

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 041560

PERMIT TO CONSTRUCT

Please Read Application And Notes, If Any, Attached

This is to certify that Flaherty Richard J /Gary Boi
has permission to build a 32' x 44' home w/ 2 car garage, 16 deck, a 6x8 fire entry
AT 108 Hope Ave (lot# 3) 390 A009001

NOV 24 2004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bouke 11/23/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|----------------------------|
| Permit No: 04-1560 | Issue Date: | CBL: 009 390 A012001 |
|-----------------------|-------------|----------------------------|

| | | | |
|--|----------------------------------|--|----------------------|
| Location of Construction: 100 Hope Ave (lot 43) | Owner Name: Wolf Lloyd B | Owner Address: 25 Alice Rd | Phone: |
| Business Name: | Contractor Name: Gary Boiland | Contractor Address: 71 Davis Ave Auburn | Phone: 2075763956 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | Zone: R2 |

| | | | | |
|--------------------------|--|---------------------------|-------------------------------|--------------------|
| Past Use: Vacant Land | Proposed Use: Single Family Home/ build a 32' x 44' home w/ 2 car garage, 12x16 deck & a 6x8 deck | Permit Fee: \$1,776.00 | Cost of Work: \$195,000.00 | CEO District: 5 |
|--------------------------|--|---------------------------|-------------------------------|--------------------|

| | | |
|---|--|--|
| Proposed Project Description: build a 32' x 44' home w/ 2 car garage, 12x16 deck & a 6x8 deck <i>fract entry</i> | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R3 Type: SB FRC 2003 Signature: <i>JMB 11/23/04</i> |
| EDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | Signature | Date |

| | | |
|-----------------------------|---------------------------------|------------------------|
| Permit Taken By: Idobson | Date Applied For: 10/14/2004 | Zoning Approval |
|-----------------------------|---------------------------------|------------------------|

| | | |
|--|---|---|
| <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 2 zone A</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2004-0214</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>11/9/04</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |
|--|---|---|

per reviewed plans received → 11/22/04

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 04-1560 | Date Applied For: 10/14/2004 | CBL: 390 A009001 |
|------------------------------|--|----------------------------|

| | | | |
|--|--|--|--------------------------------|
| Location of Construction: 108 Hope Ave (lot# 3) | Owner Name: Flaherty Richard J | Owner Address: 26 Quiet Ln | Phone: |
| Business Name: | Contractor Name: Gary Boiland | Contractor Address: 71 Davis Ave Auburn | Phone (207) 576-3956 |
| Lessee/Buyer's Name | Phone: | Permit Type: Single Family | |
| Proposed Use: Single Family Home/ build a 32' x 44' home w/ 2 car garage, 12x16 deck & a 6x8 front entry | | Proposed Project Description: build a 32' x 44' home w/ 2 car garage, 12x16 deck & a 6x8 front entry | |

Note: 11/12/04 revised structural plans received from Jay R. showing a rear daylight basement**Ok to Issue:**

- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveway.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/23/2004**Note:** 11/15/04 spoke w/Greg B. For additional plans, he will submit**Ok to Issue:**

- 4) Your new street address HAS NOT BEEN ASSIGNED YET, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Manufactured home lot # 3/108 Hope Ave # 04-15760 CBI: 390-14-029

| Component | Plan Reviewer | Inspection/Date/Findings |
|---|-------------------------------|-----------------------------|
| STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2) | 16" x 8" Full / Frost wall | OK |
| Foundation Drainage Dampproofing (Section 406) | PIPE / Coating | Fabric for Gray B. 11/15/14 |
| Ventilation (Section 409.1) Crawls Space ONLY | ? 11/22 New Daylight | 2 windows OK |
| AnchorBolts/Straps (Section 403.1.4) | Staps | per man. Specs OK |
| Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) | 3 1/2" conc. Filled | OK |
| Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2)) | 4 - 2 X 12 | OK |
| Sill/Band Joist Type & Dimesions | 2X6 | OK |
| First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1)) | | |
| Second Floor Joist Species Dimensions and Spacing Table(503.3. Table 503.3.2(1)) | | |

| | | |
|--|--------------------------|------------|
| Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4. or 503.3.1(1) & Table 503.3.2(1)) | | |
| Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7)) | | |
| Sheathing; Floor, Wall and roof (Table 503.2.1(1)) | | |
| Fastener Schedule (Table 602.3(1) & (2)) | | |
| Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside) | <i>Need const. Plans</i> | |
| Fire separation | | |
| Fire rating of doors to living space | | |
| Door Sill elevation (407.5 BOCA) | | |
| Egress Windows (Section 310) | | |
| Roof Covering (Chapter 9) | | |
| Safety Glazing (Section 308) | | |
| Attic Access (BOCA 1211.1) | | |
| Draft Stopping around chimney | <i>✓</i> | <i>ATA</i> |

| | | |
|---|----------------------------|--|
| Header Schedule | | |
| Type of Heating System | ! FHW 0.1 - Direct Vent OK | |
| Stairs | | |
| Number of Stairways | | |
| Interior | | |
| Exterior | | |
| Treads and Risers (Section 314) | | |
| Width | | |
| Headroom | | |
| Guardrails and Handrails (Section 315) | | |
| Smoke Detectors | | |
| Location and type/Interconnected | | |
| Plan Reviewer Signature | | |

See Chimney Summary Checklist

Rear Deck Plans 11/23/04 OK

Front entry Plans

OK 11/17/04

GARY BOILARD
PO BOX 313
SABATTUS, ME. 04280
TEL: 207-375-0979
FAX: 207-375-0984

FACSIMILE TRANSMITTAL SHEET

| | |
|---|---|
| TO: Jean Bourke | FROM: Gary Boilard |
| COMPANY: City of Portland | DATE: 11/22/04 |
| FAX NUMBER: 874-8716 | TOTAL NO. OF PAGES INCLUDING COVER: 2 |
| PHONE NUMBER: 874-8715 | |
| RE: Blue Horizon Development Corp | |

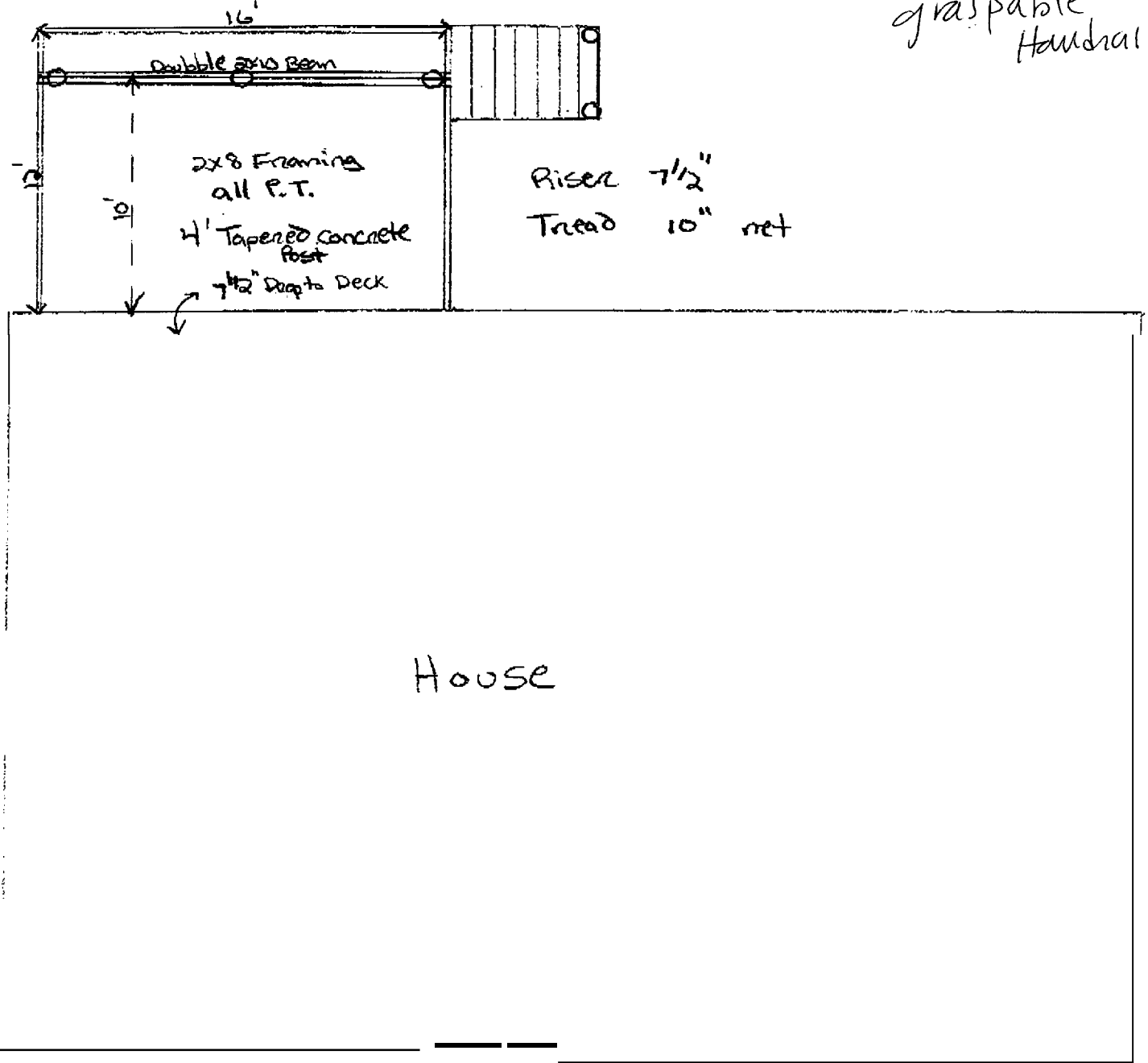
URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

NOTES/COMMENTS:

Lots # 2 + 3 Hope Ave. Portland
 cross section for permits
 call me if u need more!
 Gary cell - 5763956

★ Deck framing Also!! ★

Rails per design on
Farmers Porch
Also provide
graspable
Handrail



GARY BOILARD
PO BOX 313
SABATTUS, HE. 04280
TEL: 207-375-0979
FAX: 207-375-0984

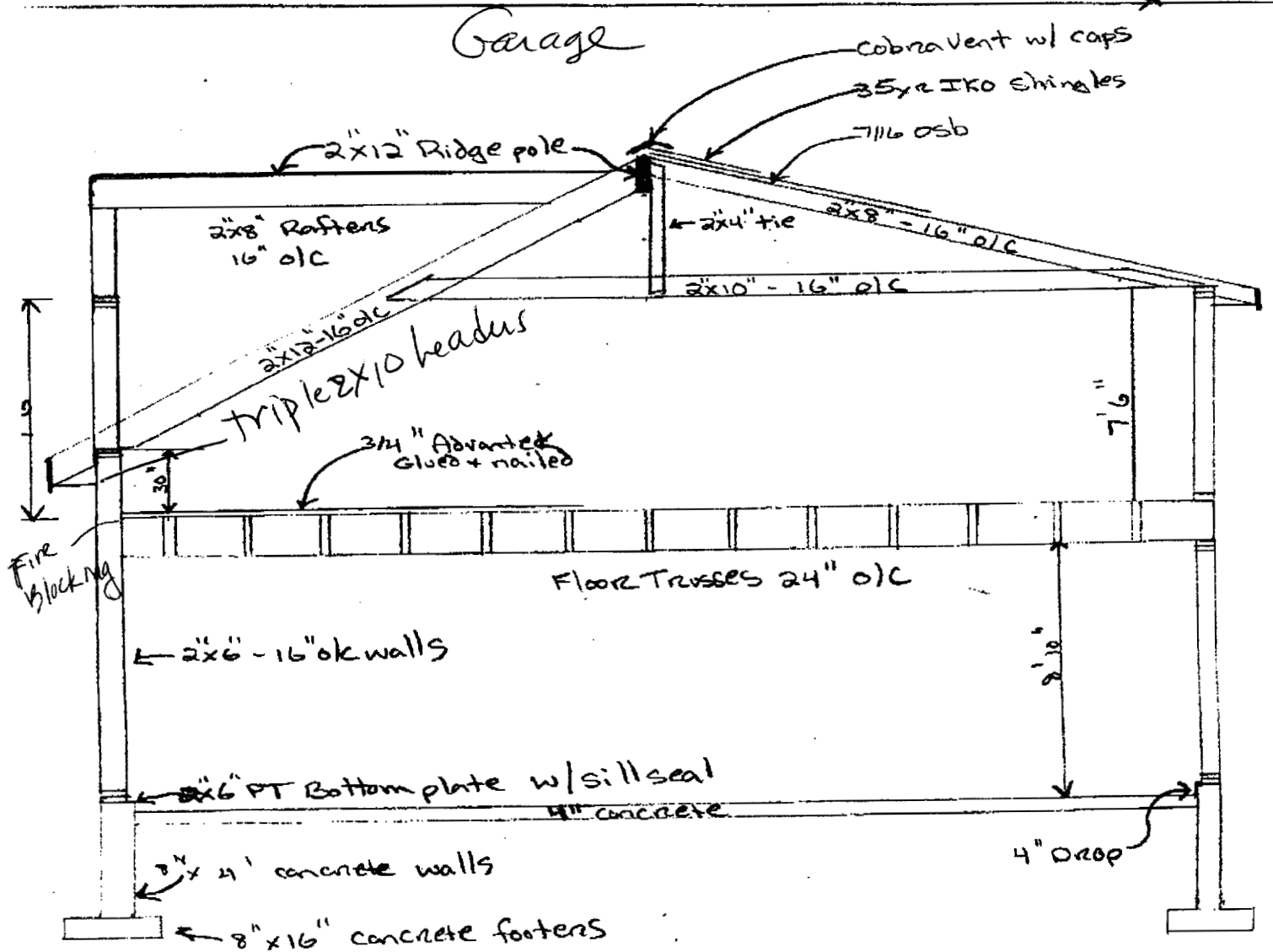
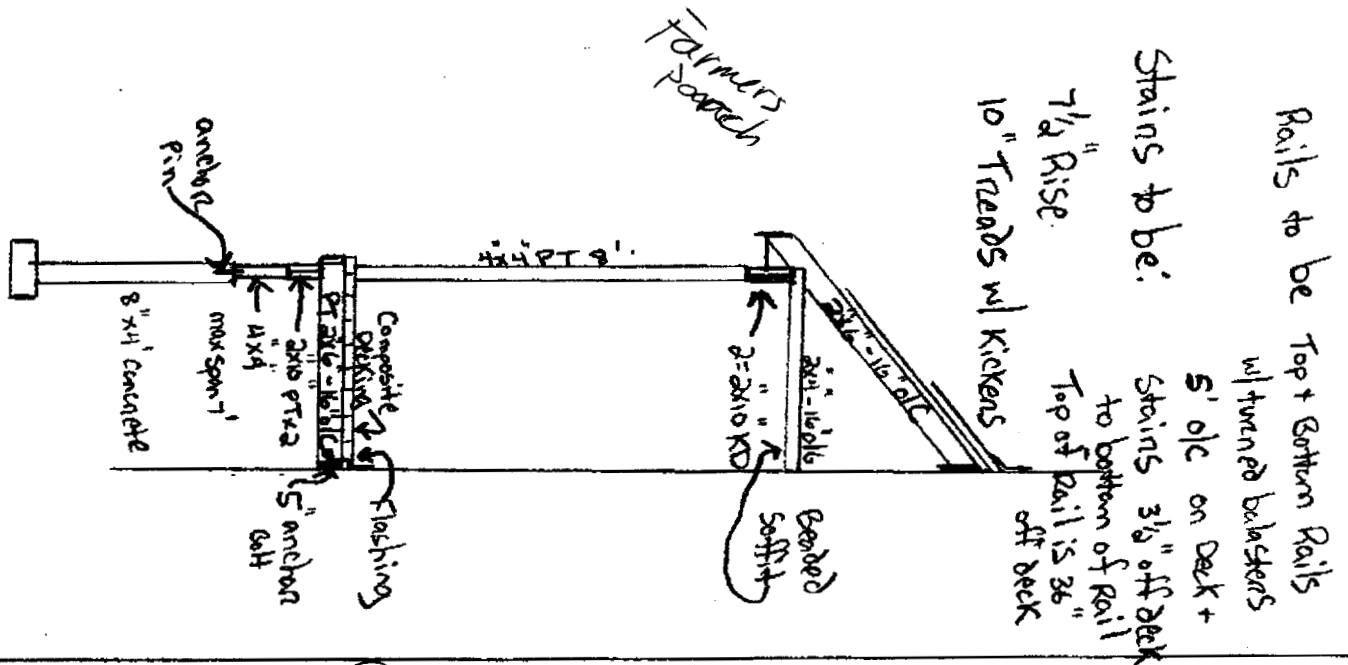
FACSIMILE TRANSMITTAL SHEET

| | |
|--|--|
| TO: Jean Bourke | FROM: Gary Boilard |
| COMPANY: City of portland | DATE: 11/17/04 |
| FAX NUMBER: 874-8716 | TOTAL NO. OF PAGES INCLUDING COVER: 2 |
| PHONE NUMBER: 874-8715 | |
| RE: Blue Horizon Development Corp | |

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

NOTES/COMMENTS:

Lots # 2 + 3 Hope Ave. Portland
 cross section for permits
 call me if u need more!
 Gary cell - 5763956



Sama tube for Rear deck to be 4" tapered prefab concrete post w/ 7'6" max spacing! 10' out from building!
 2x8 @ 16 o.c.

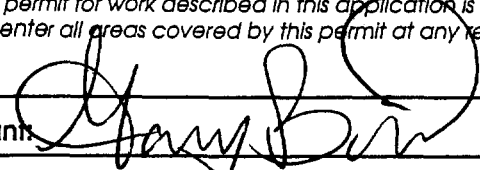
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | | |
|---|--|--|------------------------|
| Location/Address of Construction: | | | |
| Total Square Footage of Proposed Structure 3372 Living Space/Garage 672 | | Square Footage of Lot 54,010 | |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 390 A 012 | Owner: Richard Flaherty | Telephone: 207-576-3956 | |
| Lessee/Buyer's Name (If Applicable) N/A | Applicant name, address & telephone: Gary Boiland 71 Davis Ave Auburn, ME 04210 576-3956 | cost Of Work: \$ 195.00 | Fee: \$ 2078.00 |
| Current use: Vacant Land | | | |
| If the location is currently vacant, what was prior use: Vacant land | | | |
| Approximately how long has it been vacant: Forever | | | |
| Proposed use: Single Family | | OCT 1 4 2004 | |
| Project description: modular construction - 2 car garage - 6x8 Front Deck 12x16 Rear Deck | | | |
| Contractor's name, address & telephone: Gary Boiland 576-3956 | | | |
| Who should we contact when the permit is ready: Mailing address: 71 Davis Ave, Auburn ME 04210 | | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 576-3956 | | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|-----------------------|
| Signature of applicant:  | Date: 10/11/04 |
|---|-----------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Gary Board

Date: 11/8/04

Address: 108 Hope Ave (lot #3)

C-B-L: 390-A-~~007~~009

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

04-1560

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct single family Dwelling with Att. garage with 12'x16' rear Deck ^{32'x44'} ^{24x28}

Sevage Disposal - City

Lot Street Frontage - 50' min - 97' scaled

Front Yard - 25' min - 46' to closest

Rear Yard - 25' min - 100'+ to rear property line

Code officer confirm

Side Yard - 14' min - 14' exactly shown on both sides

Projections - 12'x16' rear deck - 6'x8' front entry

Width of Lot - 80' min - 96' scaled

Height - 35' max - 26.25' scaled

Lot Area - 10,000^{sq} - 51,644^{sq} given

Lot Coverage/Impervious Surface - 20% max $10,328.8^{sq}$

Area per Family - 10,000^{sq}

Off-street Parking - 2 parking spaces min - 2 car garage shown

Loading Bays - N/A

Site Plan - minor/minor # 2004-0214

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

| | |
|-----------|--------------------|
| 32'x44' = | 1408 |
| 24'x28' = | 672 |
| 12'x16' = | 192 |
| 6'x8' = | 48 |
| <hr/> | |
| | 2320 ^{sq} |

2320^{sq}

per revised plans received from Jay R. 11/14/04

~~NO DAY LIGHT BASEMENT SHOWN~~
A few DAY LIGHT BASEMENT IS NOW BEING SHOWN

SPACE AND BULK REQUIREMENTS - R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.
REAR **YARD** 25 FT
SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY **14** FT.

2 **1/2** STORY 16 FT.

MINIMUM LOT WIDTH:

OTHER USES: 80 FT.

* THE WIDTH OF **ONE** (1) SIDE YARD MAY BE REDUCED ONE (1) **FOOT** FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE **AND MAY** BE INCREASED OR DECREASED DEPENDING UPON THE **NUMBER** OF STORIES.

| | |
|--------------|---------------|
| Design: WHS | Date: JULY 04 |
| Draft: CAH | Job No.: 1043 |
| Checked: AMP | Scale: NTS |

GP *Traffic and Engineering Services*
PO Box 1237, 15 Shaker Road
Gray, ME 04039

| | |
|---------------|--------------------------------------|
| Drawing Name: | Space & Bulk Requirements |
| Project: | DEQUINCOOT RIVER BLADE |

Figure No.
1

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

RICHARD J. FLAHERTY, whose mailing address is 26 Quiet Lane, Portland, Maine 04103

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 3 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, as revised on April 28, 2003 and recorded at said Registry of Deeds in Plan **Book** 204, Page 373 (hereinafter sometimes referred to as "Plan"), together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in **Book** 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in **Book** 18336, Page **57**.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 **through** 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650 and Plan **Book** 204, Page 373.

2. Depending on the elevation of the lowest plumbing fixture, a private pump station may be required as more specifically set forth in Paragraph **12** of said Notes.
3. Rights and easements granted to New England Telephone and Telegraph and Central Maine Power Company in an instrument dated December **29, 1955** and recorded at said Registry of Deeds in **Book 2276, Page 277.**
4. Such State of Facts as set forth or depicted on plan showing Plan of Property for **Robert Adam** dated August **1978** and recorded at said Registry of Deeds in Plan **Book 125, Pages 45 and 46.**
5. A ten (**10**) foot and thirty (**30**) foot pedestrian easement as shown on said Plan recorded in Plan **Book 202, Page 650** and Plan **Book 204, Page 373.**
6. A culvert and drainage easement deed from Goldeneye Corp. to the City of Portland dated July **6,2004** and recorded at said Registry of Deeds in **Book 21610, Page 52** relating to said easements **as** shown on Plan recorded in Plan **Book 202, Page 650** and Plan **Book 204, Page 373.**
7. Terms and conditions of a State of Maine Department of Environmental Protection Site Location of Development Natural Resources Protection Act Water Quality Certification Findings of Fact and Order dated August **23,2002** and recorded at said Registry of Deeds in **Book 18084, Page 64** (incorrectly referred to as **94** in previous deed) together with the requirement that all future conveyances shall include reference to this permit.
8. Terms and conditions of a Declaration of Covenants and Restrictions dated November **5,2002** and recorded at said Registry of Deeds in **Book 18336, Page 59.**
9. The owner of Lot **3**, being the lot herein conveyed, shall retain either a licensed civil engineer or landscape architect to assist in design of the improvements of this lot. The owner of this lot shall also retain that professional to provide construction phase services including, but not limited to, periodic site inspection for adherence to all required erosion and sedimentation control measures and to address any changes in field conditions which require modification to the design of the lot improvements. The minimum site inspection requirements are set forth in Note **5** on said Plan to which reference is hereby made for a more specific description. The professional (civil engineer or landscape architect) shall provide a written statement to the Portland Planning Authority

upon completion of construction of lot improvements affirming that the work is in substantial conformance to the approved plans and that all conditions of approval have been satisfied.

10. Lot 3 is subject to an undisturbed zone as shown on said plan.
11. Lot 3 is subject to a thirty (30) foot private drainage easement as shown on said plan.

Also hereby conveying together with and subject to all rights, easements, privileges and appurtenances, belonging to the premises hereinabove described.

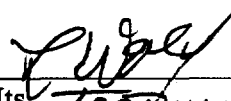
This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by his acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said GOLDENEYE CORP. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by LLOYD B. WOLF, its Treasurer thereunto duly authorized this 1st day of September, 2004.

GOLDENEYE CORP



By: _____



Its Treasurer
Lloyd B. Wolf

STATE OF MAINE
CUMBERLAND, SS.

September 1, 2004

Then personally appeared the above-named LLOYD B. WOLF, Treasurer of GOLDENEYE CORP. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me



Attorney at Law/Notary Public

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2004-0214

Application I. D. Number

1011412004

Application Date

Hope Ave.

Project Name/Description

Wolf Lloyd B

Applicant

25 Alice Rd , Portland, ME 04103

Applicant's Mailing Address

Hope Ave , Portland, Maine

Address of Proposed Site

390 A012001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

32 x44

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 1011412004

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |