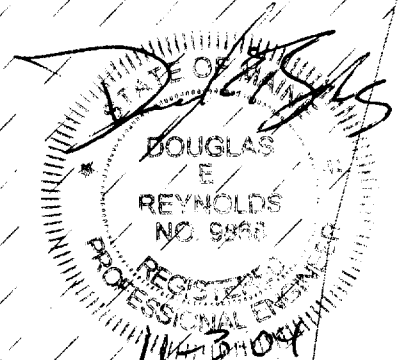


GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

Revised Plans



LOT 2
26,791 S.F.
0.62 AC.

UNDISTURBED ZONE

14' SIDE SETBACK

14' SIDE SETBACK

LOT 3

LOT 1

REFER TO BUILDING PLANS FOR DIMENSIONS

INV. 77.38 MIN.

6" SAN
L=54'
S=0.0104 MIN.

3/4" DOMESTIC WATER SERVICE
2"-2.5" CAL. RED MAPLES OR EQUIVALENT

DECK

2-STORY SINGLE FAMILY RESIDENCE

2 CAR GARAGE

PORCH

LOT OWNER TO HAVE BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

DOUBLE CLEANOUT

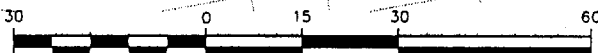
PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALKS PER CITY OF PORTLAND DETAILS

25' FRONT SETBACK

HOPE AVENUE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-10-04

received 11/12/04



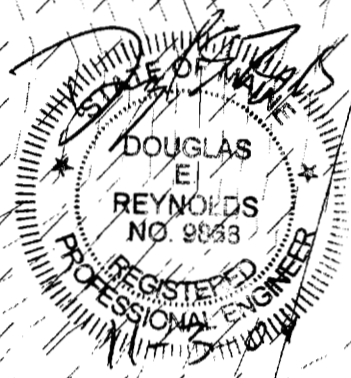
1 inch = 30 ft.

| | | | |
|---------|----------------------------|----------|--------|
| esign: | WHS | Date: | 11/04 |
| oft: | CAH | Job No.: | 1014 |
| hecked: | DER | Scale: | 1"=30' |
| e Name: | 98089-1\98089-ALL-LOTS.DWG | | |

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237
15 Saker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mail@gorrilpalmer.com

| | |
|---------------|----------------------------------|
| Drawing Name: | Lot 2 Site Layout & Utility Plan |
| Project: | PRESUMPCOT RIVER PLACE |

| | |
|------------|---|
| Figure No. | 2 |
|------------|---|



NOTE:

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

LOT 2
26,791 S.F.
0.62 AC.

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

SILT FENCE (TYP.)

LOT OWNER TO COORDINATE WITH NEIGHBORS FOR PLACEMENT OF DITCH ALONG PROPERTY LINES

LOT 3
LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

NOTES:

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

2-STORY SINGLE FAMILY RESIDENCE
F.F.E. 89.50

2 CAR GARAGE
F.F.E. 87.75



1 inch = 30 ft.

| | |
|---------------------------------------|---------------|
| Design: WHS | Date: 11/04 |
| Draft: CAH | Job No.: 1014 |
| Checked: DER | Scale: 1"=30' |
| File Name: 98089-1\98089-ALL-LOTS.DWG | |

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Saker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 2 Grading & Drainage Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No. **3**

received 11/12/04

NEW ENGLAND HOMES INC.
 CORPORATE OFFICES PHONE: (603) 436-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 MANUFACTURING PLANT PHONE: (603) 436-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 MANUFACTURER LICENSE #HT7000001E ASSIGNED BY THE
 STATE OF MAINE MANUFACTURED HOUSING BOARD
 EXPIRATION DATE OF CURRENT LICENSE
 6-30-2006

2. T. R. A.
 CORPORATE OFFICES PHONE: (574) 264-0745
 700 E. BEARDSLEY AVE. ELKHART, INDIANA 46514
 THIRD PARTY INSPECTION AGENCY APPROVED
 BY THE STATE OF MAINE

3. INDEX OF DRAWINGS
 ALL APPROVED DRAWINGS AND DOCUMENTATION USED
 TO DEFINE THIS STRUCTURE AND THE SYSTEMS THEREIN,
 ARE ON FILE AT THE MAINE STATE MANUFACTURED
 HOUSING BOARD, TRA & ASSOCIATES (THE THIRD PARTY
 INSPECTION AGENCY) AND NEW ENGLAND HOMES, INC.
 ATTACHED ARE PERTINENT DRAWINGS FOR THIS MODEL.

GENERAL NOTES
 1. N.E.H. (NEW ENGLAND HOMES INC.) LIMITS ITS
 SITE RESPONSIBILITIES TO SETTING AND ATTACH-
 ING MODULAR UNITS TO BUILDER'S PROPERLY
 DESIGNED AND PREPARED FOUNDATION AND ANCHORAGE
 SEE THE "NEH SITE REFERENCE MANUAL" FOR A
 COMPLETE DELINEATION OF SITE RESPONSIBILITIES
 FOR THE BUILDER AND THE COMPANY.
 2. ALL NOTES CONTAINING THE TERM "BY BUILDER" ARE
 DEFINING OBLIGATIONS WHETHER FOR MATERIAL WHICH
 IS NOT SUPPLIED OR INSTALLED BY THE COMPANY,
 OR FOR CONSTRUCTION METHODOLOGY/ACCEPTABLE BUILD-
 ING PRACTICE FOR WHICH THE COMPANY ACCEPTS NO RE-
 SONSIBILITY AND SHOULD BE REVIEWED CAREFULLY BY
 THE BUILDER AND THE LOCAL BUILDING INSPECTOR. ALL
 NOTES CONTAINING THE TERM "BY BUILDER" ALSO DEFINE
 AREAS OF RESPONSIBILITY WHICH ARE NOT SANCTIONED BY
 THE THIRD PARTY INSPECTION AGENCY OR THE STATE OF
 MAINE'S CERTIFICATION OF MANUFACTURED HOUSING FOR
 THIS PROJECT.

4. BUILDING INFORMATION
 a) PROJECT: ONE AND TWO FAMILY DWELLINGS
 PROPOSED LOCATION ADDRESS:
 THE STATE OF MAINE
 b) R4 USE GROUP (SECT 310 & BOCA 1993)
 c) SB CONSTRUCTION CLASSIFICATION (SECT.
 606.1 BOCA 1993)
 d) AREA OF BUILDING PER FLOOR MAX. 4800 S.F.
 e) AMOUNT OF ENCLOSED SPACE MAX. 35000 C.F.
 f) HEIGHT OF BUILDING ABOVE GRADE (TABLE 503)
 1. MAX. 2 STORIES
 2. MAX. 35 FEET
 g) DESIGN OCCUPANCY LOAD PER FLOOR: MAX. 24
 h) SPECIAL SYSTEMS BY TYPE
 1. TYPE OF FIRE PROTECTION SYSTEM:
 1993 BOCA WITH MAINE AMENDMENTS
 2. TYPE OF FIRE SUPPRESSION SYSTEM
 N/A.
 3. OTHER N/A.
 i) DESIGN LIVE LOADS
 1. WIND 90 MPH DESIGN
 2. ROOF 60 psf 65 psf
 3. FLOORS 40 psf 40 psf
 4. FLOORS(SLEEPING AREAS) 30 psf 30 psf
 5. CORRIDOR N/A N/A
 6. STAIRS 100 psf 100 psf
 7. BALCONIES 60 psf 60 psf
 j) DESIGN OF STAIRS (SECT. 817)
 1. MAXIMUM RISER: 8 1/4"
 2. MINIMUM TREAD: 9"
 3. MINIMUM HEADROOM: 6'8"
 4. MINIMUM WIDTH: 3'0"
 k) WINTER DESIGN TEMPERATURE
 INSIDE +70°F OUTSIDE -20°F
 l) SEISMIC DESIGN CATEGORY: C

5. STATE CODES
 1995 BOCA NATIONAL BUILDING CODE
 1992 CABO ONE AND TWO FAMILY DWELLING CODE
 1993 BOCA NATIONAL PLUMBING CODE
 1996 NATIONAL ELECTRICAL CODE
 1987 NFPA-31 INSTALLATION OF OIL
 BURNING EQUIPMENT
 1994 NFPA-101 LIFE SAFETY CODE WITH MAINE AMENDMENT
 1992 CABO MODEL ENERGY CODE

8. SPACE FOR APPROVAL STAMPS

T. R. ARNOLD & ASSOCIATES, INC.
 P. O. BOX 1081
 ELKHART, IN 46515
 State(s) MAINE
 Accredited Evaluation and
 Inspection Agency
 This document is certified as being in conformance
 with STATE
BUILDING CODES
 Approved By T. R. Arnold
 Date SEP 23 2004
 Approval of this document does not authorize or approve
 any omissions or deviation from the requirements of
 applicable State Laws.

6. EXTERIOR ENVELOPE THERMAL
 PERFORMANCE
 a. U-VALUES REQUIRED BY CODE AND DESIGN VALUES
 1) WALLS .05 .0526
 2) FLOORS .09 .0909
 3) ROOF/CEILING .026 .026
 4) DOORS .14 .072
 5) WINDOWS .50 .33
 6) FOUNDATIONS UNHEATED UNHEATED
 * NOTE: BASEMENT CEILING INSULATION IS SUPPLIED AND
 INSTALLED ON SITE BY THE BUILDER, AS IS THE
 MATERIAL AND LABOR FOR ALL OTHER REQUIREMENTS
 OF THE 1992 CABO MODEL ENERGY CODE.

9. DATA PLATE & STATE LABEL
 LOCATIONS
 a) I.T.R.A. LABEL PER MODULE BOX
 TYPICALLY ON BACK WALL OF A CLOSET
 AND ON THE WALL UNDER THE KITCHEN SINK.
 b) I DATA PLATE AND I STATE LABEL PER
 LIVING UNIT, TYPICALLY UNDER THE
 KITCHEN SINK.
 c) I STATE OF MAINE WARRANTY SEAL ON
 CABINET DOOR TYPICALLY UNDER KITCHEN SINK.

NEW ENGLAND HOMES INC.

SCALE: AS NOTED
 RELEASE CODE: 97.4
 ENGLAND

GENERAL INFORMATION

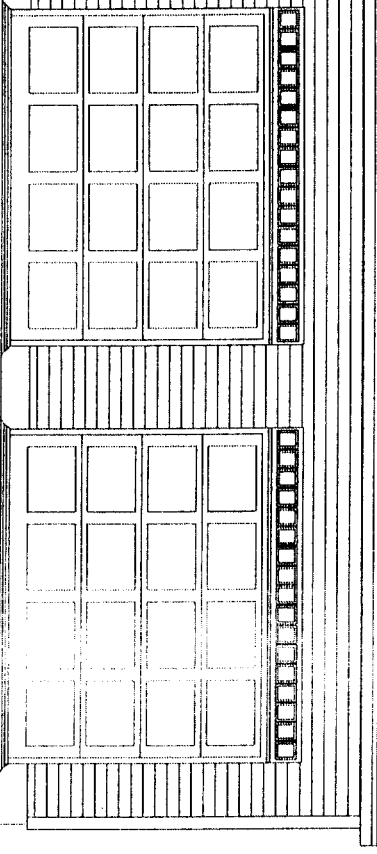
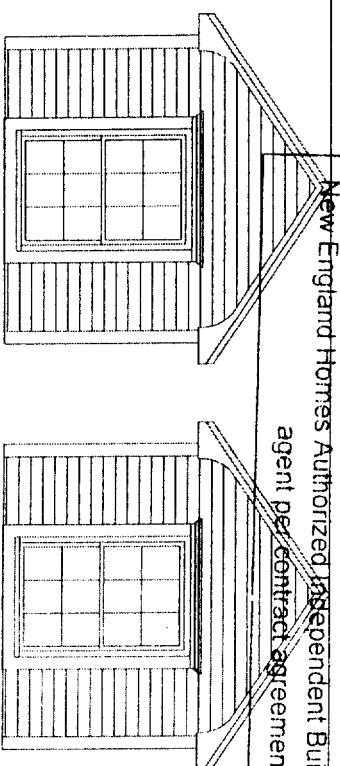
PRELIMINARY APPROVAL or REQUESTED CHANGES

- We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans
- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

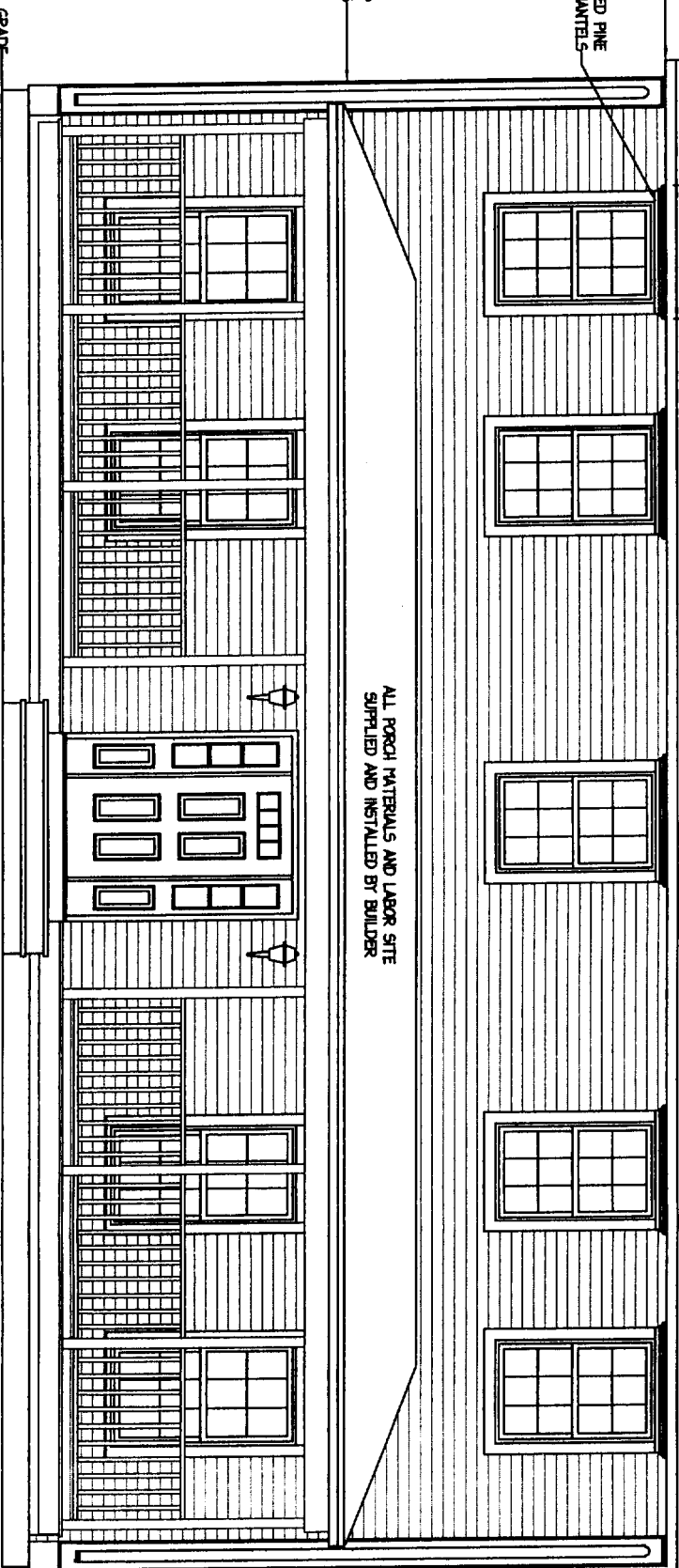
Signature: _____

Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.



ALL GARAGE MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER, NOT NEH



ALL ROUGH MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER

STEPS AND STOOP BY BUILDER



NOTE:

- 1) DELETE ALL SIDING
- 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
- 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
- 4) SHIP (2) FINISH PINE WINDOW MANTELS LOOSE

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish

ASTORIA COLONIAL

FRONT ELEVATION



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| | | | |
|-------|---------------|------|----------|
| DRAWN | ATH | DATE | 09/23/04 |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

9589



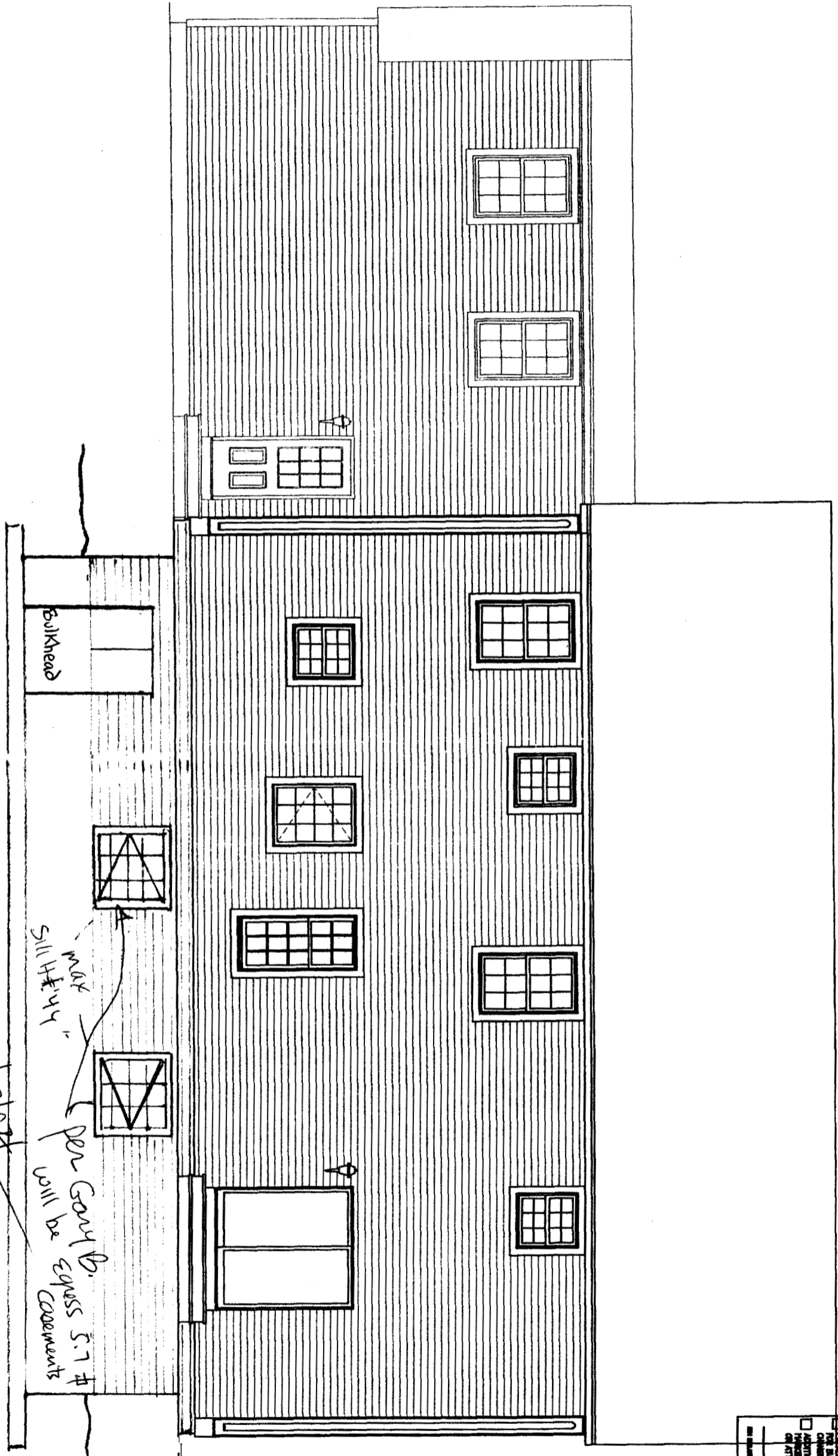
0101

FINAL APPROVAL OF DRAWINGS PER
 1/1/04

THE USER AGREES TO THE DRAWING FOR
 AS SHOWN AND TO BE USED FOR THE
 PROJECT ONLY. I HEREBY AUTHORIZE HIM
 TO MAKE PROJECT FOR BUILDING PRODUCTION
 ON THE BASIS OF THE DRAWINGS ON ATTACHED SHEETS.

I HEREBY AUTHORIZE HIM TO MAKE PROJECT
 ON THE BASIS OF THE DRAWINGS ON ATTACHED SHEETS
 AND TO MAKE PROJECT FOR BUILDING PRODUCTION
 ON THE BASIS OF THE DRAWINGS ON ATTACHED SHEETS
 AND TO MAKE PROJECT FOR BUILDING PRODUCTION
 ON THE BASIS OF THE DRAWINGS ON ATTACHED SHEETS.

DATE: _____
 BY: _____
 TITLE: _____



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to handle and finish.

ASTORIA
 COLONIAL

REAR ELEVATION



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| | | | |
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| DESIGN | ATH | DATE | 09/23/04 |
| REV. | A | DATE | 10/29/04 |
| SCALE | 3/16"=1'-0" | | |

Received
 11/22/04

9589 - 1002 ATH
 LOT 2 - DOWNSIDE

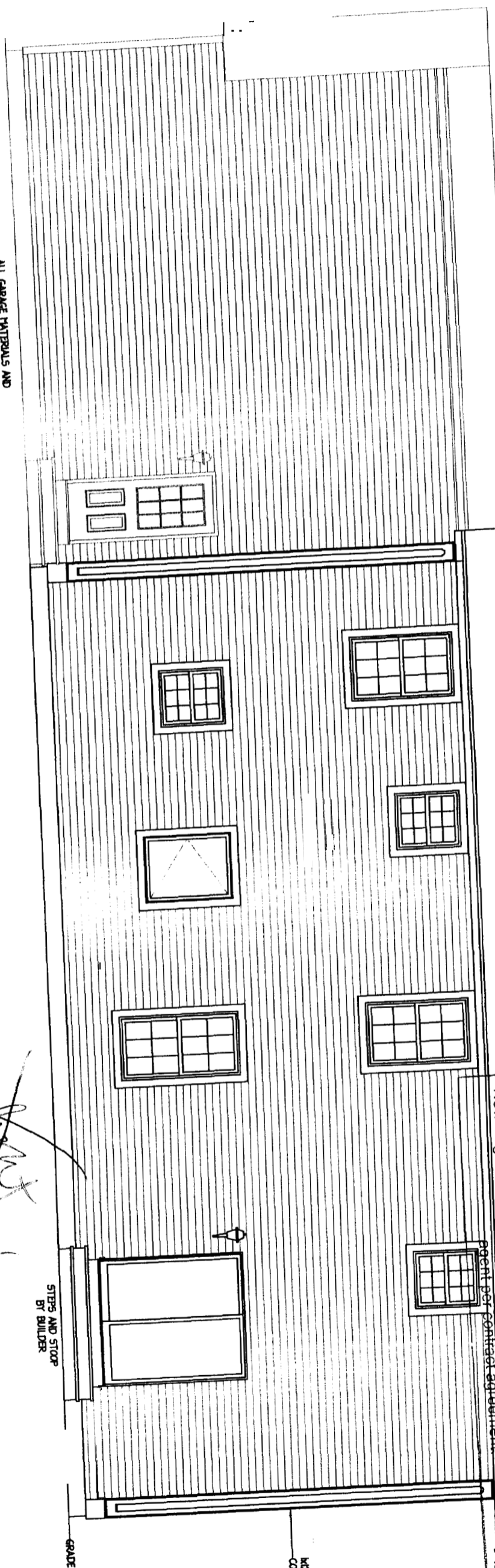
BLUE HORIZON DEVELOPMENT
 0102

PRELIMINARY APPROVAL or REQUESTED CHANGES

- We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans
- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duly authorized



- NOTE:
- 1) DELETE ALL SINKS
 - 2) ADD ICE AND SNOW BAN
 - 3) INSTALL ALUMINUM SKILL

: OVER ALL WINDOW AND PATIO DOOR FLANGES
GO UNDER PATIO DOOR

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

NO DAYLIGHT BASEMENT shown
11/12/04
see revised plans
shown daylight
base

ASTOR COLON L

REAR ELEVATION



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|-------|---------------|------|
| REV. | DATE | DATE |
| ATH | 09/23/04 | |
| SCALE | 3/16" = 1'-0" | |

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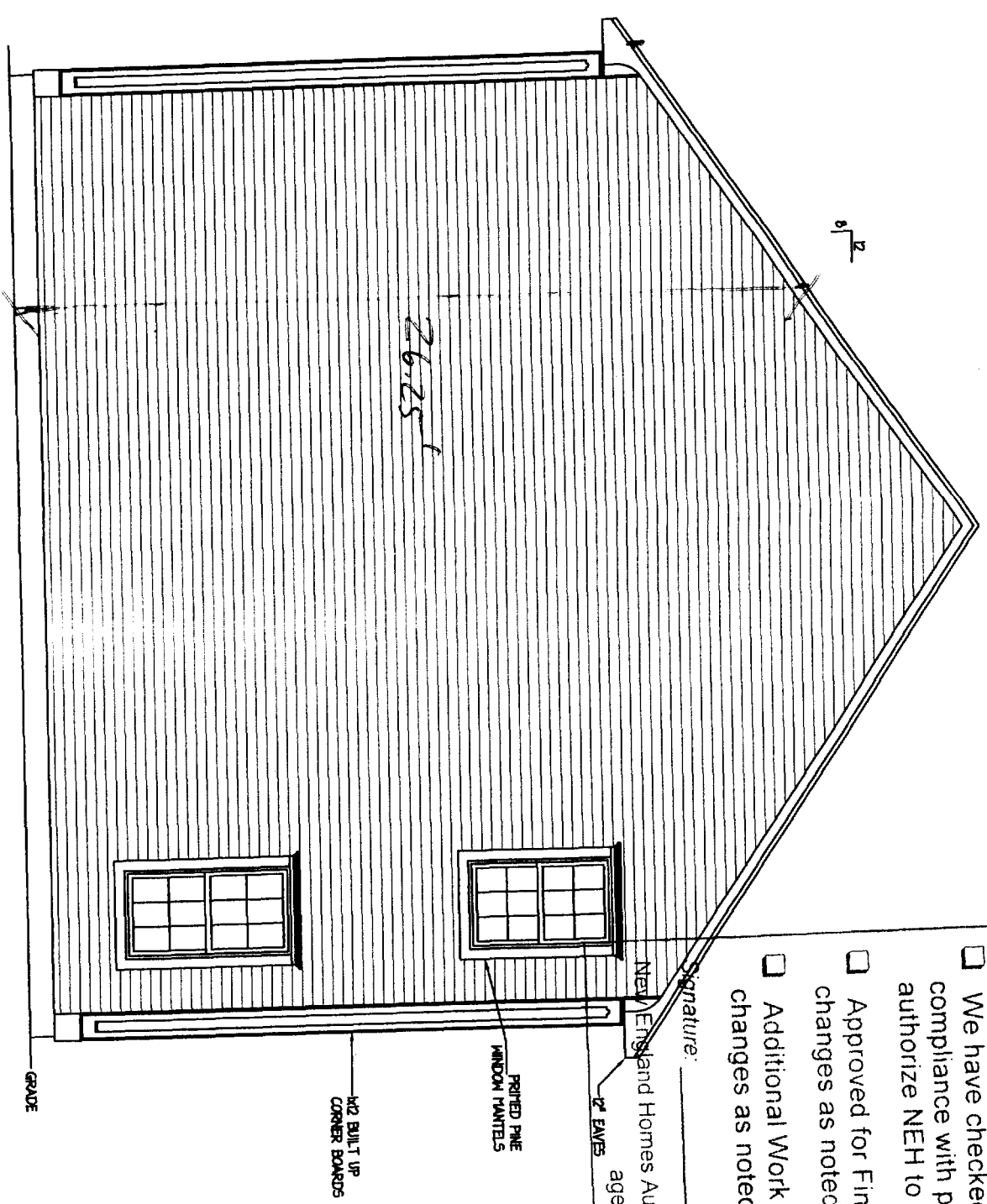
9589

010

PRELIMINARY APPROVAL or REQUESTED CHANGES

- We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans
- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____
 New England Homes Authorized Independent Builders duly authorized agent per contract agreement.



- NOTE:
- 1) DELETE ALL SIDING
 - 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANKES
 - 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

LEFT ELEVATION



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| | | | |
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| REV. | | DATE | |
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BLUE HORIZON DEVELOPMENT

9589

0103

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RI



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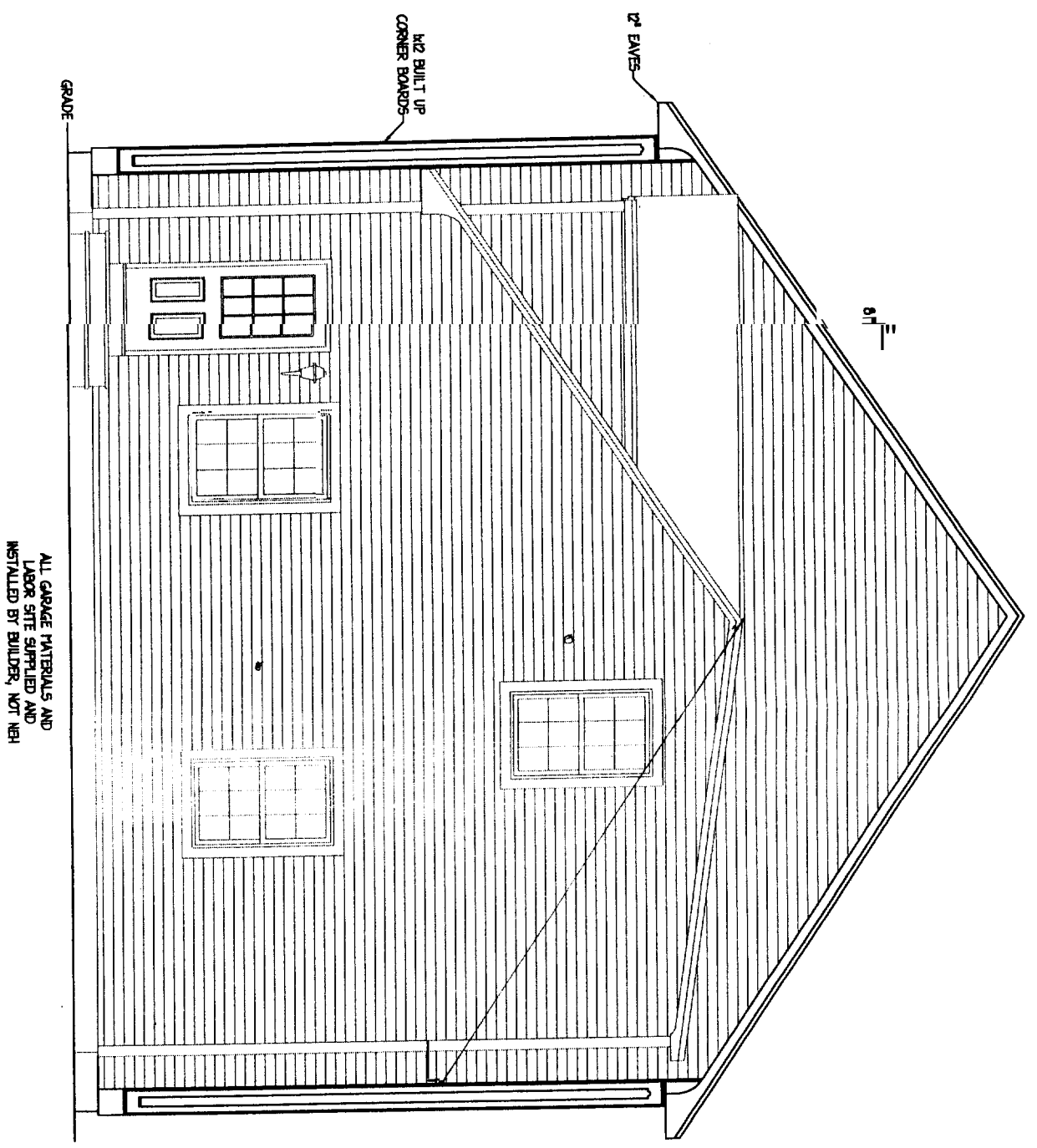
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| DRAWN | ATH | DATE | 09/23/04 |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

9589
BLUE HORIZON DEVELOPMENT

0104

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

- NOTE:
- 1) DELETE ALL SIDING
 - 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
 - 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR



ALL GARAGE MATERIALS AND
LABOR SITE SUPPLIED AND
INSTALLED BY BUILDER, NOT NEH

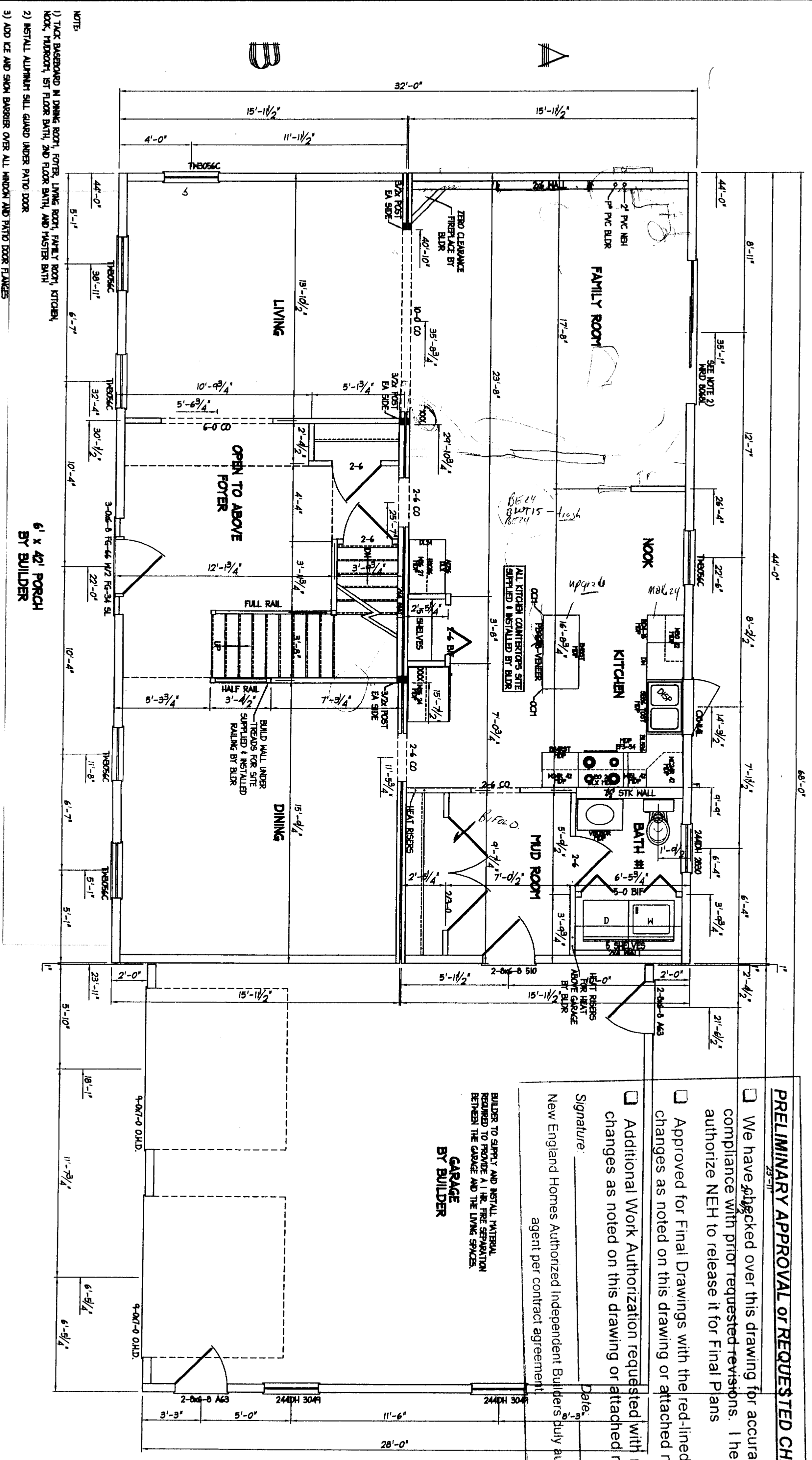
PRELIMINARY APPROVAL or REQUESTED CHANGES

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- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____

Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.



- NOTE:
- 1) TACK BASEBOARD IN DINING ROOM, Foyer, LIVING ROOM, FAMILY ROOM, KITCHEN, NOOK, HUBROOM, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH
 - 2) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
 - 3) ADD ICE AND SNOW BARRIER OVER ALL HANDED AND PATIO DOOR FLANGES
 - 4) SINK AND POCKET DOORS ARE PRIME TEXTURED SK PANEL STRUCTURAL CORE. BROAD DOORS ARE PRIME TEXTURED SK PANEL HOLLOW CORE
 - 5) CT CROWN MOLDING ON TOP OF ALL WALL CABINETS

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

1st FLOOR PLAN



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| | | | |
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BLUE HORIZON DEVELOPMENT

0201

PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

GARAGE BY BUILDER

BUILDER TO SUPPLY AND INSTALL MATERIAL REQUIRED TO PROVIDE A 1 HR. FIRE SEPARATION BETWEEN THE GARAGE AND THE LIVING SPACES.

PRELIMINARY APPROVAL or REQUESTED CHANGES

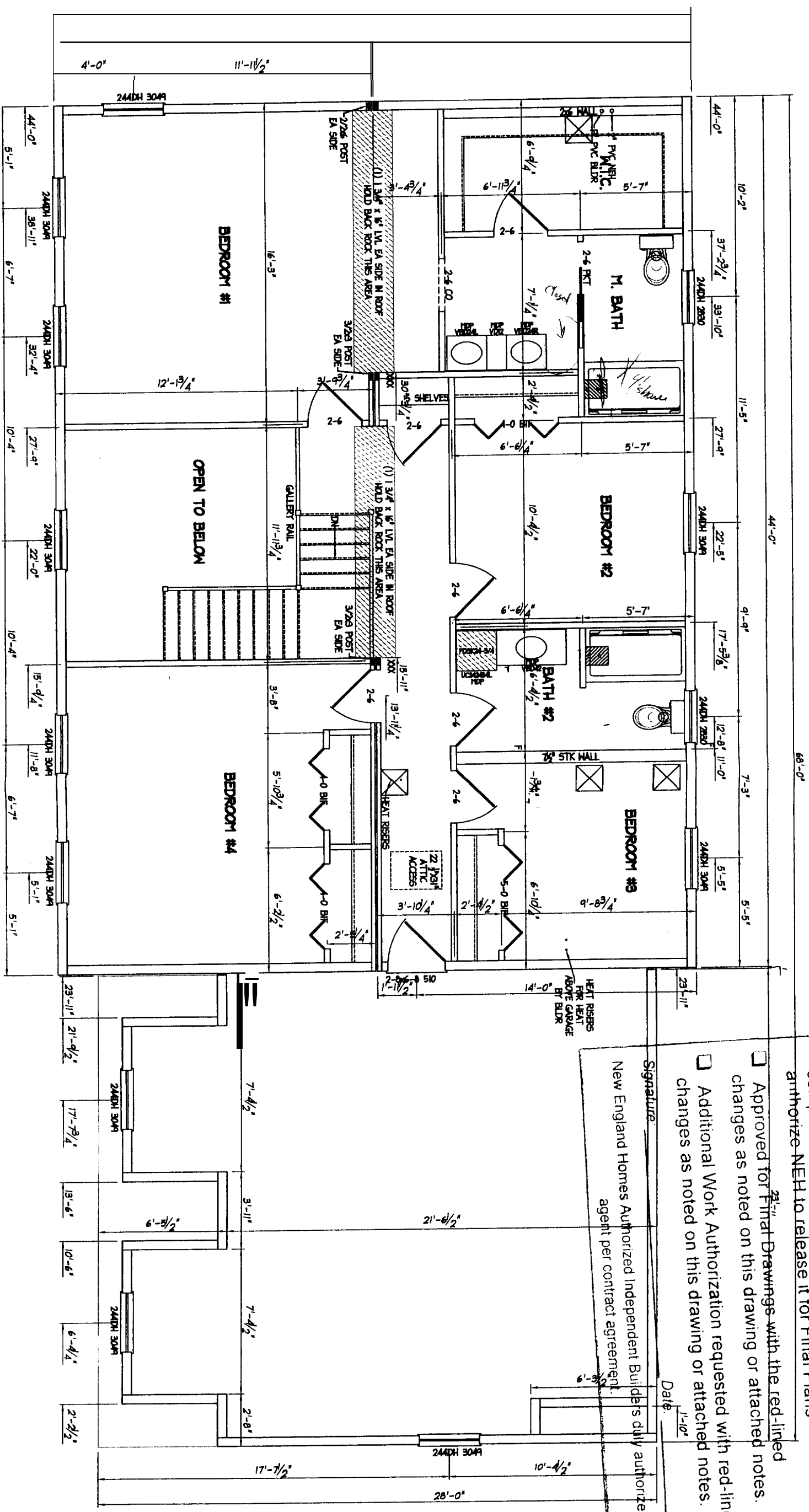
We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature _____ Date: 11-10-04

New England Homes Authorized Independent Builder's duly authorized agent per contract agreement.



NOTE:
 1) TACK BASEBOARD IN DINKS ROOM, FRONT, LIVING ROOM, FAMILY ROOM, KITCHEN, NOOK, HALLWAY, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH
 2) SINK AND POCKET DOORS ARE PAINTED TEXTURED SIX PANEL. STRUCTURAL CORE BIFOLD DOORS ARE PAINTED TEXTURED SIX PANEL. HOLLOW CORE

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish

ASTORIA COLONIAL

2ND FLOOR PLAN



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| | |
|-------|---------------|
| SCALE | 3/16" = 1'-0" |
| REV. | |
| DATE | 09/23/04 |
| DRAWN | ATH |

BLUE HORIZON DEVELOPMENT

9589

0202

PRELIMINARY APPROVAL or REQUESTED CHANGES

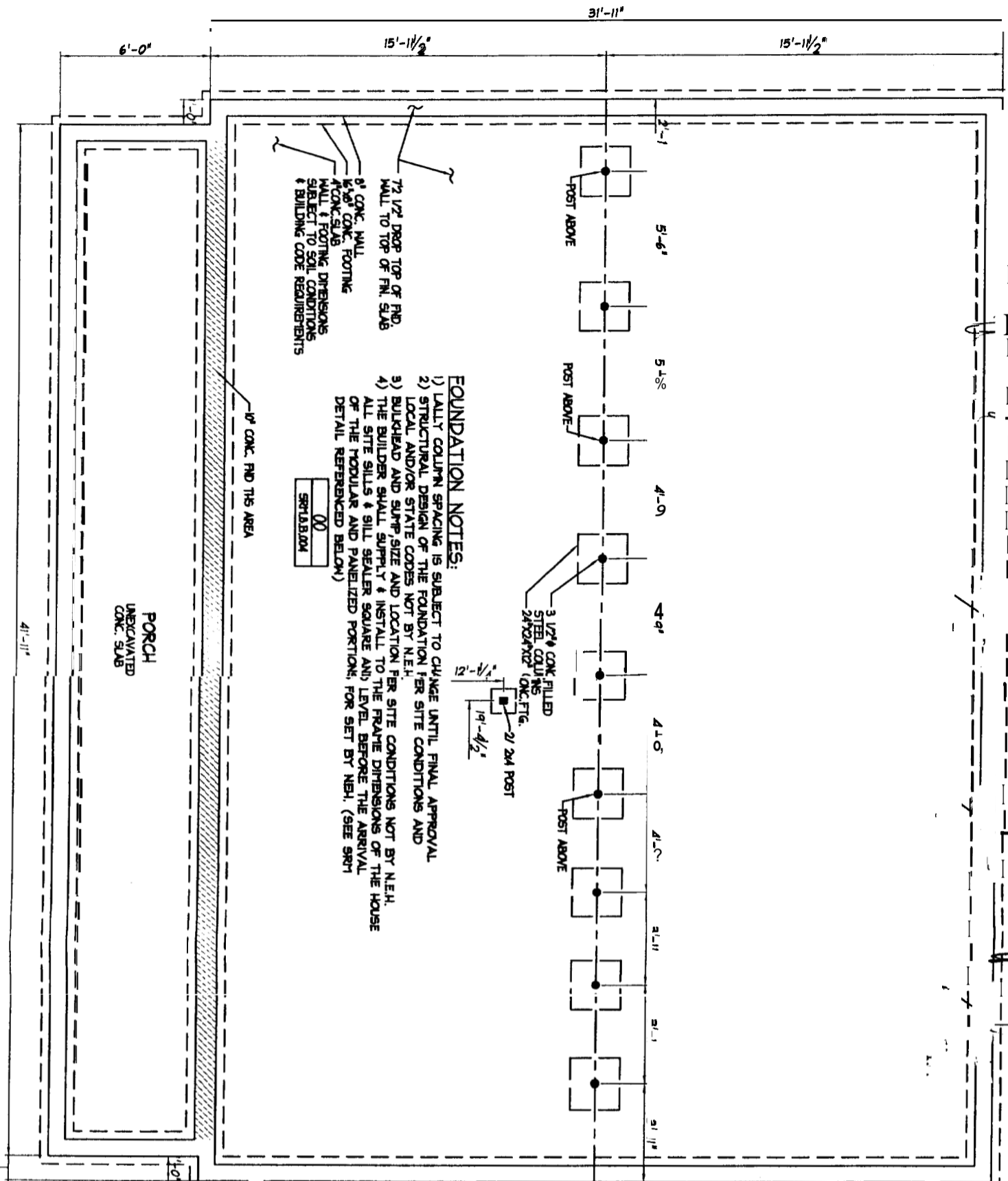
We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duty authorized agent per contract agreement.



- FOUNDATION NOTES:**
- 1) LALLY COLUMN SPACING IS SUBJECT TO CHANGE UNTIL FINAL APPROVAL
 - 2) STRUCTURAL DESIGN OF THE FOUNDATION PER SITE CONDITIONS AND LOCAL AND/OR STATE CODES NOT BY NEH.
 - 3) BULKHEAD AND SUMP SIZE AND LOCATION PER SITE CONDITIONS NOT BY NEH.
 - 4) THE BUILDER SHALL SUPPLY & INSTALL TO THE FRAME DIMENSIONS OF THE HOUSE ALL SITE SILLS & SILL SEALER SQUARE AND LEVEL BEFORE THE ARRIVAL OF THE MODULAR AND PANELIZED PORTION; FOR SET BY NEH. (SEE SRM DETAIL REFERENCED BELOW)

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

FOUNDATION PLAN



NEW ENGLAND HOMES INC.

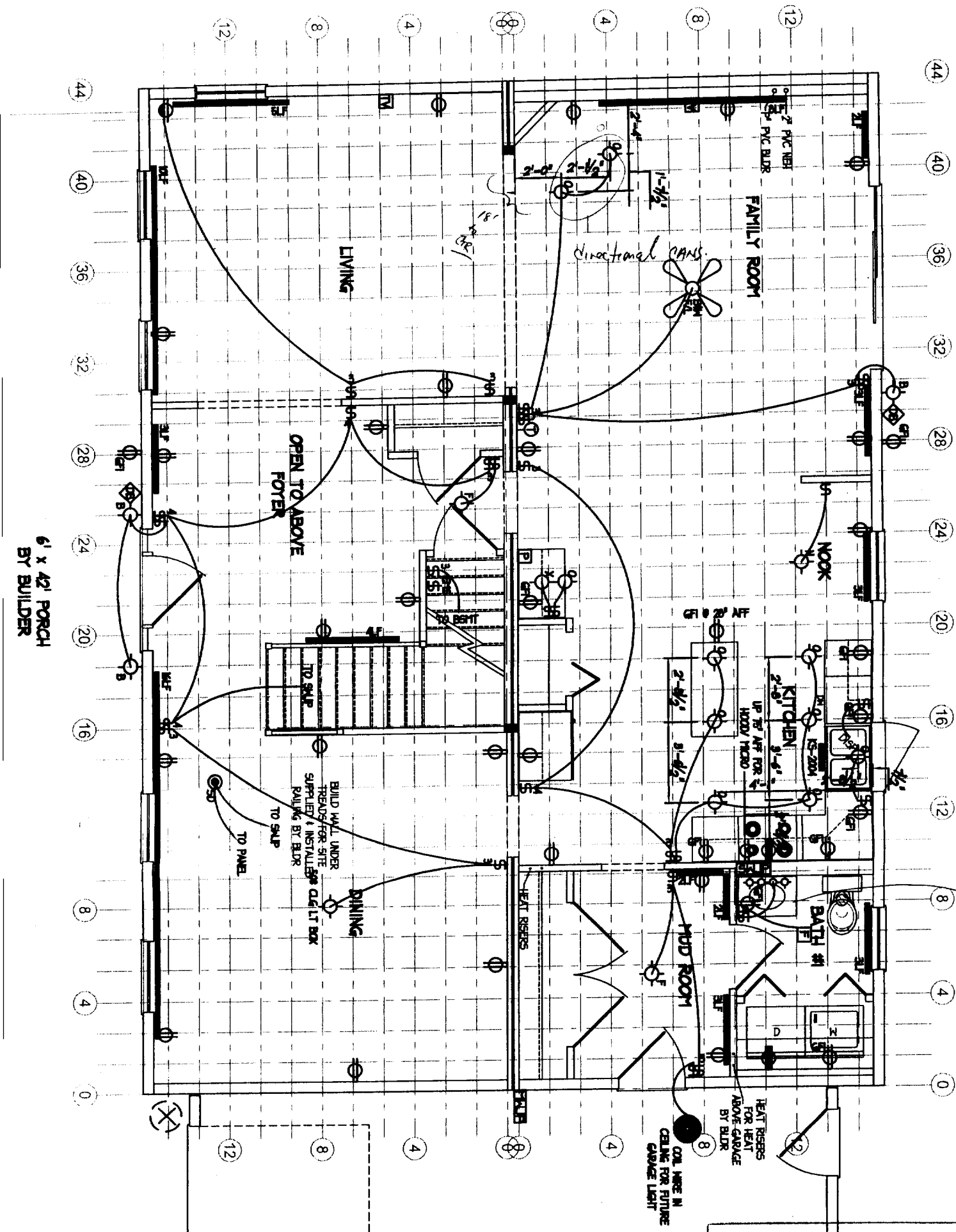
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| | | | |
|-------|---------------|------|----------|
| DRAWN | ATH | DATE | 09/23/04 |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

BLUE HORIZON DEVELOPMENT

9589

0301



PRELIMINARY APPROVAL or REQUESTED CHANGES

- We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans
- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builder's duly authorized agent per contract agreement.

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

1st ELECTRICAL



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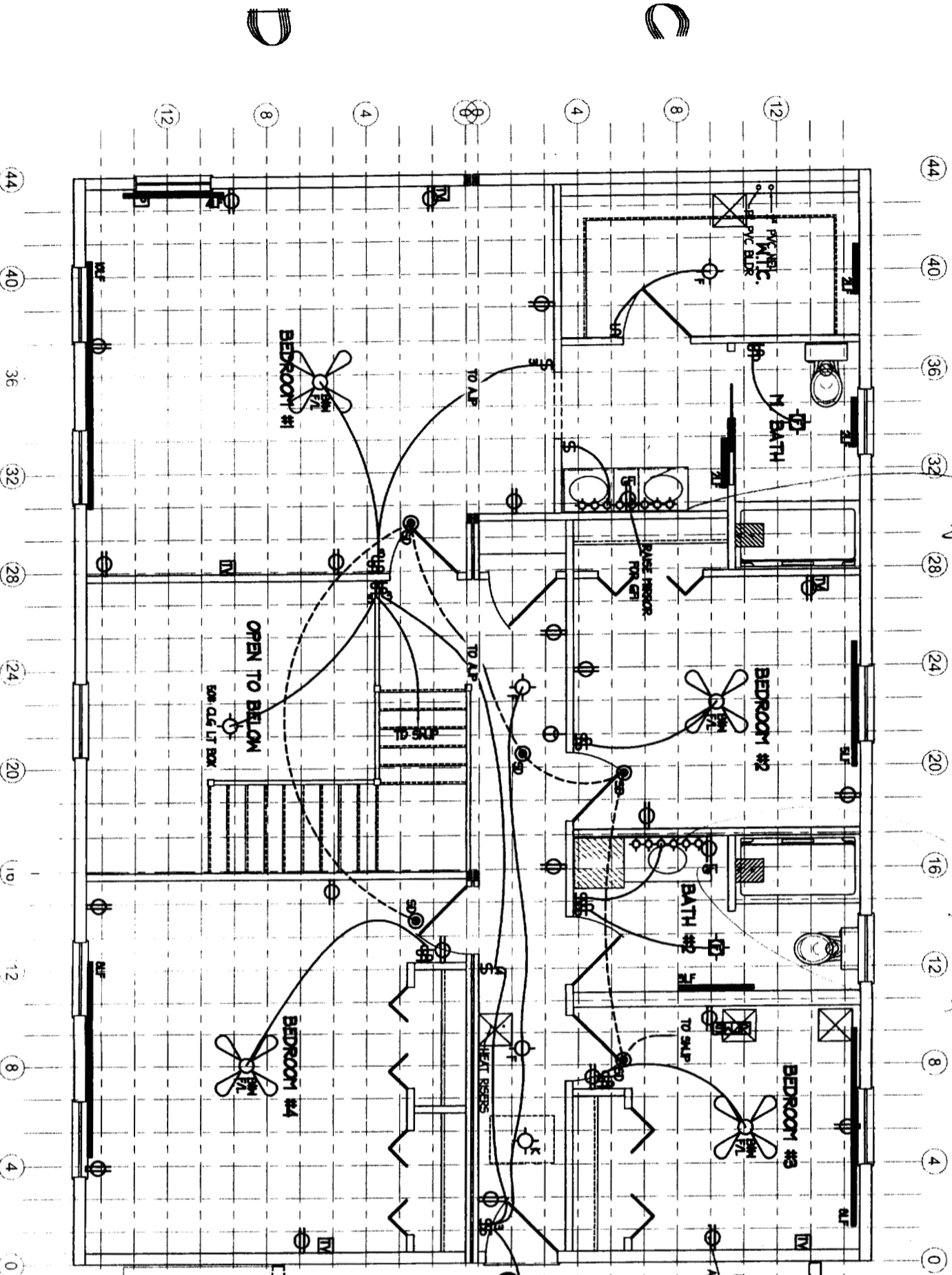
| | | | |
|-------|---------------|------|----------|
| DRAWN | ATH | DATE | 09/23/04 |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

9589 BLUE HORIZON DEVELOPMENT

0401

*delete fixture
2 wins - 21/4/06*

*delete basin
Jensen
- but
Sandstone*



PRELIMINARY APPROVAL or REQUESTED CHANGES

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Signature: _____
Date: _____
New England Homes Authorized Independent Builders duly authorized agent per contract agreement

NOTE: ALL MATERIAL SHIPPED LOOSE FOR THE SITE COMPLETION OF THE MANUFACTURED PRODUCT IS ULTIMATELY THE SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW TO INSTALL AND FINISH

**ASTORIA
COLONIAL**

2nd FL



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SCALE 3/16" = 1'-0"
REV. DATE
DRAWN ATH DATE 09/23/04
DATE

**959
BLUE HORIZON DEVELOPMENT**

0402

PRELIMINARY APPROVAL or REQUESTED CHANGES

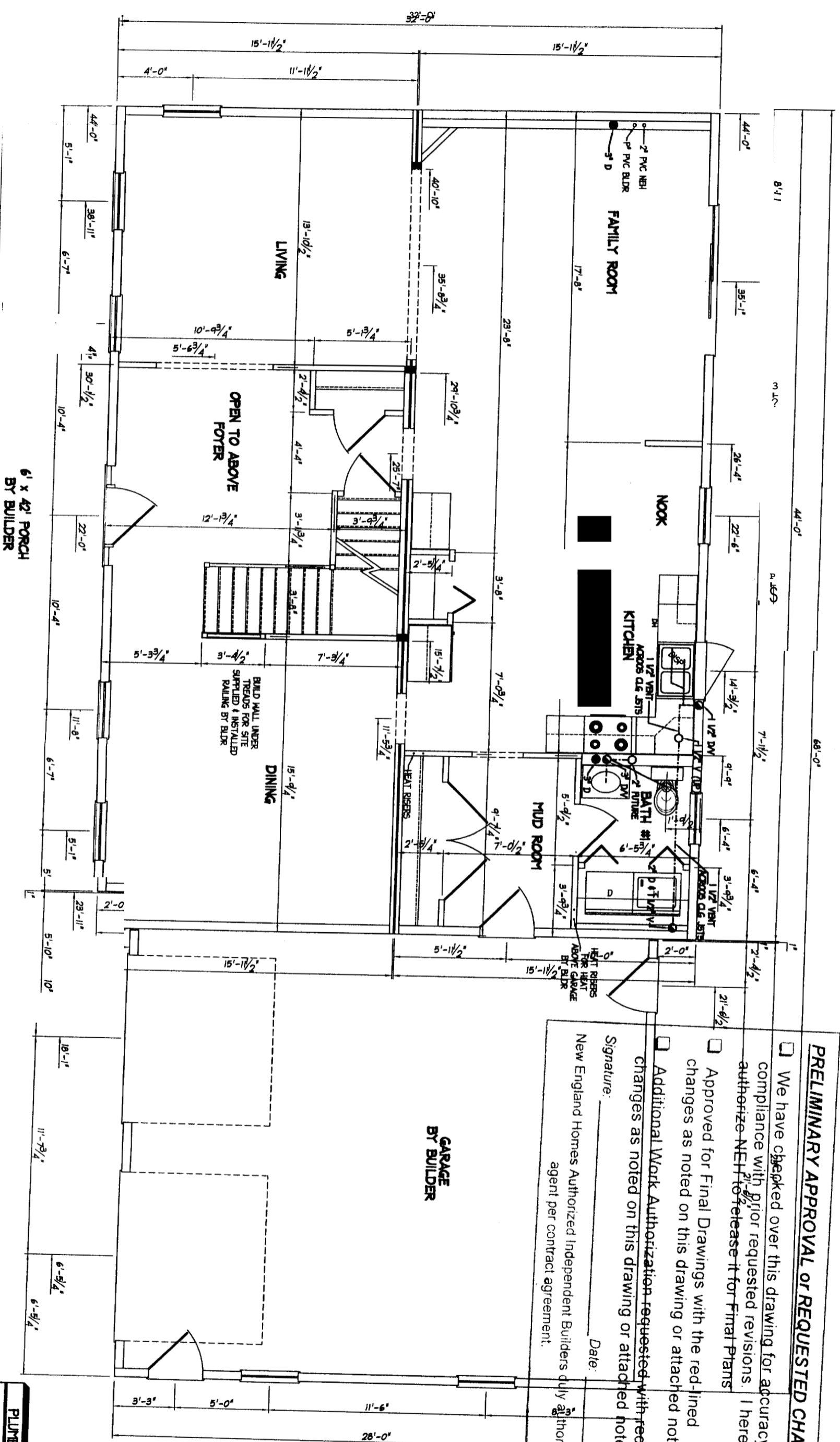
We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans.

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Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.



PLUMBING LEGEND

— = DRAIN LINE

- - - = VENT LINE

— = TRAP ARM

● = DRAIN ONLY

○ = VENT ONLY

○ = DRAIN/VENT COMBO

6' x 42' PORCH
BY BUILDER

ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

1st FLOOR PLUMBING

New England Homes

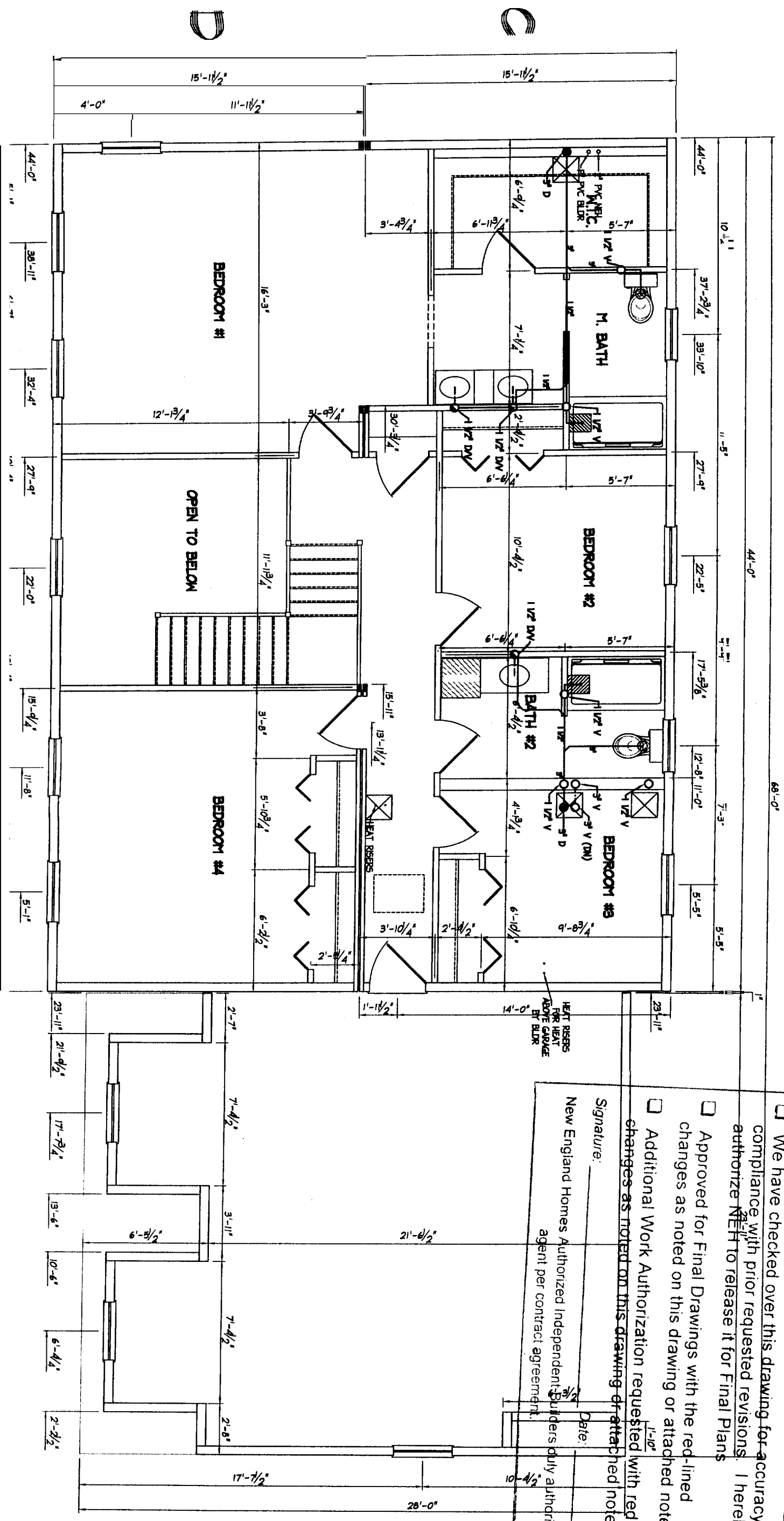
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DRAWN: ATH
DATE: 09/23/04
SCALE: 3/16" = 1'-0"

9589
BLUE HORIZON DEVELOPMENT

0411



PRELIMINARY APPROVAL or REQUESTED CHANGES

- We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans
- Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.
- Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____
 New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

PLUMBING LEGEND

- = DRAIN LINE
- - - = VENT LINE
- - - = TRAP ARM
- = DRAIN ONLY
- = VENT ONLY
- = DRAIN/VENT COMBO

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

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2ND FLOOR PLUMBING



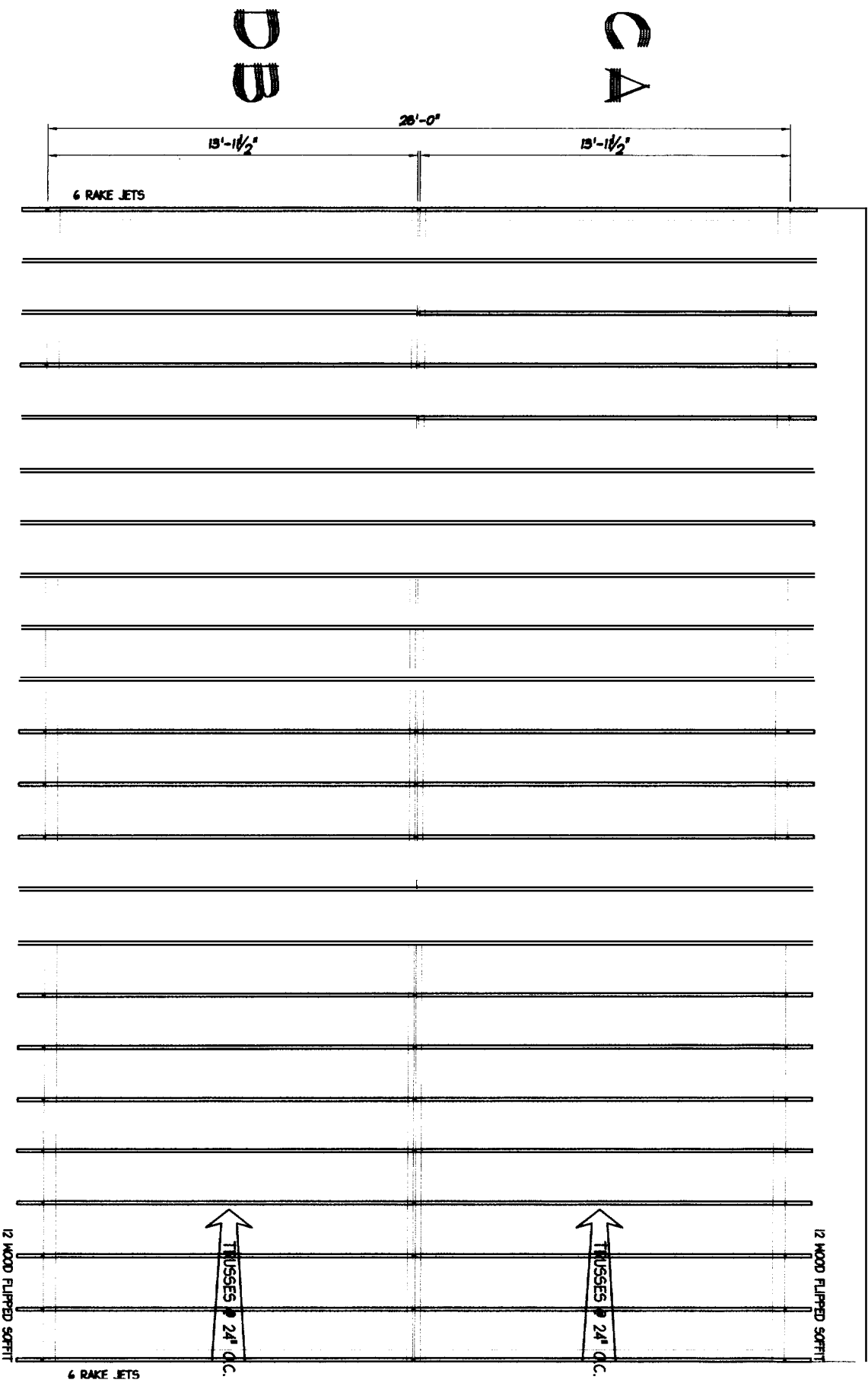
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| | |
|-------|---------------|
| SCALE | 3/16" = 1'-0" |
| REV. | |
| DRAWN | ATH |
| DATE | 09/23/04 |

9589 BLUE HORIZON DEVELOPMENT

0412



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

**ASTORIA
COLONIAL**

ROOF



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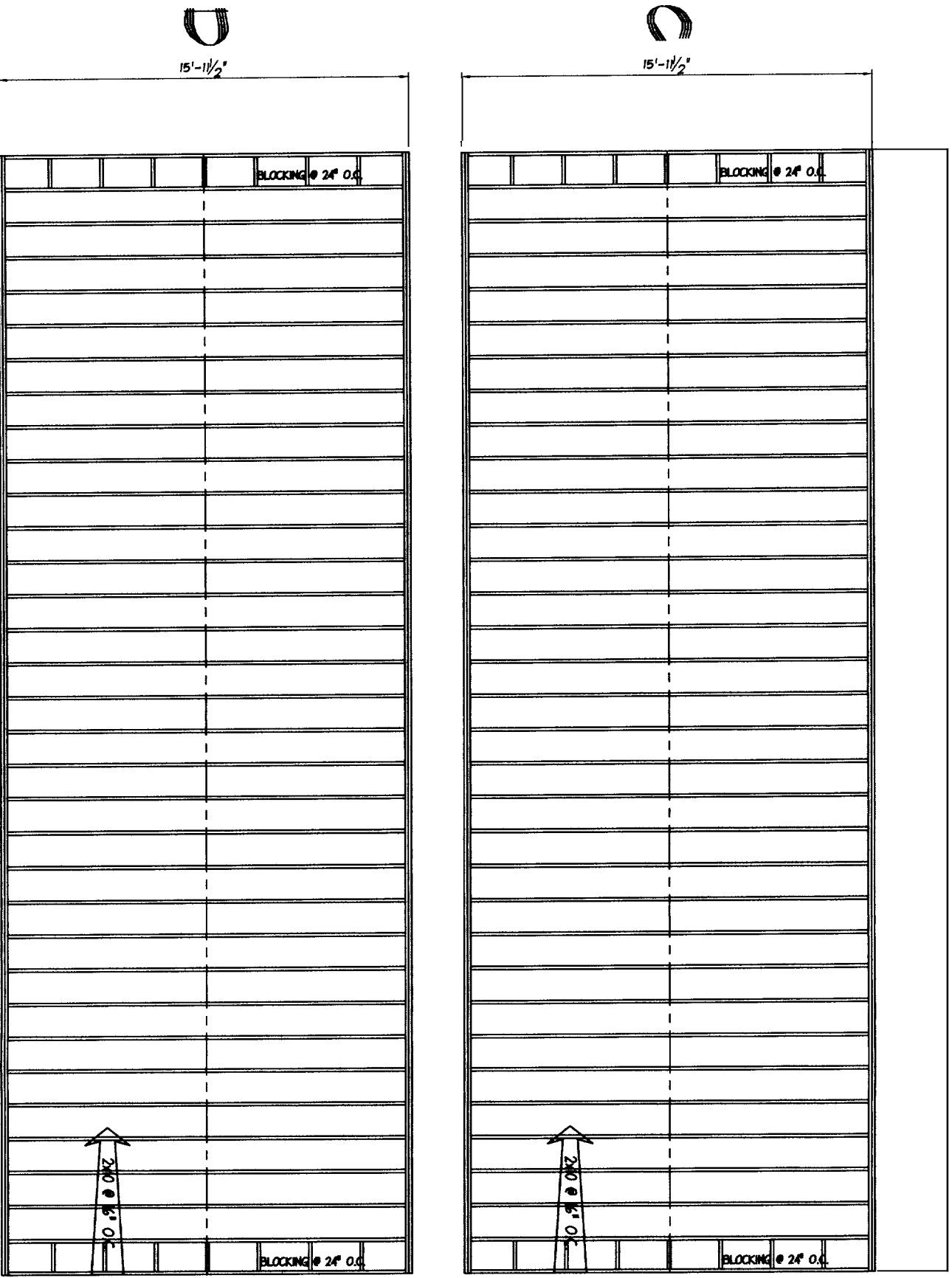
| | | | |
|-------|---------------|------|----------|
| DRAWN | ATH | DATE | 09/27/04 |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

BLUE HORIZON DEVELOPMENT

9585

0711

4'-0"



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA
COLONIAL

2ND FLOOR FRAMING



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| | | | |
|-------|---------------|------|--|
| DRAWN | ATH | DATE | |
| REV. | | DATE | |
| SCALE | 3/16" = 1'-0" | | |

BLUE HORIZON DEVELOPMENT

0703