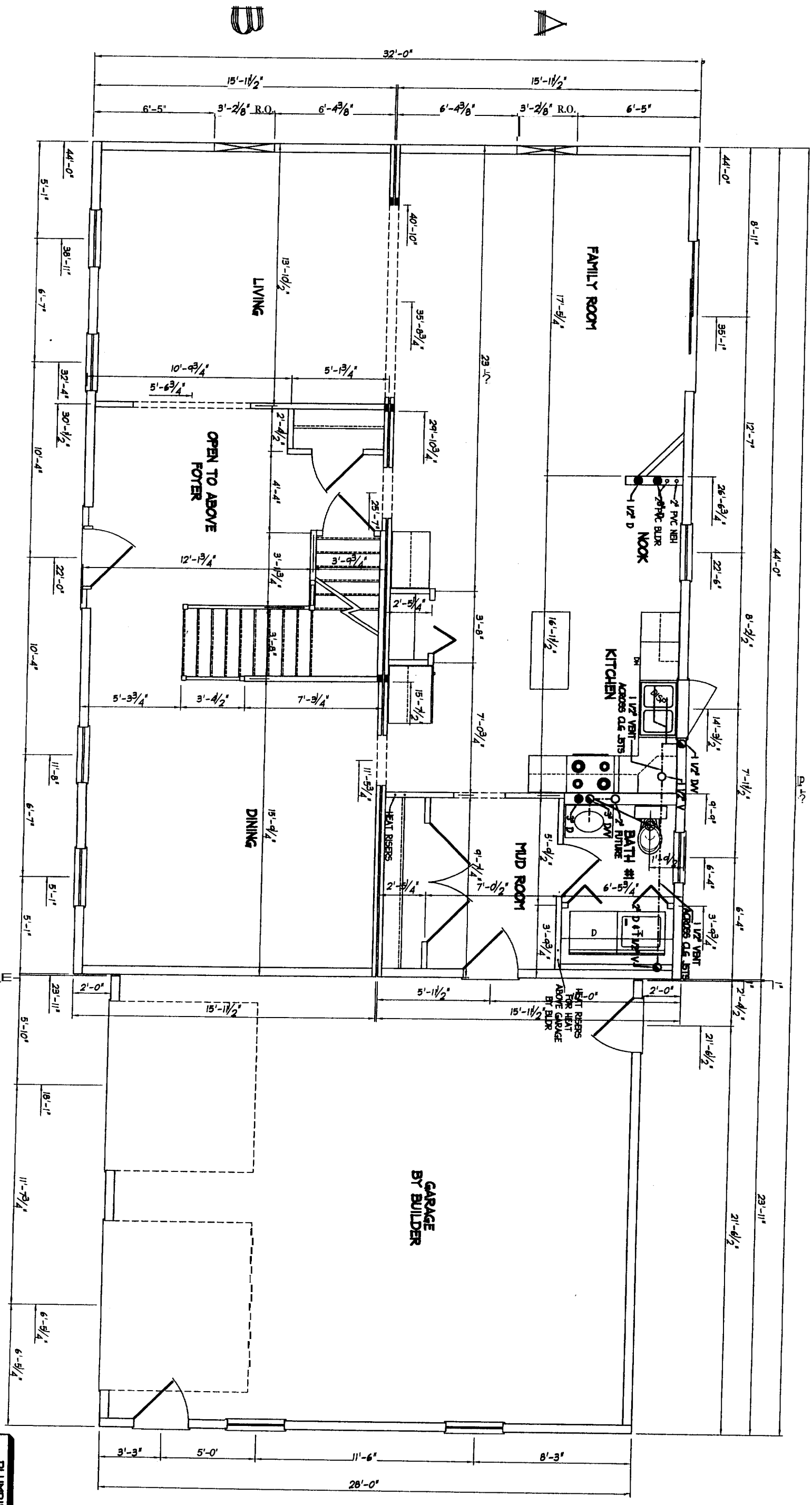
NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

REV.	DATE	BY	DATE
1	09/24/04	ATH	

SCALE 3/16" = 1'-0"

BLUE HORIZON DEVELOPMENT

0402



PLUMBING LEGEND

- DRAIN LINE
- - - VENT LINE
- - - TRAP ARM
- DRAIN ONLY
- VENT ONLY
- ⊙ DRAIN/VENT COMBO

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

1st FLOOR PLUMBING



NEW ENGLAND HOMES INC.

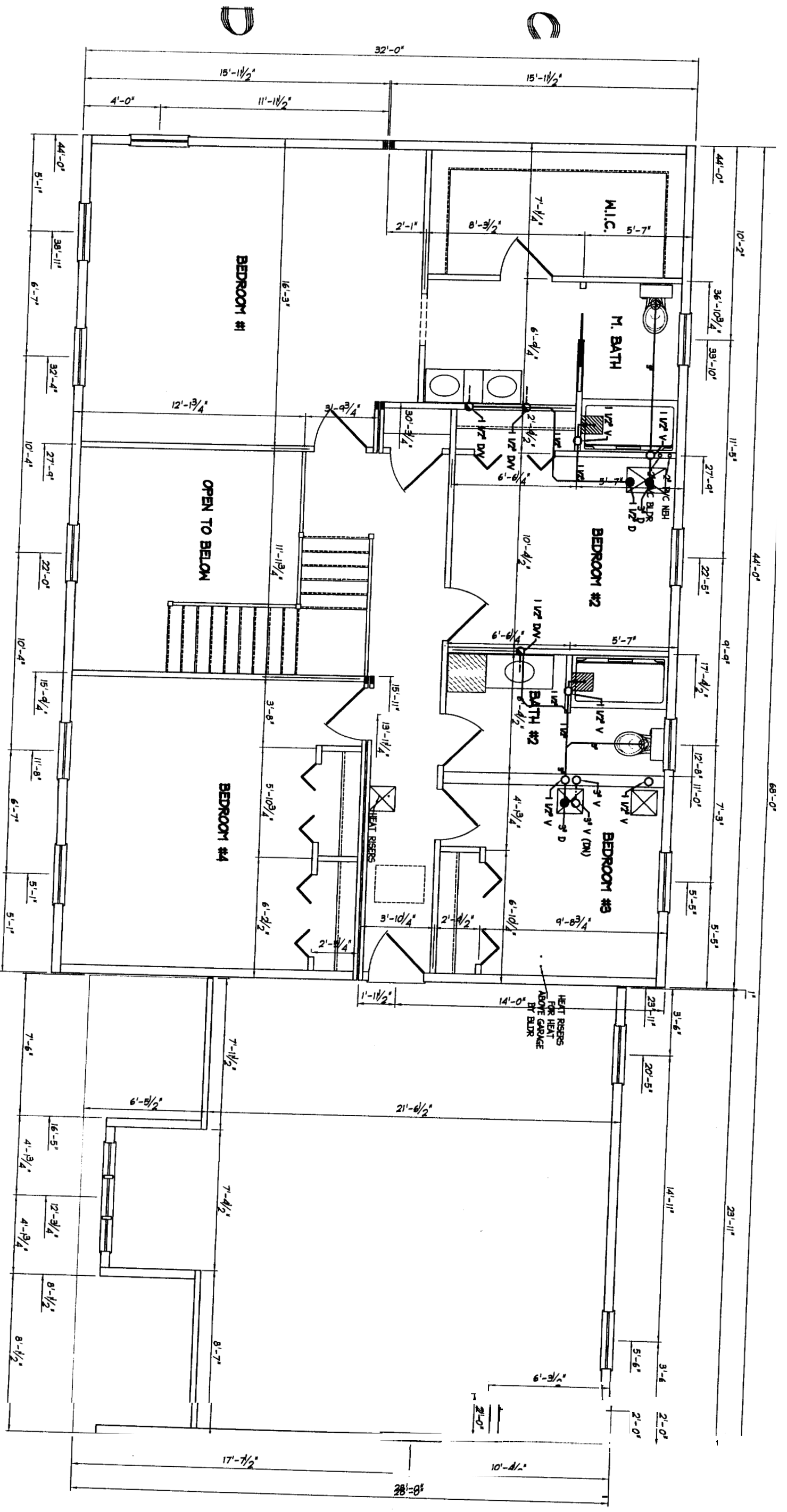
270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

SCALE	3/16" = 1'-0"
REV.	
DATE	
DATE	09/24/04
ATH	

BLUE HORIZON DEVELOPMENT

9590

0411



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

2ND FLOOR PLUMBING



NEW ENGLAND HOMES INC.
270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

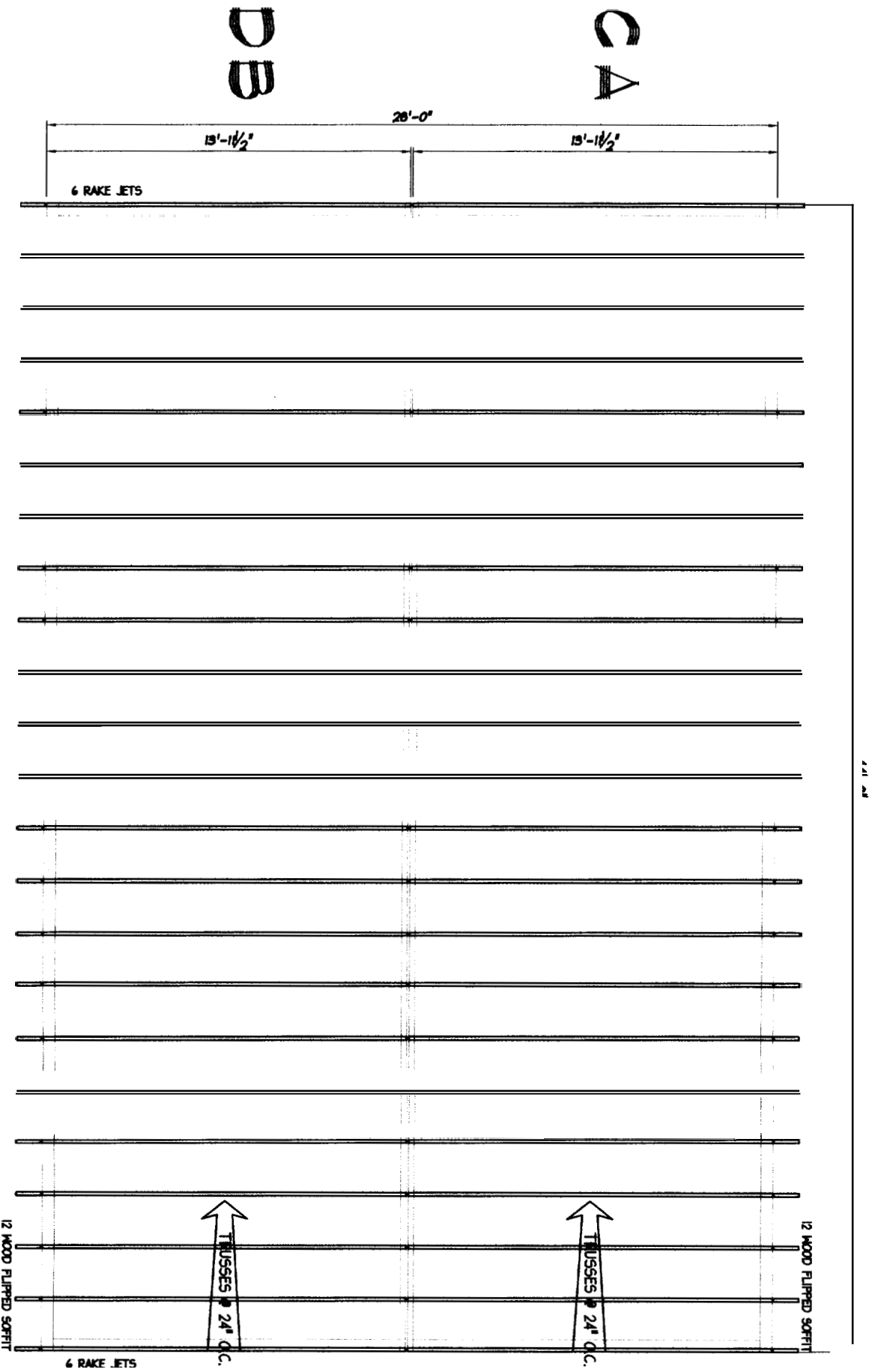
REV.	DATE	BY	DATE
DRW	ATH		09/24/04
SCALE	3/16" = 1'-0"		

BLUE HORIZON DEVELOPMENT
9590

0412

PLUMBING LEGEND

- = DRAIN LINE
- - - = VENT LINE
- - - = TRAP ARM
- = DRAIN ONLY
- = VENT ONLY
- ⊗ = DRAIN/VENT COMBO



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**ASTORIA
COLONIAL**

ROOF FRAMING



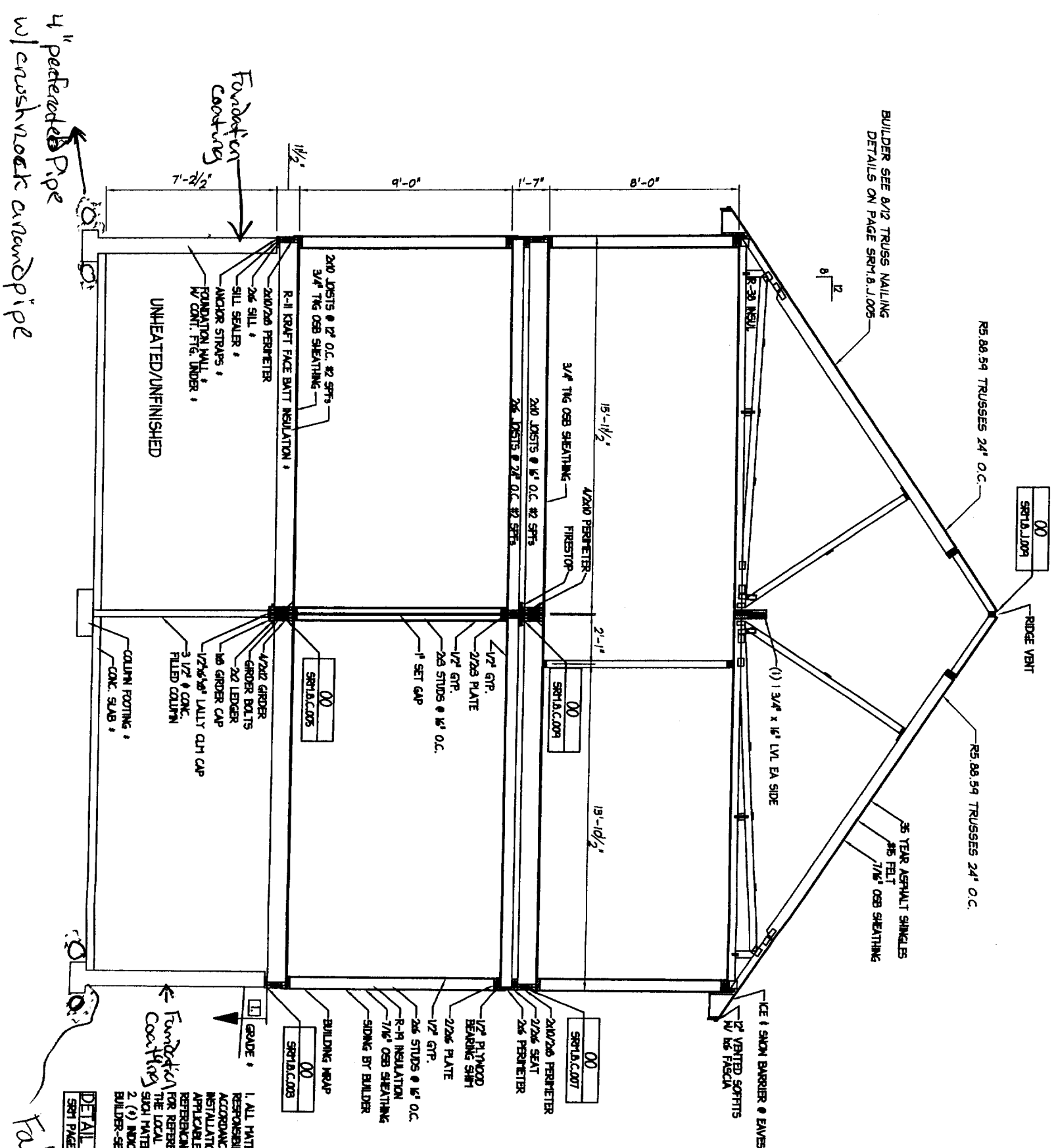
NEW ENGLAND HOMES INC.

270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

DRWN	ATH	DATE	09/27/04
REV.		DATE	
SCALE	3/16" = 1'-0"		

**9585
BLUE HORIZON DEVELOPMENT**

0711



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

1. ALL MATERIALS BELOW THIS LINE ARE THE RESPONSIBILITY OF THE BUILDER, AND SHALL BE USED IN ACCORDANCE WITH THE MATERIAL MANUFACTURERS' INSTALLATION INSTRUCTIONS, IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. ANY DETAILS/STAMPINGS REFERENCING MATERIAL NOT SUPPLIED BY M.E.H. ARE FOR REFERENCE ONLY, AND SHOULD BE APPROVED BY THE LOCAL BUILDING INSPECTOR PRIOR TO USE. ALL SUCH MATERIALS/CONSTRUCTION MUST BE SITE INSPECTED. 2. (9) INDICATES MATERIAL/LABOR ON SITE BY BUILDER-SEE NOTE 1.

DETAIL NO. SYMBOL DENOTES THE DETAIL NUMBER AND PAGE IN THE SITE REFERENCE MANUAL BUILDER MUST REFER TO FOR REQUIRED SITE WORK.

Foundation Coating
Fabric 11/15/04

ASTORIA COLONIAL

SECTION A



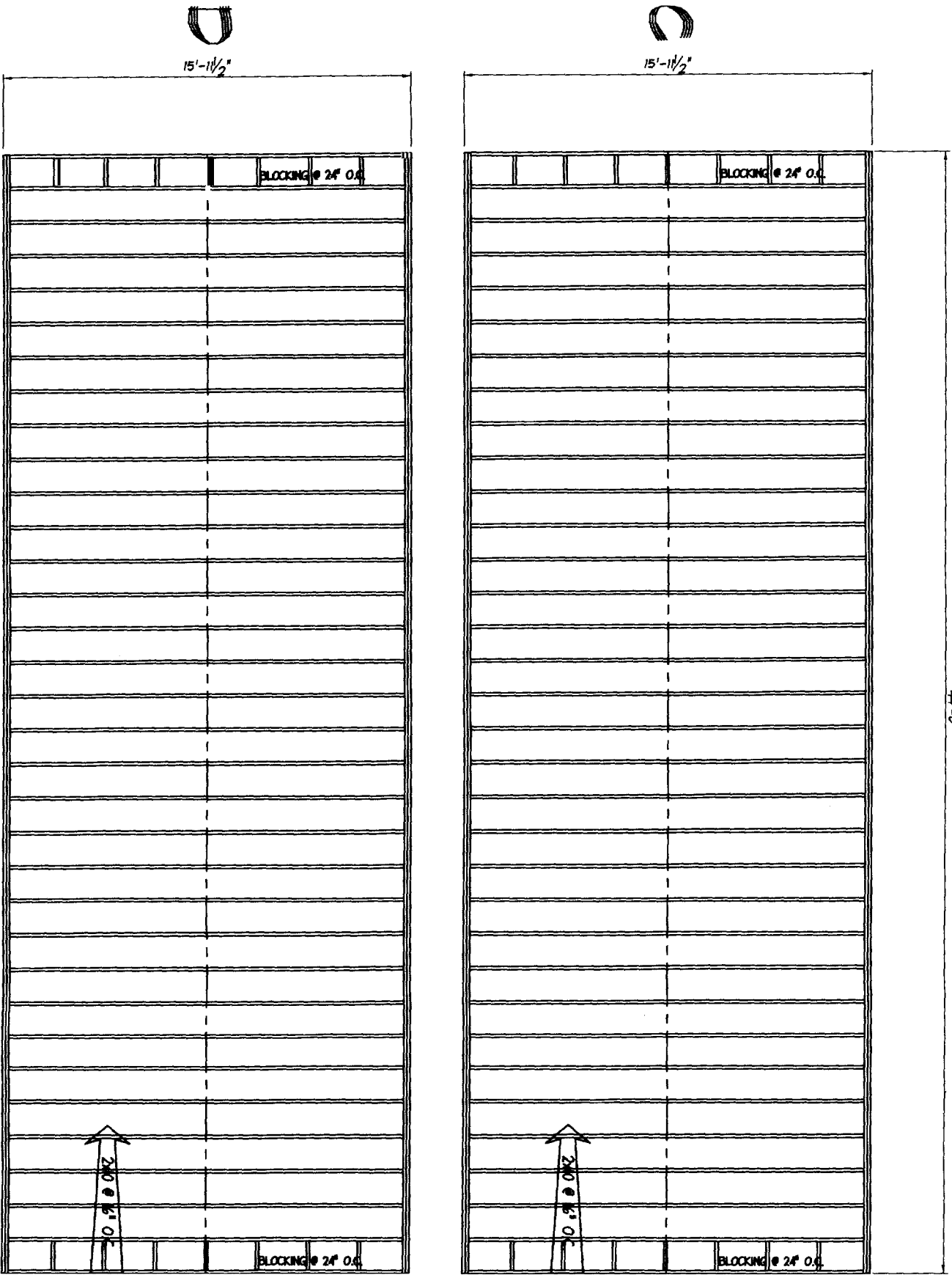
NEW ENGLAND HOMES INC.
270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

DESIGN	ATH	DATE	09/24/04
REV.		DATE	
SCALE	3/16" = 1'-0"		

9590 BLUE HORIZON DEVELOPMENT

0500

44'-0"



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish

ASTORIA
COLONIAL

2ND FLOOR



NEW ENGLAND HOMES INC.

270 OCEAN ROAD
GREENLAND, NH 03040
© COPYRIGHT 2000

DRWN	ATH	DATE	/ /
REV.		DATE	
SCALE 3/16" = 1'-0"			

9585
HORIZON

0703