

ISSUE

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1566	Issue Date: Nov 24 2004	CBL: 390 A008001
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Location of Construction: 100 Hope Ave	Owner Name: Donovan Kevin M &	Owner Address: 69 Caron St	Phone:
Business Name:	Contractor Name: Gary Boiland	Contractor Address: 71 Davis Ave Auburn	Phone 2075763956
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R2

Past Use: Vacant Land	Proposed Use: Single Family Home / 32'x44' SFH w/ 2 car garage, 12' x 16' rear deck & 6' x 42' deck front famous park	Permit Fee: \$1,896.00	Cost of Work: \$200,000.00	CEO District: 5
Proposed Project Description: 32'x44' SFH w/ 2 car garage, 12 x 16 rear deck & 6 x 42 deck front famous park		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB FRC-2003 Signature: JMB 11/23/04	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 10/14/2004	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan -H 2004-0215 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK with conditions Date: 11/8/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	revised plans 11/22/04		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator
DATE: March 23, 2005
RE: C. of O. for #100 Hope Avenue, PRP III lot 2
(CBL390A008) (ID#2004-0215)

After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading
2. Final Paving
3. Loam and Seed
4. Landscaping

I anticipate this work can be completed by **July 1, 2005**.
At this time, I recommend issuing a temporary **Certificate of Occupancy**.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\hope100a.doc

This data is provided by the Assessor's Office and is current as of March 7, 2005

New

S

CBL 390 A008001 CARD 1 of 1
 Owner Name 1 DONOVAN KEVIN M &
 Name 2 MARY K DONOVAN JTS
 Mailing Address 69 CARON ST
 City, State, Zip PORTLAND ME 04103

Property Address 100 HOPE AVE
 Property Type RESIDENTIAL
 Description 390-A-8
 HOPE AVE 98-102
 53516 SF
 LOT 2

View Complaint

View Inspection

View Application

App Type	Permit No	App Date	Iss Date	Status	PastUse	ProposedUse
Building Permit ✓	050073	01/20/2005	01/24/2005	Open	Single Family Home	Single Family Home / Install LP gas DV360RFP Majestic direct vent heater
Plumbing ✓	20058013	01/14/2005	01/14/2005	Open		
Building Permit ✓	050059	01/14/2005	01/20/2005	Open	Single family	Single family Install a Solaira furnace
Electrical Permit Residential ✓	20045402	12/28/2004	12/28/2004	Open		
Building Permit ✓	041566	10/14/2004	11/23/2004	Open	Vacant Land	Single Family Home / 32'x44' SFH w/ 2 car garage, 12' x 1' rear deck & 6' x 42' front farmer's porch

This data is provided by the Assessor's Office and is current as of **March 7, 2005**

CBL	390 A008001	CARD	1 of 1	Property Address	100 HOPE AVE
Owner Name 1	DONOVAN KEVIN M &			Property Type	RESIDENTIAL
Name 2	MARY K DONOVAN JTS			Description	390-A-8 HOPE AVE 98-102 53516 SF LOT 2
Mailing Address	69 CARON ST				
City, State, Zip	PORTLAND	ME	04103		

New	S
View Complaint	
View Inspection	
View Application	

Date/Time	Staff/Contact	Street	Parcel ID	Appl ID	Appl Type	Type
03/17/05	Kevin Carroll	100 HOPE AVE	390 A008001	41566	Prmt	Certificate of Occupancy/Fin
6:00 AM			576-3956 Gary would like morning			
01/05/05	Kevin Carroll	100 HOPE AVE	390 A008001	41566	Prmt	Close-in/Elec./Plmb./Frami
1:00 PM			350-0391 Steve would like afternoon			
2/20/04	Jonathan Reed	100 HOPE AVE	390 A008001	41566	Prmt	Inspection
			Backfill inspection			
2/07/04	Jonathan Reed	100 HOPE AVE	390 A008001	41566	Prmt	Footings/Setbacks
			Call Gary @ 576-3956 won't be ready till 2:30			

12/1/04 Filing inspection scheduled for today. Called contractors regarding setbacks. Plans require surveyor to locate all corners of Building. Inspection cancelled. Contractor will call Titcomb Assoc. today for assistance.

12/20/05 - Letter from Titcomb Assoc. - Record shows drop & bed backfill done

1/6/05 Check on P-E-F - all on left except 2 LALYS on left in cellar were eliminated - needs amendments all

1/10/05 Amendment denied - the 2 LALYS will have to be installed & properly anchored. needs plans & Neoter permits (see attached "Permits Solatide")

3/17/05 ~~Inspection by Peter M. Ed. Sidney not finished~~

- ~~1) Rear stairs new handrail~~
- ~~2) Stairs door to have - Riser 8 1/2" x 8"~~
- ~~3) Cellar Stairs Handrail needs Return at Bottom~~
- ~~4) 2 LALYS on left in cellar need foot anchors~~
- ~~5) Wall to have top into frame 8 1/2"~~
- ~~6) Main Bar window next to Stairs door to be fixed~~
- ~~7) Main Bar window next to Stairs door to be fixed 20"~~
- ~~8) Partition wall bet. Home & Gar. as well as Anchors to floor & Roof~~
- ~~9) Rear Garage door to be secured with Rebar~~

OK per T. Munn
3/18/05
ent. 308

3/25/05 - all the above work has been finished OK for COFO. Closeout CBL # 390-A-8 permit # 04-1566

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 041566

This is to certify that Donovan Kevin M & /Gary B. and
has permission to 32'x44' SFH w/ 2 car garage, 16' x 16' rear deck & 42' from former's porch
AT 100 Hope Ave (lot #2) 390 A008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Janie Bourke 11/23/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

will be ready @ 2:30

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1566	Date Applied For: 10/14/2004	CBL: 390 A008001
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Location of Construction: 100 Hope Ave (lot #2)	Owner Name: Donovan Kevin M &	Owner Address: 69 Caron St	Phone:
Business Name:	Contractor Name: Gary Boiland	Contractor Address: 71 Davis Ave Auburn	Phone (207) 576-3956
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home / 32'x44' SFH w/ 2 car garage, 12' x 16' rear deck & 6' x 42' front farmer's porch	Proposed Project Description: 32'x44' SFH w/ 2 car garage, 12' x 16' rear deck & 6' x 42' front farmer's porch
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/08/2004

Note: 11/12/04 recieved revised plans showing a rear day light basement - plans only submitted to Jay in planning - Ok to Issue:
just received plans from Jay

- 1) A DAYLIGHT BASEMENT is being shown in the rear only. A DAYLIGHT BASEMENT in the rear only is being approved per the submitted plans received by this office on 11/12/04
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. The proposed submittal shows a rear 12' x 16' deck and a 6' x 42' front farmer's porch. Both such structures are being approved.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) All driveways shall be paved within six (6) months of the receipt of a temporary certificate of occupancy and shall be a minimum of 12' wide. Individual homeowners shall be responsible for paving of driveway.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 11/23/2004

Note: 11/15/04 spoke w/Greg B. For additional plans, he will submit
11/17 received fax
11/22 spoke w/Gary B. For deck plans, verify egress windows in new daylight basement, garage details, he will fax plans
11/23 received deck plans, ok to issue

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans & new submissions.
- 2) A statement of third party inspection must be submitted to this office prior to issuance of the Certificate of Occupancy. A photo of the sticker stating third party inspection placed in the structure must be submitted to this office as well.
- 3) Separate permits are required for any electrical, plumbing, or heating.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 11/10/2004

Note: Ok to Issue:

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Your new street address HAS NOT BEEN ASSIGNED TO DATE, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.



CITY OF PORTLAND, MAINE
Department of Building Inspections

10-19 2009

Received from Blue Horizon Dev. Corp.

Location of Work 100 Hope Ave

Cost of Construction \$ _____ 1821 building
300 Site Plan

Permit Fee \$ 2123 over 2500

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 390 A 8

Check #: 543 Total Collected \$ 2123

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



Titcomb Associates

Land Surveying
Land Planning

133 Gray Road
Falmouth, Maine 04105
(207) 797-9199
Fax (207) 878-3142
www.titcombsurvey.com

January 4, 2005

Kevin Carroll
Code Enforcement Officer
City of Portland
389 Congress Street
Portland, ME 04101

VIA FAX: (207) 874-8716

re: **Presumpscot River Place III**

Dear Mr. Carroll,

This letter will confirm that Titcomb Associates has staked the location for the building on Lot 2 at the Presumpscot River Place III Subdivision in accordance with the locations shown on the development plans prepared by Gorrill-Palmer Consulting Engineers.

The house location is in compliance with the City of Portland Zoning Ordinance and Setback Requirements. The building location is based on established property pins.

Please call if you have any further questions.

Sincerely,

Rex J. Croteau, PLS
Titcomb Associates

cc: Gary Boilard. [via fax: (207)786-4799]

Manufactured Home Lot # 2 100 Hope Ave
 # 04-1566 CBL: 390-A-008

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1)), Section 403.1.2)	16" x 8" Full / Freshwell		OK
Foundation Drainage Dampproofing (Section 406)	Pipe / coating 3 Fabric	11/22 New Daylight	Fabric Per Greg B. 11/15/04 OK
Ventilation (Section 409.1) Crawls Space ONLY	?		2 OK
AnchorBolts/Straps (Section 403.1.4)	Straps		per man. Specs OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))			
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	4-2x12		OK
Sill/Band Joist Type & Dimesions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x6		OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))			

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))		
Roof Rafter: Pitch, Span, Spacing & Dimension (Table 802.3.2(7))		
Sheathing; Floor, Wall and roof (Table 503.2.1(1))		
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	<i>Need Construction Details.</i>	<i>OK</i>
Fire separation		
Fire rating of doors to living space		
Door Sill elevation (407.5 BOCA)		
Egress Windows (Section 310)		
Roof Covering (Chapter 9)		
Safety Glazing (Section 308)		
Attic Access (BOCA 1211.1)	?	
Draft Stopping around chimney		<i>N/A</i>

Header Schedule		
Type of Heating System	ZOL Fth	
Stairs	Direct Vent OK	
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section 314)		
Width		
Headroom		
Guardrails and Handrails (Section 315)		
Smoke Detectors		
Location and type/Interconnected		
Plan Reviewer Signature		

See Chimney Summary Checklist

Farmers porch OK 11/17/09

Rear Deck OK 11/23/09

GARY BOILARD
PO BOX 313
SABATTUS, ME. 04280
TEL: 207-375-0979
FAX: 207-375-0984

FACSIMILE TRANSMITTAL SHEET

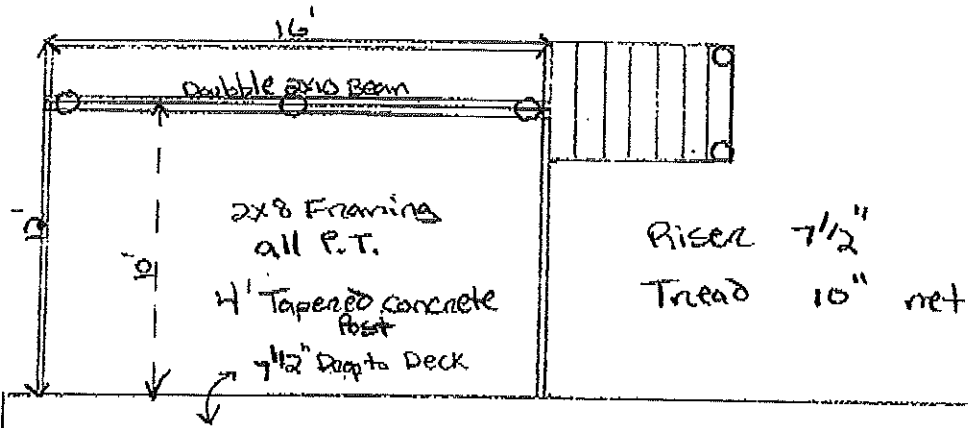
TO: <u>Jean Bourke</u>	FROM: <u>Gary Boilard</u>
COMPANY: <u>City of Portland</u>	DATE: <u>11/22/04</u>
FAX NUMBER: <u>874-8716</u>	TOTAL NO. OF PAGES INCLUDING COVER: <u>2</u>
PHONE NUMBER: <u>874-8715</u>	
RE: <u>Blue Horizon Development Corp</u>	
<input type="checkbox"/> URGENT <input checked="" type="checkbox"/> FOR REVIEW <input type="checkbox"/> PLEASE COMMENT <input type="checkbox"/> PLEASE REPLY	

NOTES/COMMENTS:

Lots # 2 + 3 Hope Ave. Portland
cross section for permits
call me if u need more!
Garys cell - 5763956

★ Deck framing Also!! ★

Rails per design on
Farmers porch
Also provide
graspable
Handrail



House

GARY BOILARD
PO BOX 313
SABATTUS, ME. 04280
TEL: 207-375-0979
FAX: 207-375-0984

FACSIMILE TRANSMITTAL SHEET

TO: Jean Bourke FROM: Gary Boiland
 COMPANY: City of portland DATE: 11/17/04
 FAX NUMBER: 874-8716 TOTAL NO. OF PAGES INCLUDING COVER: 2
 PHONE NUMBER: 874-8715
 RE: Blue Horizon Development Corp

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

NOTES/COMMENTS:

Lots # 2 + 3 Hope Ave. Portland
 cross section for permits
 call me if u need more!
 Gary Cell - 5763956

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>100 Hope Ave</u>			
Total Square Footage of Proposed Structure <u>3412 Living Space / Garage 612</u>		Square Footage of Lot <u>26,791</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>390</u> Block# <u>A</u> Lot# <u>008</u>		Owner: <u>Kevin + Mary Donovan</u>	Telephone: <u>576-3956</u>
Lessee/Buyer's Name (If Applicable) <u>Kevin + Mary Donovan</u>		Applicant name, address & telephone: <u>Gary Boiland</u> <u>71 Davis Ave.</u> <u>Arbun, me. 04210</u>	Cost Of Work: \$ <u>200,000</u> ⁰⁰ Fee: \$ <u>2123</u> ⁰⁰
Current use: <u>Vacant land</u>		<u>1821</u> <u>75</u> of <u>000</u> <u>300-</u>	
If the location is currently vacant, what was prior use: <u>Vacant land</u>			
Approximately how long has it been vacant: <u>Forever</u>			
Proposed use: <u>Modular Single Family</u>		<u>32x44</u>	
Project description: <u>modular construction - 2 car garage - 12x16 Beer deck - 6x42 Farmers Panck</u>			
Contractor's name, address & telephone: <u>→ Gary Boiland 576-3956</u>			
Who should we contact when the permit is ready: <u>Gary Boiland 576-3956</u>			
Mailing address: <u>71 Davis Ave</u> <u>Arbun, me. 04210</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. OCT 14 2004 PHONE: <u>576-3956</u>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10/11/04</u>
--	-----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Gary Backlund - Contractor

Date: 11/8/04

Address: 100 Hope Ave (lot #2)

C-B-L: 390-A-008

CHECK-LIST AGAINST ZONING ORDINANCE

04-1566

Date - New Dev.

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - to construct single family dwelling with attached 2 car garage

Sewage Disposal - City

with 12' x 16' rear deck and 6' x 42' front farmer's porch

Lot Street Frontage - 50' min - 97' scaled

Front Yard - 25' min - 44' to closest

Rear Yard - 25' min - 55' + shown

confirm in field →

Side Yard - 14' min req - 14' exactly both sides

Projections - rear 12' x 16' deck - front 6' x 42' farmer's porch

Width of Lot - 90' min - 96' scaled

Height - 35' max - 26.25' scaled

Lot Area - 10,000^{sq ft} - 53,516^{sq ft}

Lot Coverage/ Impervious Surface - 20% MAX or 10,703.2^{sq ft} MAX

Area per Family - 10,000^{sq ft}

Off-street Parking - 2 spaces req - 2 car garage shown

Loading Bays - N/A

Site Plan - mm of / mm of # 2004-0215

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

32' x 44' =	1408
24' x 28' =	672
12' x 16' =	192
6' x 42' =	252

2524^{sq ft}

No Daylight basement shown
11/12/04 received revised plans showing a Daylight basement in the rear only

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0215

Application I. D. Number

10/14/2004

Application Date

Donovan Kevin M &

Applicant

69 Caron St, Portland, ME 04103

Applicant's Mailing Address

Project Name/Description

100 - 100 Hope Ave, Portland, Maine

Address of Proposed Site

390 A008001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

32 x 44

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 10/18/2004

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Doc# 66535 Bk#21687 Pg# 36

STATUTORY WARRANTY DEED

GOLDENEYE CORP., a Maine corporation with a principal place of business in Westbrook, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

KEVIN M. DONOVAN and MARY K. DONOVAN, whose mailing address is 69 Caron Street, Portland, Maine 04103, as JOINT TENANTS

A certain lot or parcel of land situated on the northeasterly sideline of Hope Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 2 shown on plan entitled "Presumpscot River Place Phase III - Subdivision Plan Portland, Maine" dated December 4, 2001, as revised, prepared by Titcomb Associates, and recorded at the Cumberland County Registry of Deeds in Plan Book 202, Page 650, as revised on April 28, 2003 and recorded at said Registry of Deeds in Plan Book 204, Page 373 (hereinafter sometimes referred to as "Plan"), together with a right-of-way in common with others over "Hope Avenue" as shown on the plan.

Being a portion of the premises conveyed to the Grantor herein by deed of Robert L. Adam and Lloyd B. Wolf dated October 17, 2002 and recorded at the Cumberland County Registry of Deeds in Book 18262, Page 159. Reference is further made to a confirmation deed from Lloyd B. Wolf to Grantor herein dated November 5, 2002 and recorded at said Registry of Deeds in Book 18336, Page 57.

EXCEPTING AND RESERVING to the Grantor, its successor and assigns, all right, title and interest in and to the fee interest in "Hope Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031(4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

This conveyance is subject to and with the benefit of the following:

1. Notes 1 through 19, restrictions, conditions, easements and covenants as may be set forth on said Plan recorded in Plan Book 202, Page 650 and Plan Book 204, Page 373.

MAINE REAL ESTATE TAX PAID

NEW ENGLAND HOMES INC.
 CORPORATE OFFICES PHONE:(603)436-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 MANUFACTURING PLANT PHONE:(603)436-8830
 270 OCEAN ROAD GREENLAND N.H. 03840
 700 E. BEARDSLEY AVE. ELKHART, INDIANA 46514
 THIRD PARTY INSPECTION AGENCY APPROVED
 BY THE STATE OF MAINE

3. INDEX OF DRAWINGS
 ALL APPROVED DRAWINGS AND DOCUMENTATION USED
 TO DEFINE THIS STRUCTURE AND THE SYSTEMS THEREIN,
 ARE ON FILE AT THE MAINE STATE MANUFACTURED
 HOUSING BOARD, TRA & ASSOCIATES (THE THIRD PARTY
 INSPECTION AGENCY) AND NEW ENGLAND HOMES, INC.
 ATTACHED ARE PERTINENT DRAWINGS FOR THIS MODEL.

GENERAL NOTES
 1. M.E.H. (NEW ENGLAND HOMES INC.) LIMITS ITS
 SITE RESPONSIBILITIES TO SETTING AND ATTACH-
 ING MODULAR UNITS TO BUILDER'S PROPERLY
 DESIGNED AND PREPARED FOUNDATION AND ANCHORAGE
 SEE THE 'NEW SITE REFERENCE MANUAL' FOR A
 COMPLETE DELINEATION OF SITE RESPONSIBILITIES
 FOR THE BUILDER AND THE COMPANY.
 2. ALL NOTES CONTAINING THE TERM 'BY BUILDER' ARE
 DEFINING OBLIGATIONS WHETHER FOR MATERIAL WHICH
 IS NOT SUPPLIED OR INSTALLED BY THE COMPANY,
 OR FOR CONSTRUCTION METHODOLOGY/ACCEPTABLE BUILD-
 ING PRACTICE FOR WHICH THE COMPANY ACCEPTS NO RE-
 SONSIBILITY AND SHOULD BE REVIEWED CAREFULLY BY
 THE BUILDER AND THE LOCAL BUILDING INSPECTOR. ALL
 NOTES CONTAINING THE TERM 'BY BUILDER' ALSO DEFINE
 AREAS OF RESPONSIBILITY WHICH ARE NOT SANCTIONED BY
 THE THIRD PARTY INSPECTION AGENCY OR THE STATE OF
 MAINE'S CERTIFICATION OF MANUFACTURED HOUSING FOR
 THIS PROJECT.

4. BUILDING INFORMATION
 a) PROJECT: ONE AND TWO FAMILY DWELLINGS
 PROPOSED LOCATION ADDRESS:
 THE STATE OF MAINE
 b) R4 USE GROUP (SECT.310.6, BOCA 1993)
 c) BB CONSTRUCTION CLASSIFICATION (SECT.
 606.1, BOCA 1993)
 d) AREA OF BUILDING PER FLOOR MAX. 4800 S.F.
 e) AMOUNT OF ENCLOSED SPACE MAX. 35000 C.F.
 f) HEIGHT OF BUILDING ABOVE GRADE (TABLE 503)

1. MAX. 2 STORIES
 2. MAX. 35 FEET
 b) DESIGN OCCUPANCY LOAD PER FLOOR: MAX.24
 h) SPECIAL SYSTEMS BY TYPE
 1. TYPE OF FIRE PROTECTION SYSTEM:
 1993 BOCA WITH MAINE AMENDMENTS
 2. TYPE OF FIRE SUPPRESSION SYSTEM
 N/A.
 3. OTHER N/A.
 1) DESIGN LIVE LOADS
 1. WIND 90 MPH 90 MPH
 2. ROOF 60 psf 65 psf
 3. FLOORS 40 psf 40 psf
 4. FLOORS/(SLEEPING AREAS) 30 psf 30 psf
 5. CORRIDOR N/A N/A
 6. STAIRS 100 psf 100 psf
 7. BALCONIES 60 psf 60 psf

j) DESIGN OF STAIRS (SECT. 817)
 1. MAXIMUM RISER: 8 1/4"
 2. MINIMUM TREAD: 9"
 3. MINIMUM HEADROOM: 6'8"
 4. MINIMUM WIDTH: 3'0"
 k) WINTER DESIGN TEMPERATURE
 INSIDE +70F OUTSIDE -20F
 l) SEISMIC DESIGN CATEGORY: C

5. TYPE OF HEATING SYSTEM
 a. FORCED HOT WATER BASEBOARD (TYPICAL)
 b. TYPE OF CHIMNEY/VENTING SYSTEM(S), NOT BY
 THE COMPANY, SUPPLIED AND INSTALLED BY THE
 BUILDER AND INSPECTED AND APPROVED BY THE
 CODE ENFORCEMENT OFFICER.
 6. EXTERIOR ENVELOPE THERMAL
 PERFORMANCE
 d. U-VALUES REQUIRED BY CODE AND DESIGN VALUES

1) WALLS	.05	.0526
2) FLOORS	.09	.0909
3) ROOF/CEILING	.026	.026
4) DOORS	.14	.072
5) WINDOWS	.50	.33
6) FOUNDATIONS	UNHEATED	UNHEATED

* NOTE: BASEMENT CEILING INSULATION IS SUPPLIED AND
 INSTALLED ON SITE BY THE BUILDER, AS IS THE
 MATERIAL AND LABOR FOR ALL OTHER REQUIREMENTS
 OF THE 1992 CABO MODEL ENERGY CODE.

7. STATE CODES

1993 BOCA NATIONAL BUILDING CODE
 1992 CABO ONE AND TWO FAMILY DWELLING CODE
 1993 BOCA NATIONAL PLUMBING CODE
 1996 NATIONAL ELECTRICAL CODE
 1987 NFPA-31 INSTALLATION OF OIL
 BURNING EQUIPMENT
 1994 NFPA-101 LIFE SAFETY CODE WITH MAINE AMENDMENTS
 1992 CABO MODEL ENERGY CODE

8. SPACE FOR APPROVAL STAMPS

T. R. ARNOLD & ASSOCIATES, INC.
 P. O. BOX 1081
 ELKHART, IN 46515
 State(s) MAINE
 Accredited Evaluation and
 Inspection Agency
 This document is certified as being in conformance
 with STATE
BUILDING CODES
 Approved By T. R. Arnold
 Date SEP 23 2004
 Approval of this document does not authorize or approve
 any omissions or deviation from the requirements of
 applicable State Laws.

9. DATA PLATE & STATE LABEL
 LOCATIONS
 a) I.T.R.A. LABEL PER MODULE BOX
 TYPICALLY ON BACK WALL OF A CLOSET
 AND ON THE WALL UNDER THE KITCHEN SINK.
 b) I DATA PLATE AND I STATE LABEL PER
 LIVING UNIT, TYPICALLY UNDER THE
 KITCHEN SINK.
 c) I STATE OF MAINE WARRANTY SEAL ON
 CABINET DOOR TYPICALLY UNDER KITCHEN SINK.

**ASTORIA
COLONIAL**

FRONT ELEVATION



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270 OCEAN ROAD
GREENLAND, NH 03840
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SCALE	3/16" = 1'-0"
REV.	
DATE	
DRAWN	ATH
DATE	09/23/04

BLUE HORIZON DEVELOPMENT

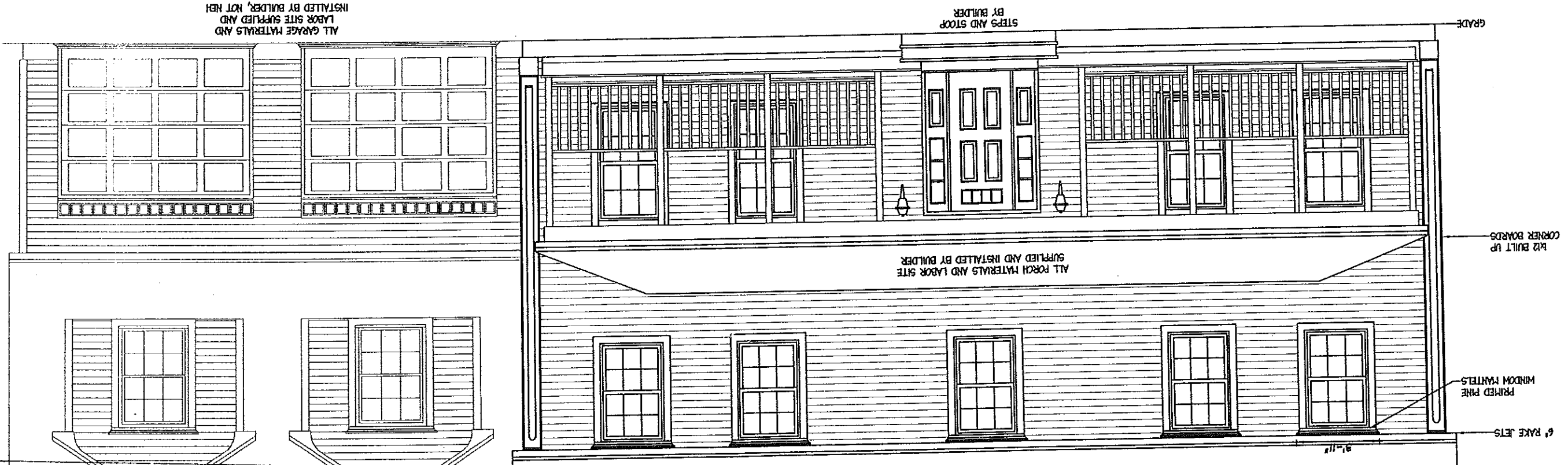
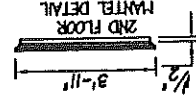
9589

0101

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the BUILDER'S RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

- 1) DELETE ALL SIDING
- 2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES
- 3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR
- 4) SHIP (2) PRIMED PINE WINDOW MANTLES LOOSE

NOTE:



ALL GARAGE MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER, NOT NEH

STEPS AND STOOP BY BUILDER

ALL PORCH MATERIALS AND LABOR SITE SUPPLIED AND INSTALLED BY BUILDER

New England Homes Authorized Independent Builders only authorized agent per contract agreement.

PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____
Date: _____

**ASTORIA
COLONIAL**

REAR ELEVATION



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GREENLAND, NH 03040
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DATE	09/23/04
DATE	
SCALE	3/16"=1'-0"

BLUE HORIZON DEVELOPMENT

9589

0102

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

3) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR

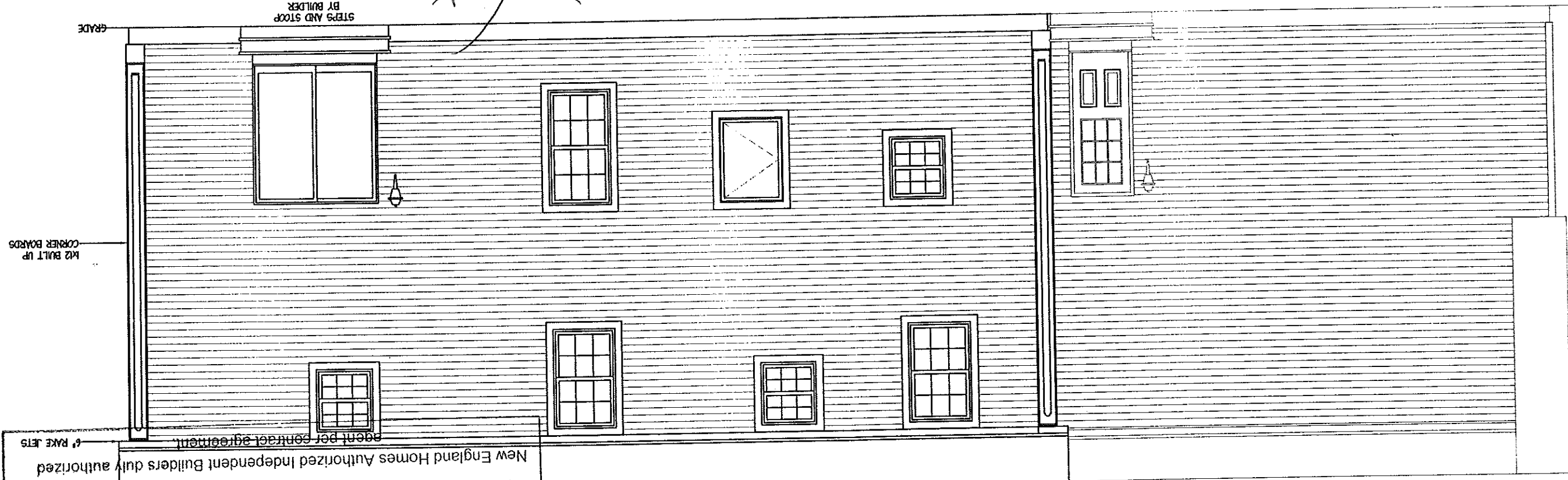
2) ADD ICE AND SNOW BARRIER OVER ALL WINDOW AND PATIO DOOR FLANGES

1) DELETE ALL SIDING

NOTE:

ALL GARAGE MATERIALS AND
LABOR SITE SUPPLIED AND
INSTALLED BY BUILDER, NOT NEH

*No Daylight
see revised plans
11/12/04
No Daylight
see revised plans
11/12/04
No Daylight
see revised plans
11/12/04*



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____
Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

ASTORIA COLONIAL

1st FLOOR PLAN



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270 OCEAN ROAD
GREENLAND, NH 03840
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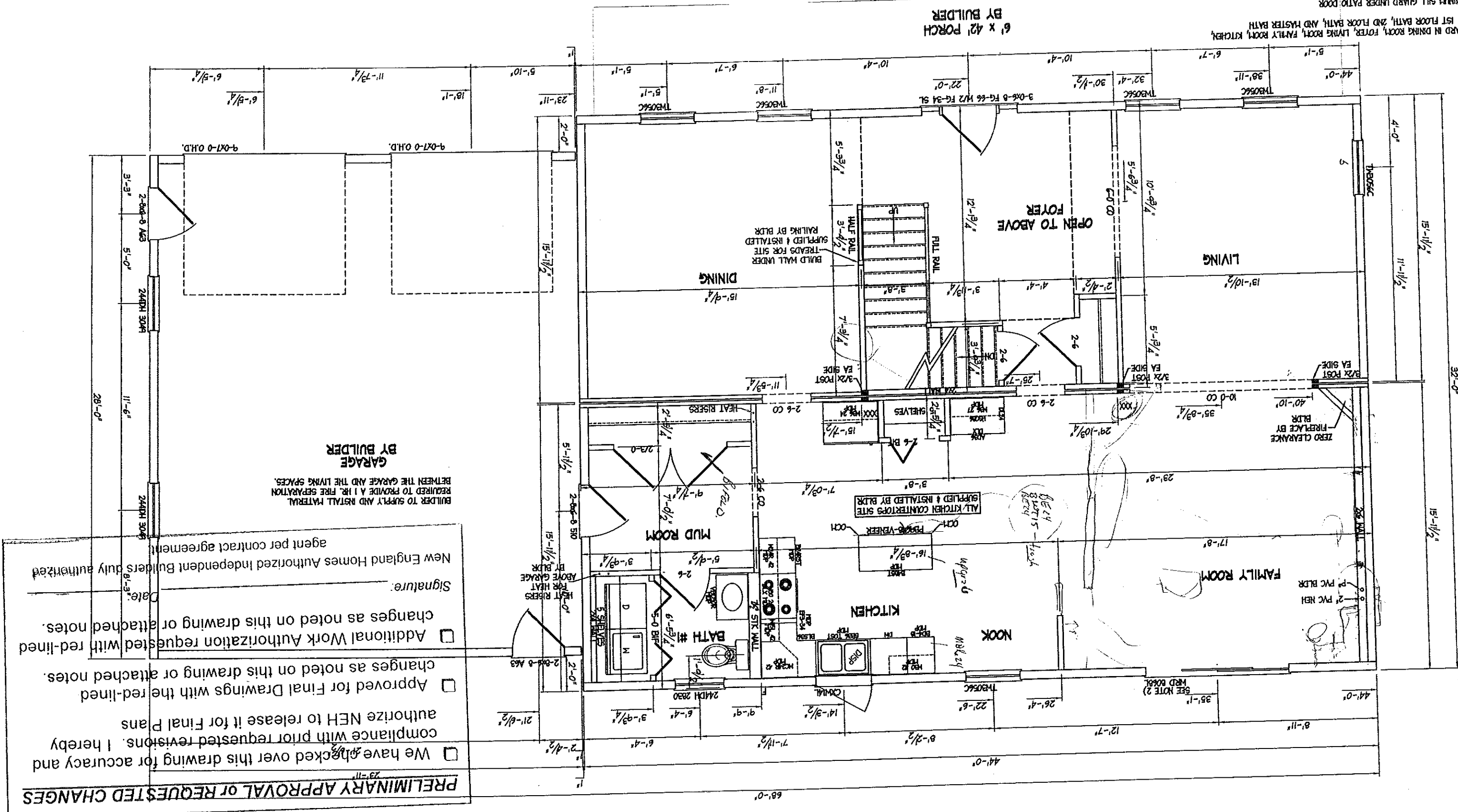
BLUE HORIZON DEVELOPMENT
9589

0201

SCALE	3/16" = 1'-0"
REV.	
DATE	
DRAWN	ATH
DATE	09/23/04

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

- NOTE:
- 1) TACK BASEBOARD IN DINING ROOM, FOYER, LIVING ROOM, FAMILY ROOM, KITCHEN, NOOK, HALLWAY, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH.
 - 2) INSTALL ALUMINUM SILL GUARD UNDER PATIO DOOR.
 - 3) ADD ICE AND SNOW BARBER OVER ALL HATCH AND PATIO DOOR FLAKES.
 - 4) SWING AND POCKET DOORS ARE PAIRED TEXTURED SIX PANEL STRUCTURAL CORE.
 - 5) CH CROWN MOULDING ON TOP OF ALL WALL CABINETS.



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____
Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

GARAGE BY BUILDER
BUILDER TO SUPPLY AND INSTALL MATERIAL REQUIRED TO PROVIDE A 1 HR. FIRE SEPARATION BETWEEN THE GARAGE AND THE LIVING SPACES.

6' x 42' PORCH BY BUILDER

**ASTORIA
COLONIAL**

2nd FLOOR PLAN



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GREENLAND, NH 03840
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SCALE: 3/16" = 1'-0"
REV: _____ DATE: _____
DRAWN: ATH DATE: 09/23/04

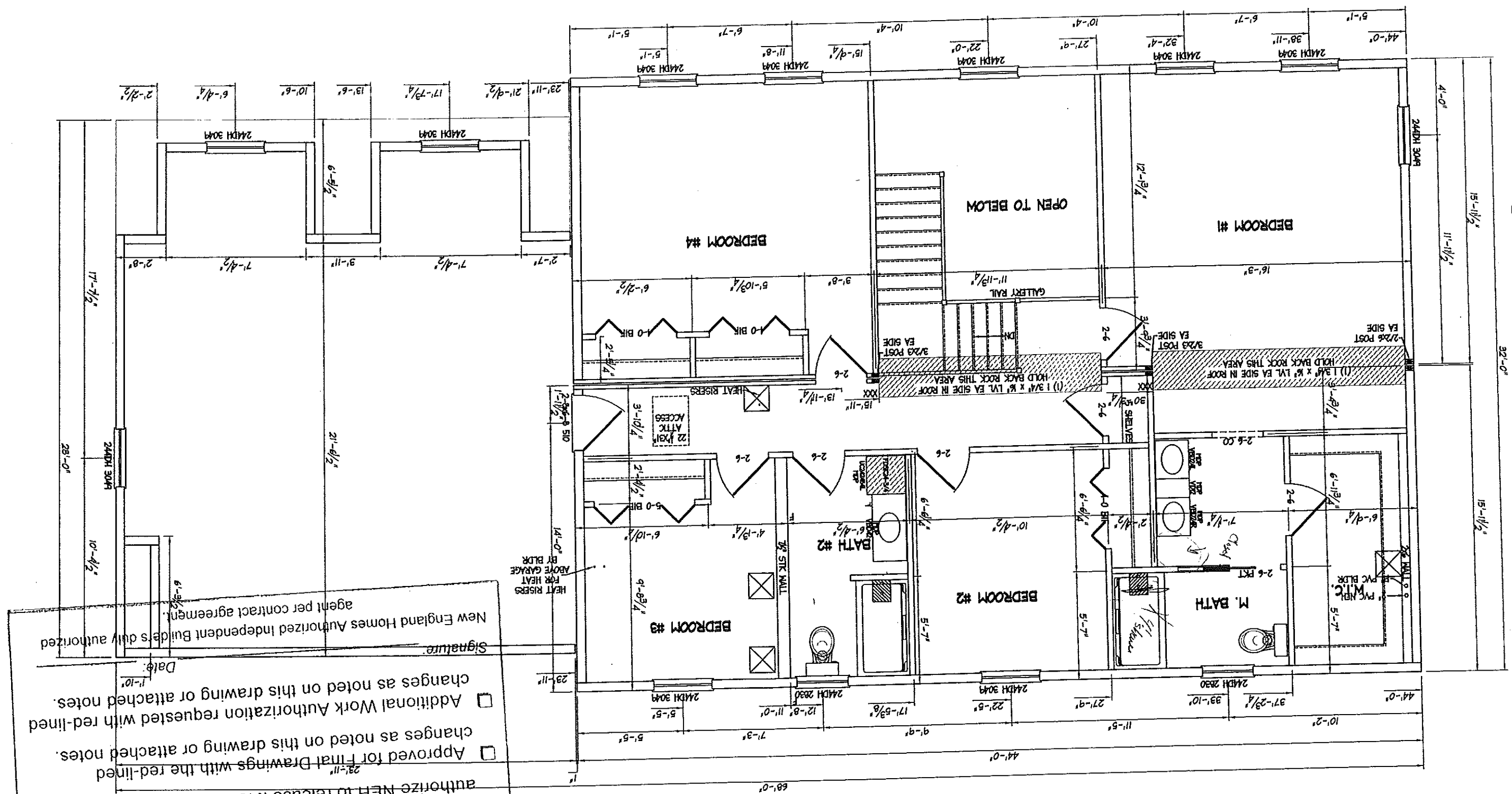
BLUE HORIZON DEVELOPMENT

9589

0202

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

NOTE:
1) TACK BASEBOARD IN DINING ROOM, Foyer, LIVING ROOM, FAMILY ROOM, KITCHEN, HALL, HUBROOM, 1ST FLOOR BATH, 2ND FLOOR BATH, AND MASTER BATH.
2) SHING AND POCKET DOORS ARE PRIMED TEXTURED SIX PANEL STRUCTURAL CORE. EXFOLD DOORS ARE PRIMED TEXTURED SIX PANEL HOLLOW CORE.



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

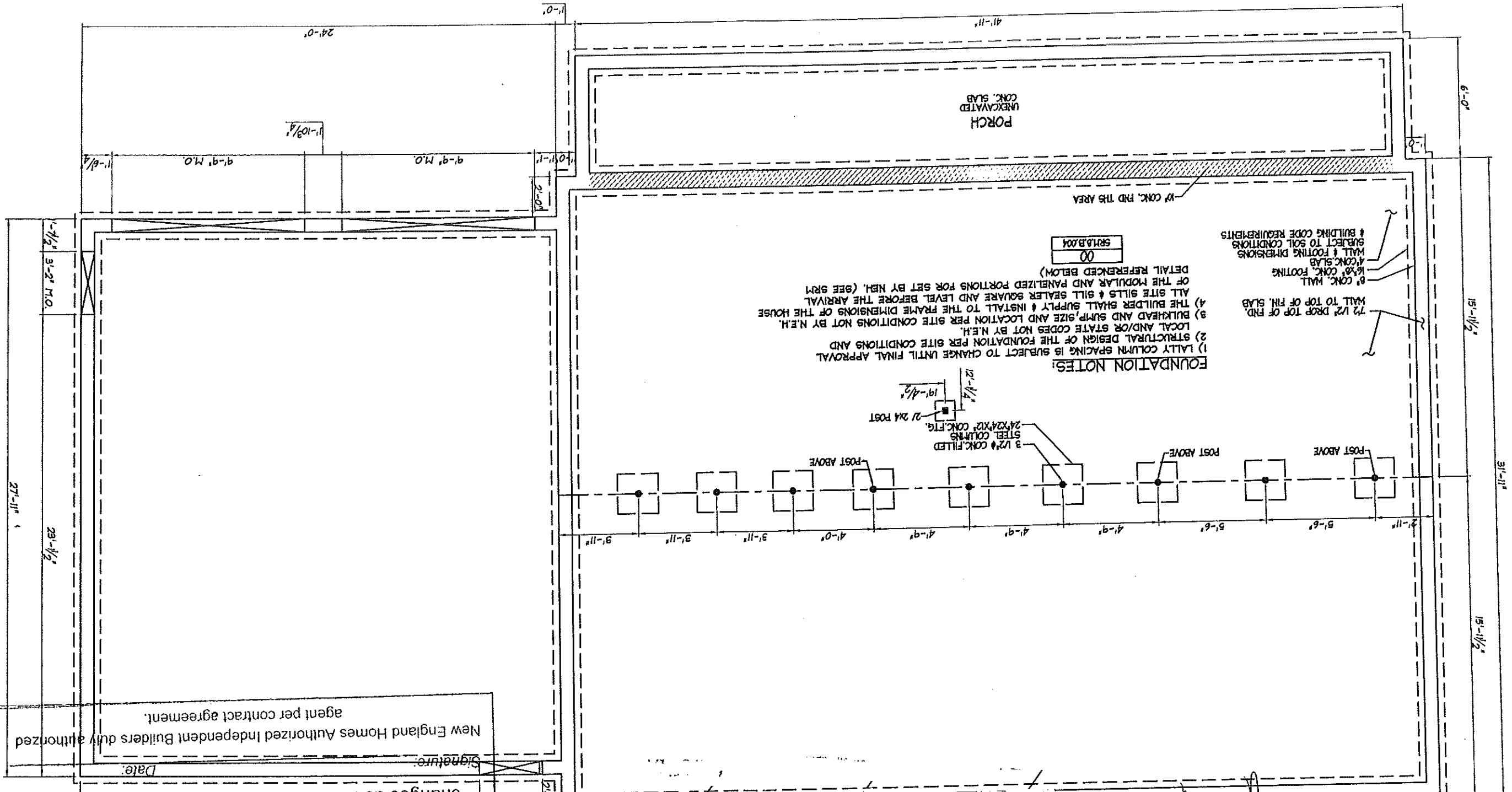
Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

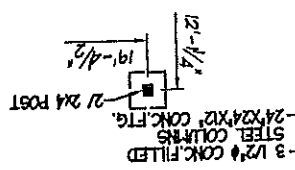
Date: _____
Signature: _____
New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

SCALE 3/16" = 1'-0"
REV.
DATE 09/23/04
DRAWN ATH



FOUNDATION NOTES:
 1) TALLY COLUMN SPACING IS SUBJECT TO CHANGE UNTIL FINAL APPROVAL
 2) STRUCTURAL DESIGN OF THE FOUNDATION PER SITE CONDITIONS AND LOCAL AND/OR STATE CODES NOT BY N.E.H.
 3) BULKHEAD AND SUMP SIZE AND LOCATION PER SITE CONDITIONS NOT BY N.E.H.
 4) THE BUILDER SHALL SUPPLY & INSTALL TO THE FRAME DIMENSIONS OF THE HOUSE ALL SITE SILLS & SILL SEALER SQUARE AND LEVEL BEFORE THE ARRIVAL OF THE MODULAR AND PANELIZED PORTIONS FOR SET BY NEH. (SEE SRM DETAIL REFERENCED BELOW)
 5) 4" CONC. SLAB
 6" CONC. MALT
 8" CONC. MALT
 16" CONC. FOOTING
 7 1/2" DROP TOP OF FIN. SLAB
 WALL TO TOP OF FIN. SLAB
 # BUILDING CODE REQUIREMENTS
 SUBJECT TO SOIL CONDITIONS



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

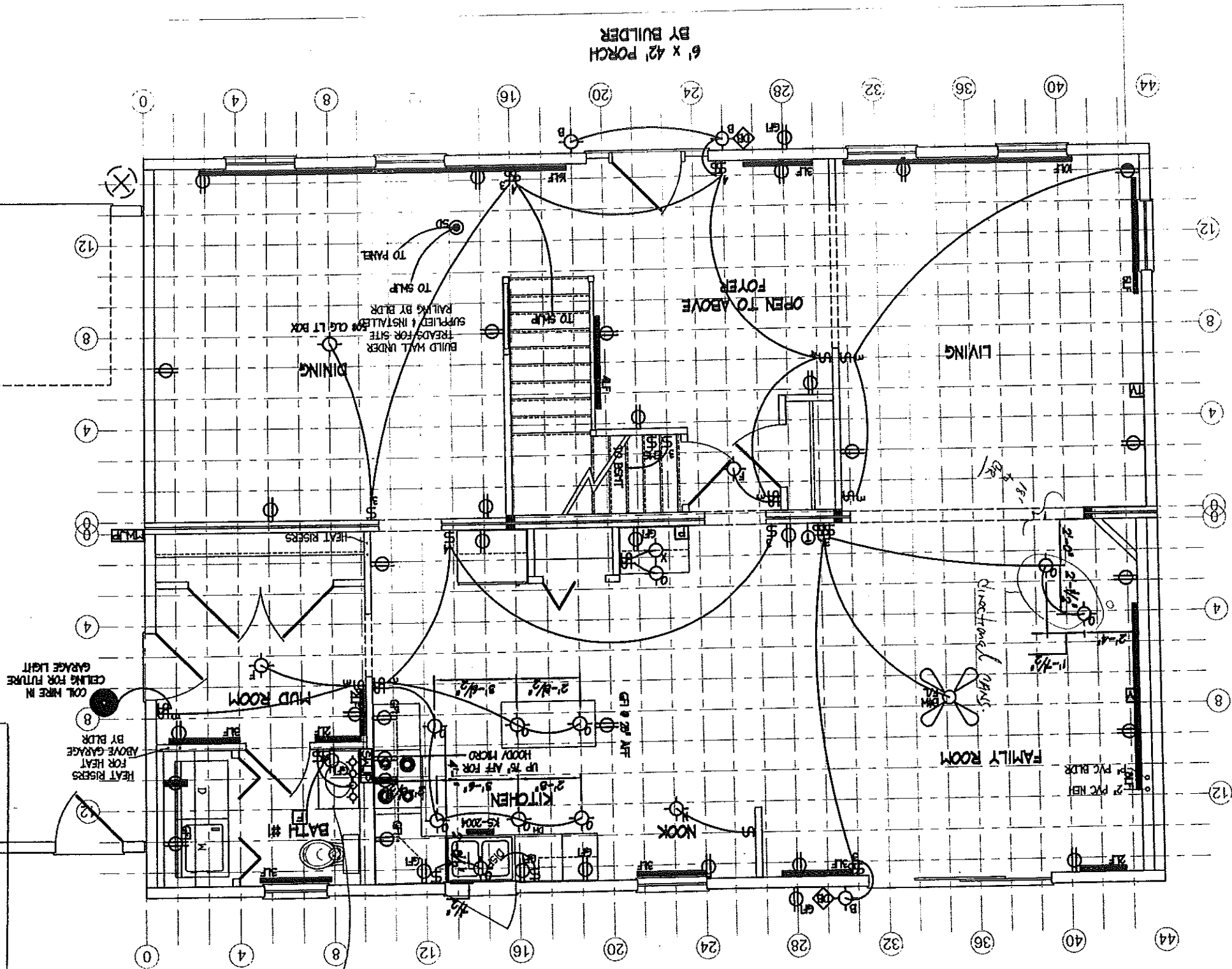
Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____
 Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

Bulkhead
 Windows

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.



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Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

GARAGE BY BUILDER

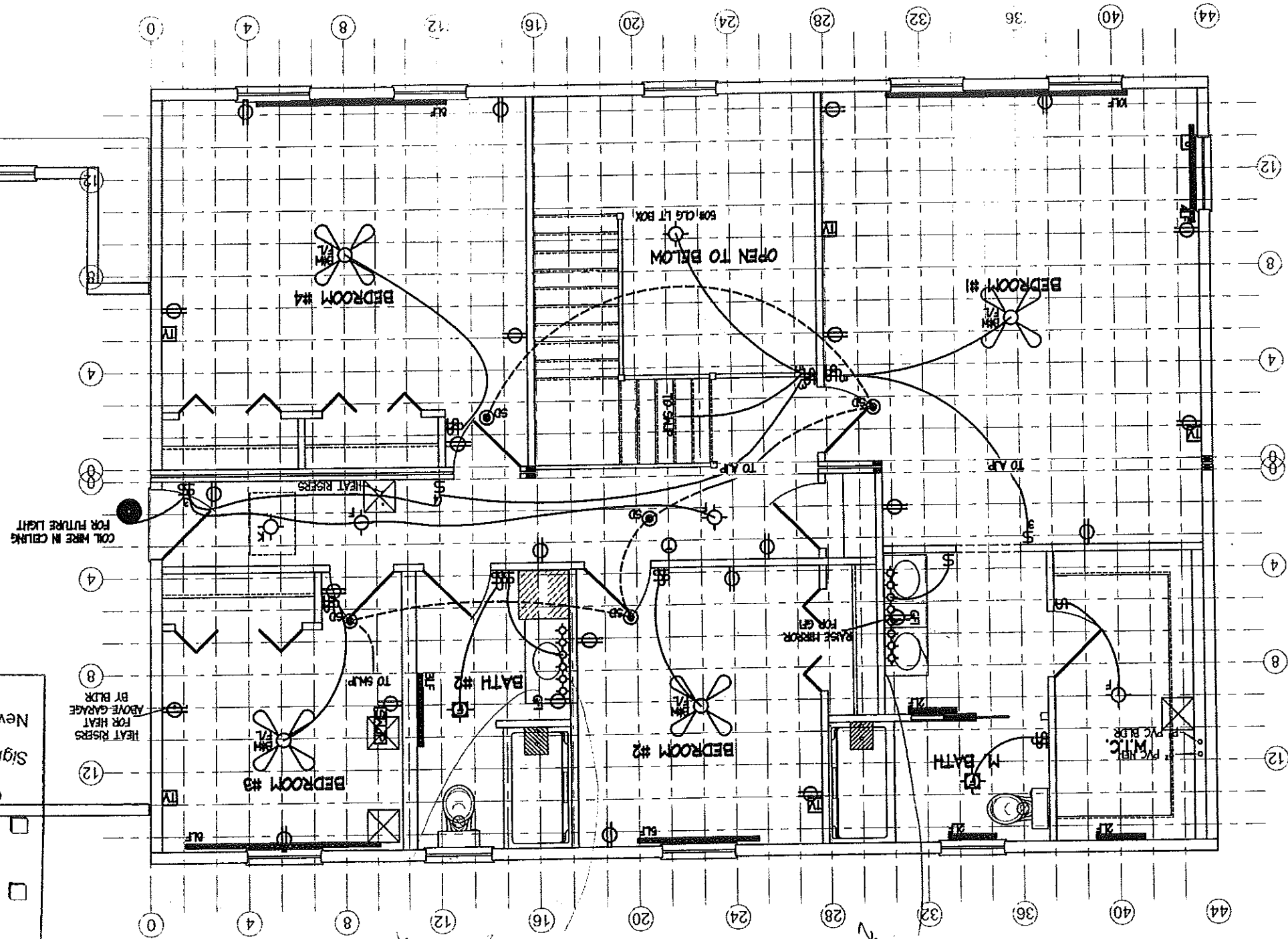
6' x 42' PORCH BY BUILDER

black lines to be done



SCALE	3/16"=1'-0"
REV.	
DATE	
DRAWN	ATH
DATE	09/23/04

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

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Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

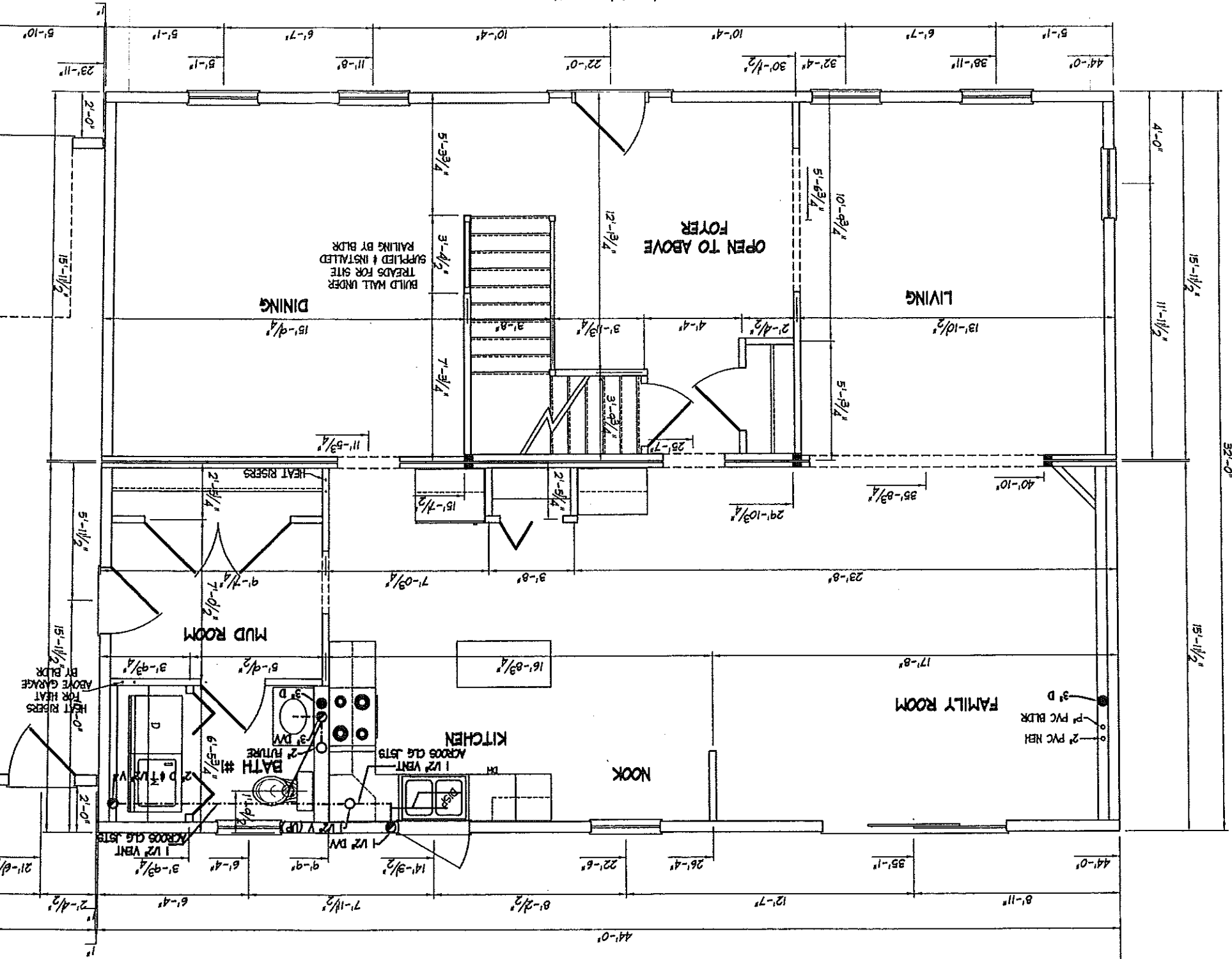
New England Homes Authorized Independent Builders only authorized agent per contract agreement

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

- PLUMBING LEGEND**
- = DRAIN ONLY
 - = DRAIN ONLY
 - = TRAP ARM
 - - - = VENT LINE
 - - - = VENT LINE
 - - - = DRAIN LINE
 - = DRAIN/VENT COMBO

6' x 42' PORCH
BY BUILDER

GARAGE
BY BUILDER



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

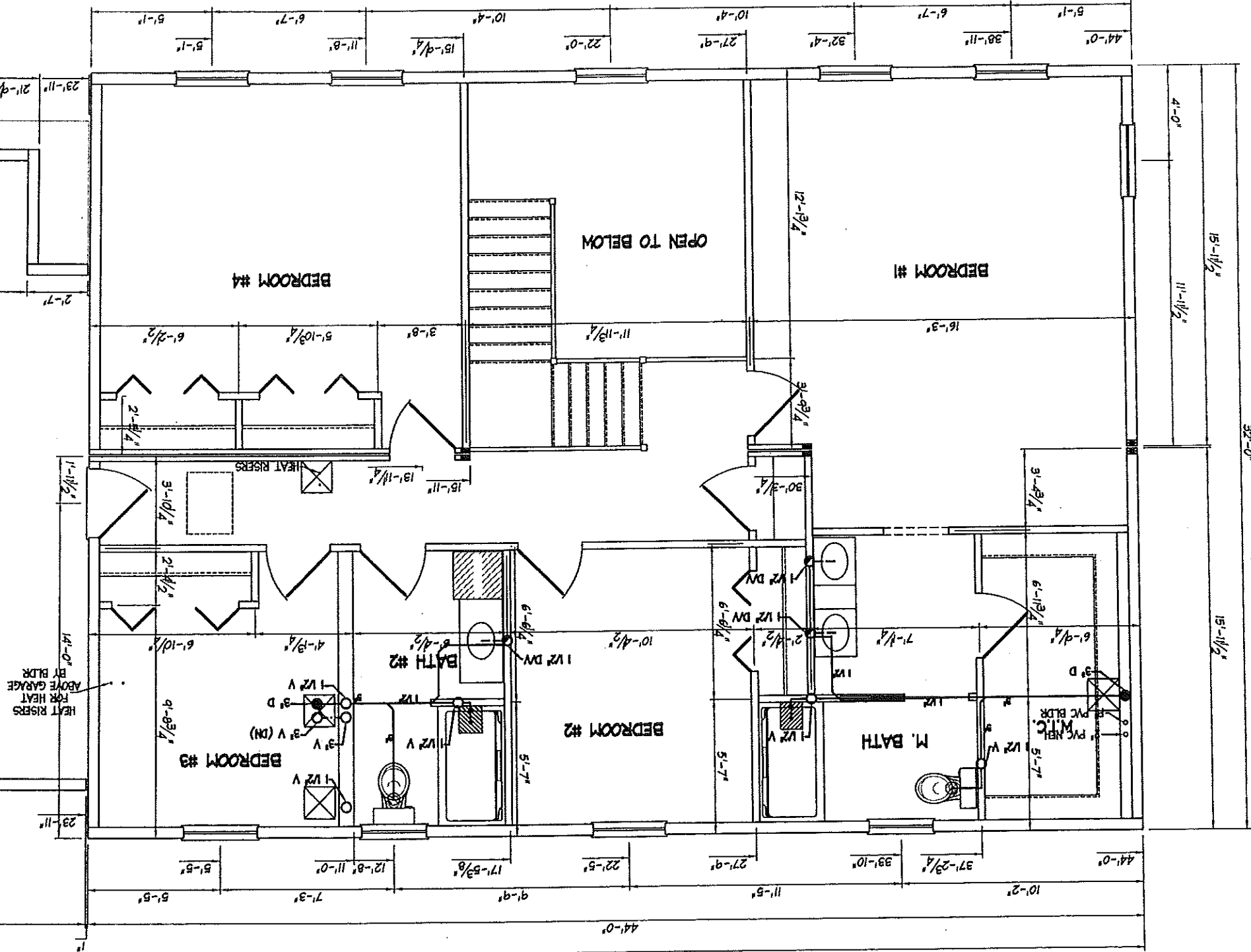
Signature: _____
Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

PLUMBING LEGEND

- = DRAIN LINE
- - - = VENT LINE
- - - = TRAP ARM
- = DRAIN ONLY
- = VENT ONLY
- ⊙ = DRAIN/VENT COMBO



PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

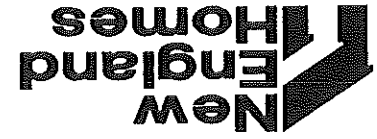
Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____
Date: _____

New England Homes Authorized Independent Builders only authorized agent per contract agreement.

**ASTORIA
COLONIAL**

SECTION A



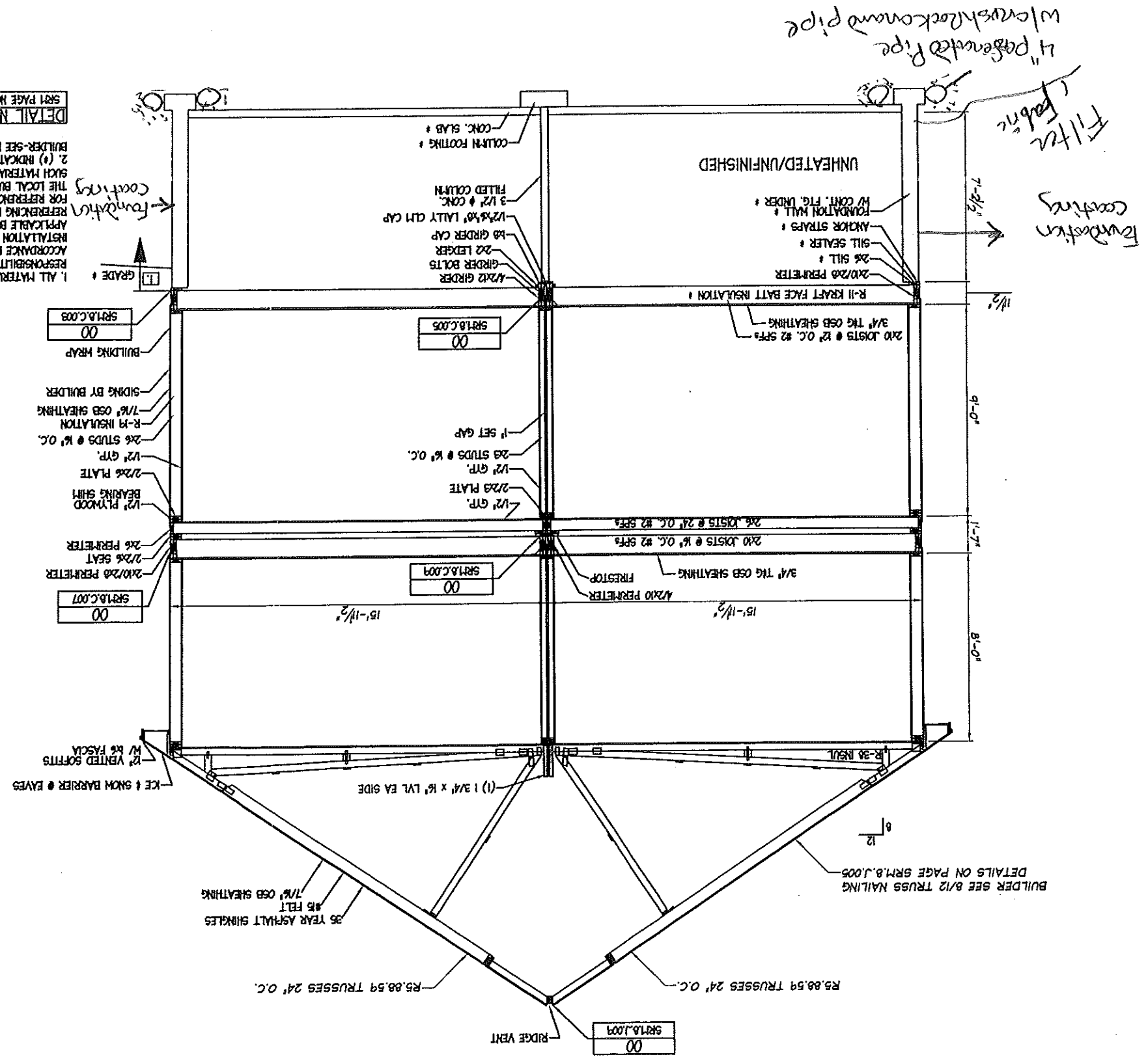
NEW ENGLAND HOMES INC.
270 OCEAN ROAD
GREENLAND, NH 03840
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SCALE	3/16" = 1'-0"
REV.	DATE
DRAWN	ATH
DATE	09/23/04

BLUE HORIZON DEVELOPMENT
9589

0500

NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.



Handwritten notes:
4" Perforated Pipe w/ crush rock around pipe
Filter Fabric
Foundation Coatings

DETAIL NO. SYMBOL DENOTES THE DETAIL NUMBER AND PAGE IN THE SITE REFERENCE MANUAL BUILDER MUST REFER TO FOR REQUIRED SITE WORK.
1. ALL MATERIALS BELOW THIS LINE ARE THE RESPONSIBILITY OF THE BUILDER, AND SHALL BE USED IN ACCORDANCE WITH THE MATERIAL MANUFACTURER'S INSTALLATION INSTRUCTIONS, IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. ANY DETAILS/DRAWINGS REFLECTING MATERIAL NOT SUPPLIED BY NEH ARE FOR REFERENCE ONLY, AND SHOULD BE APPROVED BY THE LOCAL BUILDING INSPECTOR PRIOR TO USE. ALL SUCH MATERIAL/CONSTRUCTION MUST BE SITE INSPECTED. 2. (*) INDICATES MATERIAL/LABOR ON SITE BY BUILDER-SEE NOTE 1.

PRELIMINARY APPROVAL or REQUESTED CHANGES

We have checked over this drawing for accuracy and compliance with prior requested revisions. I hereby authorize NEH to release it for Final Plans

Approved for Final Drawings with the red-lined changes as noted on this drawing or attached notes.

Additional Work Authorization requested with red-lined changes as noted on this drawing or attached notes.

Signature: _____ Date: _____

New England Homes Authorized Independent Builders duly authorized agent per contract agreement.

FINAL APPROVAL OF DRAWINGS PER FINAL

WE HAVE CHECKED OVER THIS DRAWING FOR ACCURACY AND COMPLIANCE WITH PRIOR REQUESTED REVISIONS. I HEREBY AUTHORIZE NEW TO RELEASE PROJECT FOR BUILDING PRODUCTION.

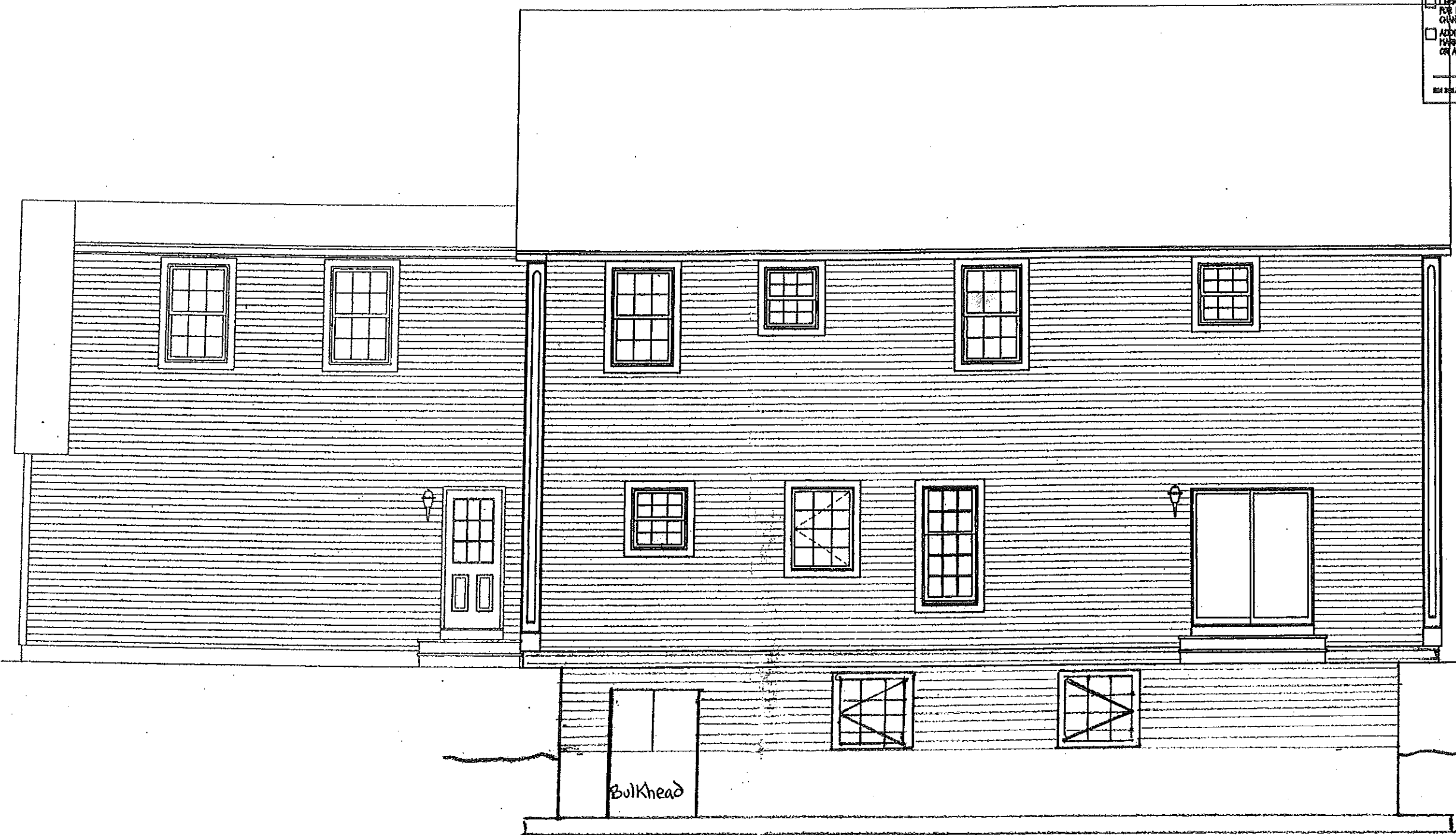
I HEREBY AUTHORIZE NEW TO RELEASE PROJECT FOR BUILDING PRODUCTION WITH MARKED-UP CHANGES ON DRAWINGS OR ATTACHED NOTES.

ADDITIONAL WORK AUTHORIZATION REQUESTED WITH MARKED-UP CHANGES AS NOTED ON THIS DRAWING OR ATTACHED NOTES.

SIGNATURE

DATE

NEW ENGLAND HOMES APPROVES INDIVIDUALLY BUILT BY APPROVED AGENT FOR CONTRACT AGREEMENT.



NOTE: ANY & ALL Material shipped loose for the site completion of the manufactured product is ULTIMATELY the SOLE RESPONSIBILITY OF THE BUILDER LISTED BELOW to install and finish.

ASTORIA COLONIAL

REAR ELEVATION



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GREENLAND, NH 03040
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DRWN	ATH	DATE	09/23/04
REV.	A	DATE	10/29/04
SCALE	3/16" = 1'-0"		

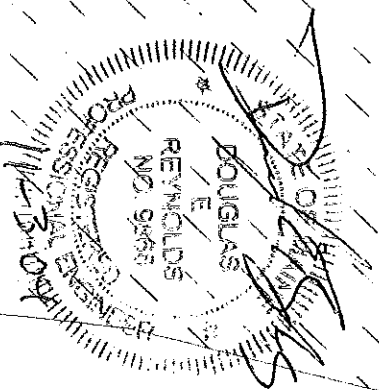
9589 - HOPE AVE - LOT 2 - DONOR
BLUE HORIZON DEVELOPMENT

0102



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



LOT 1

UNDISTURBED ZONE

LOT 2
26,791 S.F.
0.62 AC.

14' SIDE SETBACK

14' SIDE SETBACK

LOT 3

DECK

2-STORY SINGLE FAMILY RESIDENCE

2 CAR GARAGE

LOT OWNER TO HAVE BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

REFER TO BUILDING PLANS FOR DIMENSIONS
INV. 77.38 MIN.
6" SAN L=54' S=0.0104 MIN.
3/4" DOMESTIC WATER SERVICE
2"-2.5" CAL. RED MAPLES OR EQUIVALENT

PORCH

DOUBLE CLEANOUT
PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALKS PER CITY OF PORTLAND DETAILS

25' FRONT SETBACK

HOPE AVENUE

CITY OF PORTLAND
APPROVED SITE PLAN

Subject to Dept. Conditions
Date of Approval: 11-10-04



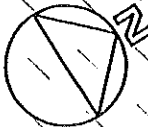
Design:	WMS	Date:	11/04
Draft:	CAH	Job No.:	1014
Checked:	DCR	Scale:	1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG			

GP
Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

90 Bar 1237
100 S. Main St.
Cov. ME 04039
Tel: 603-453-8800
Fax: 603-453-8912
E-Mail: info@gpel.com

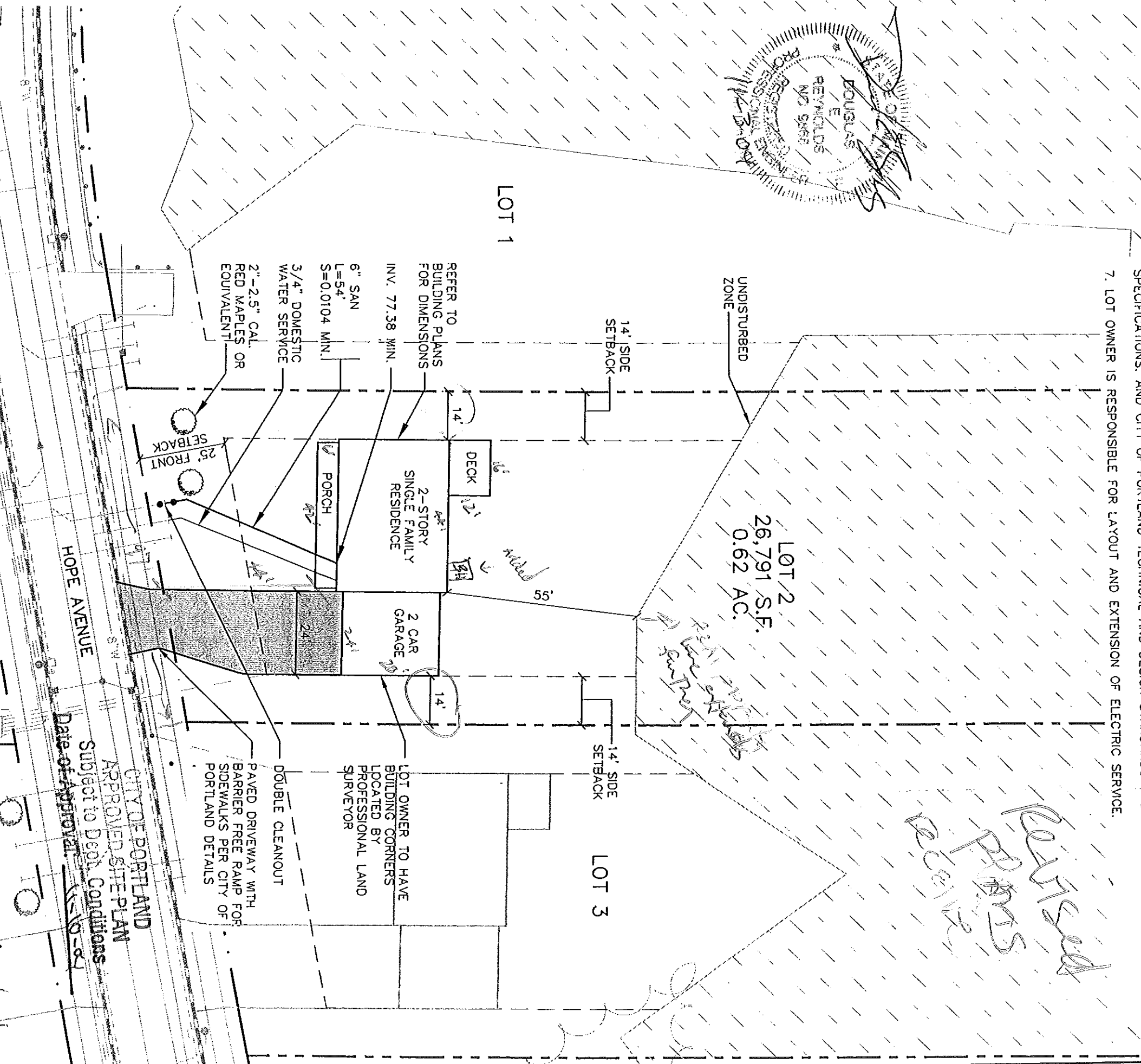
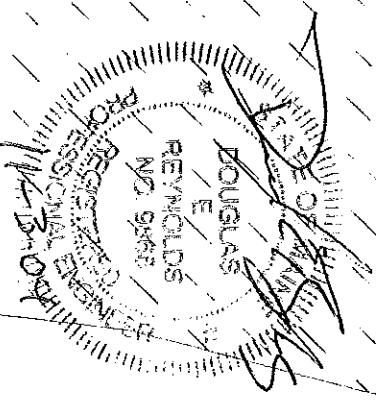
Drawing Name: Lot 2 Site Layout & Utility Plan
Project: PRESUMPSCOT RIVER PLACE

Figure No. 2



GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.



1 inch = 30 ft.



Design: WHS	Date: 11/7/04
Draft: CAH	Job No.: 1014
Checked: DER	Scale: 1"=30'
File Name: 98089-1\98089-ALL-LOTS.DWG	

GP
Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

90 S.W. 1217
13 Sewer Road
Port, ME 04039

207-657-6800
Fax: 207-657-6810
E-Mail: melrose@gorrillpalmer.com

Drawing Name:
Lot 2 Site Layout & Utility Plan

Project:
PRESUMPSCOT RIVER PLACE

Figure No.
2



NOTE:
 AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

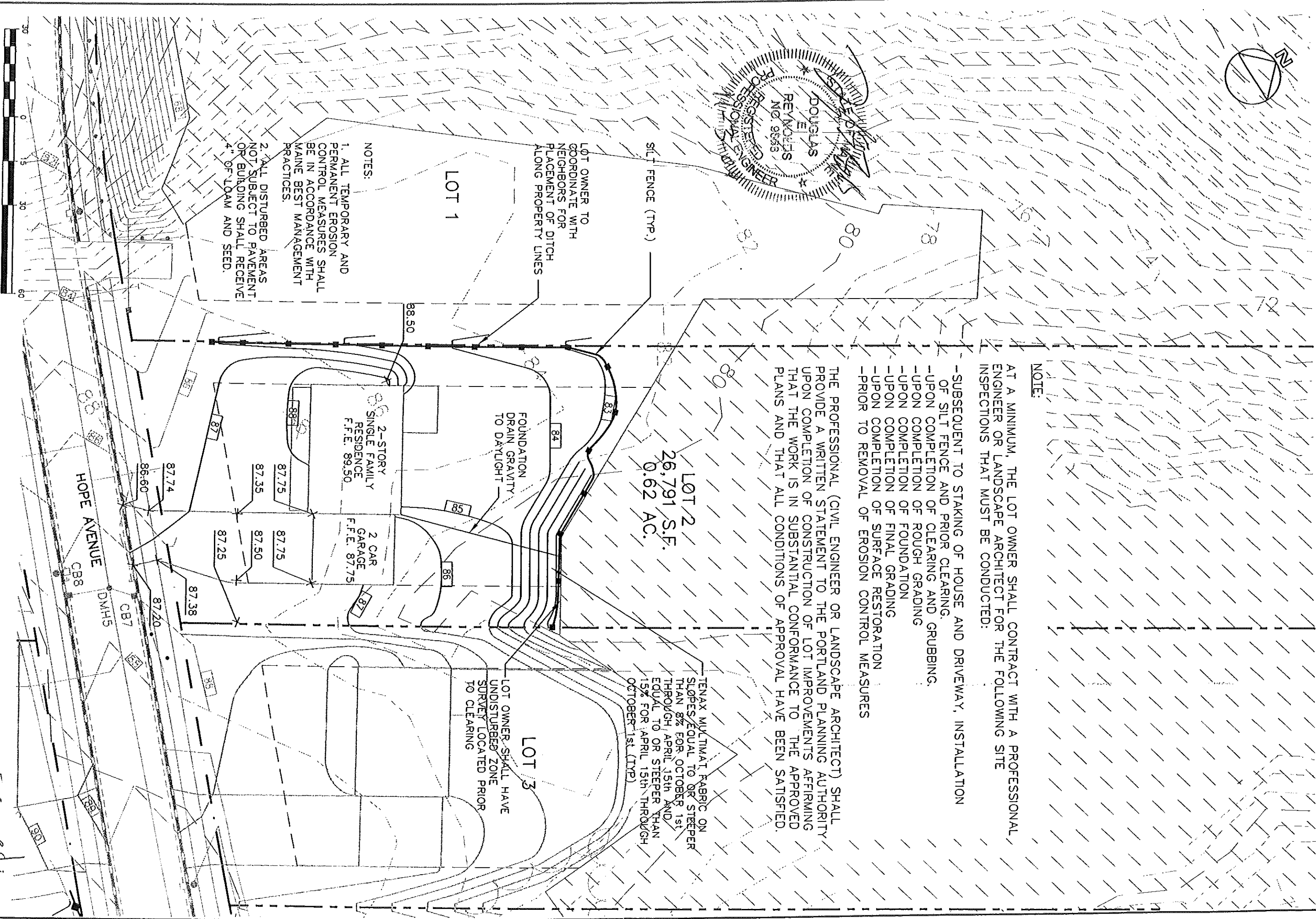
TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FOR OCTOBER 1st THROUGH APRIL 15th AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15th THROUGH OCTOBER 1st (TYP)

LOT OWNER SHALL HAVE UNDISTURBED ZONE SURVEY LOCATED PRIOR TO CLEARING

LOT 2
 26,791 S.F.
 0.62 AC.

LOT OWNER TO COORDINATE WITH NEIGHBORS FOR PLACEMENT OF DITCH ALONG PROPERTY LINES

- NOTES:
1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
 2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.



1 inch = 30 ft.

Design:	WHS	Date:	11/04
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Checked:	DER	Scale:	1"=30'
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GP Gorill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 207-637-6810
 19 Sawt Road
 Conway, ME 04039
 E-mail: mdelaney@gorillpalmer.com

Drawing Name: Lot 2 Grading & Drainage Plan
 Project: PRESUMSCOT RIVER PLACE
 Figure No. 3

Rec'd 11/12/04