

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2005-0005**

Application I. D. Number

**1/10/2005**

Application Date

**Presumpscot River Place**

Project Name/Description

**Goldeneye Corp**

Applicant

**662 East Bridge St, Westbrook, ME 04092**

Applicant's Mailing Address

Consultant/Agent

**94 - 94 Hope Ave , Portland, Maine**

Address of Proposed Site

**Agent Ph:**

**Agent Fax:**

**390 A007001**

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**32' x 36'**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 1/11/2005

**DRC Approval Status:**

Reviewer \_\_\_\_\_

- Approved  **Approved w/Conditions**  Denied  
 See Attached

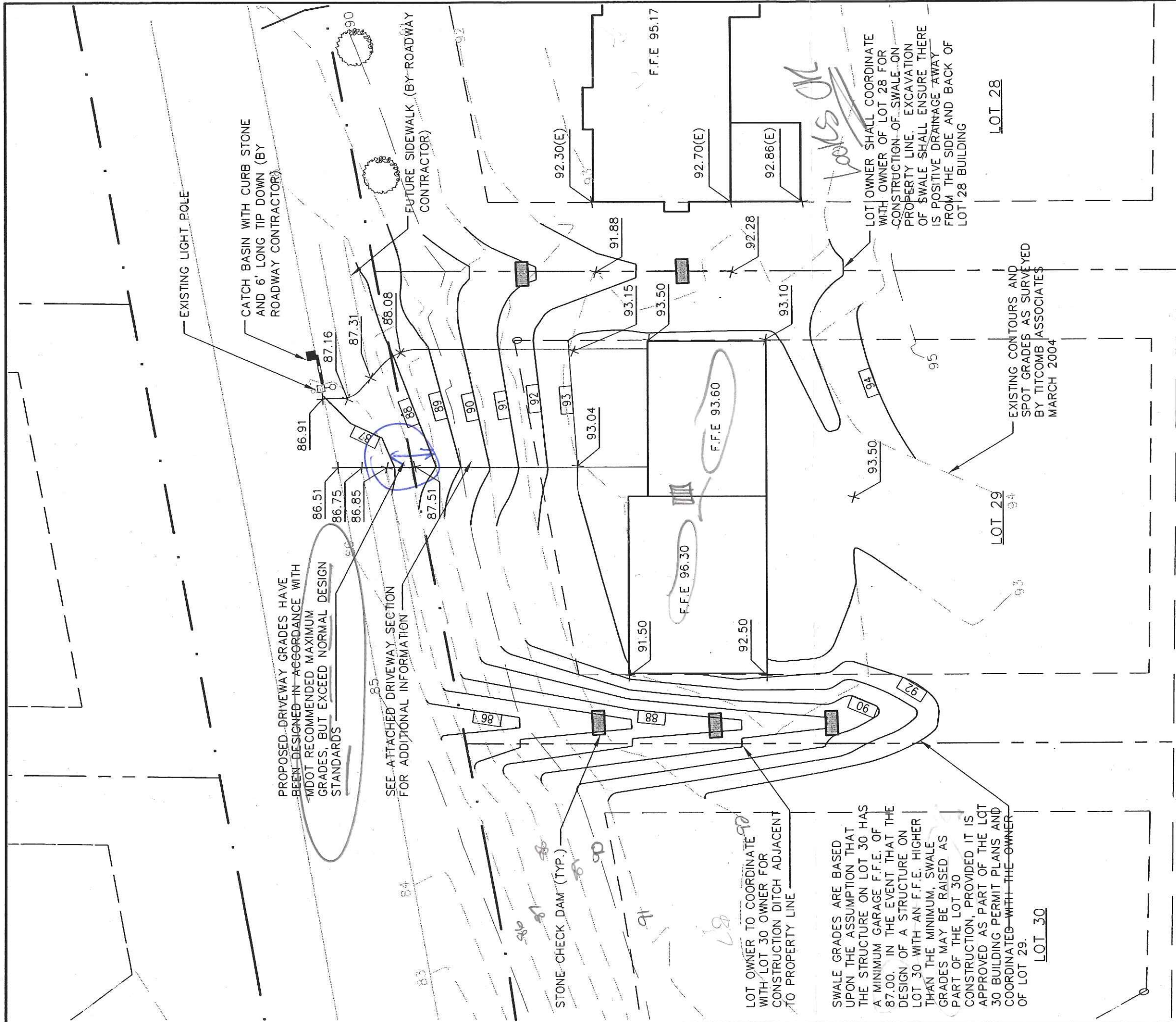
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_  
 signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

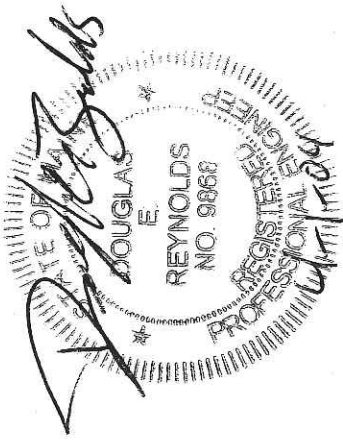
\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



**LEGEND:**

- 92.70(E) EXISTING SPOT GRADE
- 92.70 PROPOSED SPOT GRADE



*Revision Approved  
4-27-04  
J.R.*

Design: DER	Date: MARCH 04				
Draft: CAH	Job No.: 965				
Checked: AMP	Scale: 1"=20'				
File Name: LOT29-PBASE					

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237  
15 Saker Road  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: malbox@gorrillpalmer.com

Drawing Name: **Lot 29 Grading Plan**  
Project: **PRESUMPCOT RIVER PLACE**

Figure No. **1**

**From:** Jay Reynolds  
**To:** port-web:DReynolds@[gorrillpalmer.com]  
**Date:** Thu, Jan 20, 2005 2:24 PM  
**Subject:** PRP III, Lot 1, Review Comments

1. Site plan grading doesn't match the building elevations: Site plan shows 3-5' of wall showing, according to the grading and FFE. Building elevations do not reflect this.
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3. 31% sideslope in front yard: has the possibility of a rock wall or lowering the FFE been explored to lessen this sideslope in the front yard?

Jay

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
[jayjr@portlandmaine.gov](mailto:jayjr@portlandmaine.gov)

>>> "Doug Reynolds" <[DReynolds@gorrillpalmer.com](mailto:DReynolds@gorrillpalmer.com)> 01/19/2005 3:09:18 PM >>>  
I will take the comments, Will will do the work.

But you can copy him on the email.

-----Original Message-----

From: Jay Reynolds [<mailto:JAYJR@portlandmaine.gov>]  
Sent: Wednesday, January 19, 2005 2:36 PM  
To: Doug Reynolds  
Subject: PRP III, Lot 1

Doug,  
Should I be sending you comments or Will Savage? If it's Will, then can you provide his e-mail address to me?  
Thanks.  
Jay

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
[jayjr@portlandmaine.gov](mailto:jayjr@portlandmaine.gov)

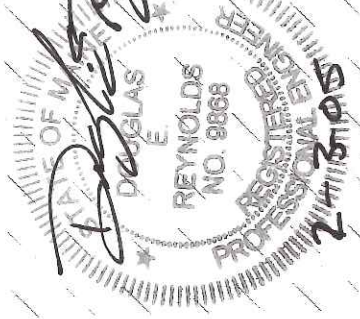
**CC:** William H. Savage



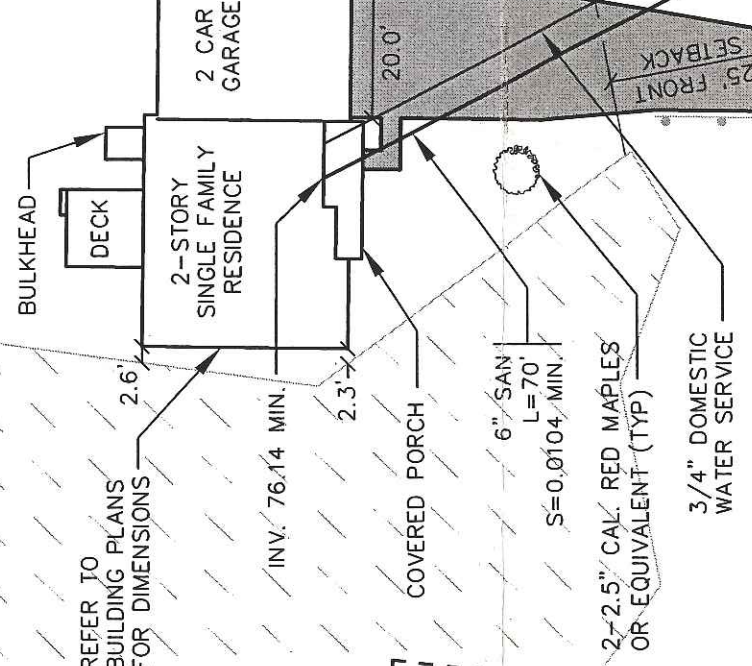
**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

LOT 1  
127,955 S.F.  
2.94 AC.



DO NOT DISTURB AREA



14.0' SIDE SETBACK

LOT 2

LOT OWNER TO HAVE BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 2-4-05

RECEIVED FEB 04 2005

25' FRONT SETBACK

DOUBLE CLEANOUT

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALKS PER CITY OF PORTLAND DETAILS

HOPE AVENUE



Design:	WHS	Date:	1/05
Draft:	CAH	Job No.:	1166
Checked:	DER	Scale:	1"=30'
File Name:	98089-1\98089-LOTS 1-14		

**GP** Gorrill-Palmer Consulting Engineers, Inc. 207-657-6910  
Traffic and Civil Engineering Services 207-657-6910  
E-mail: mail@gorrillpalmer.com

PO Box 1237  
15 Saker Road  
Gray, ME 04039

Drawing Name: Lot 1 Site Layout & Utility Plan  
Project: PRESUMPCOT RIVER PLACE

Figure No. 2

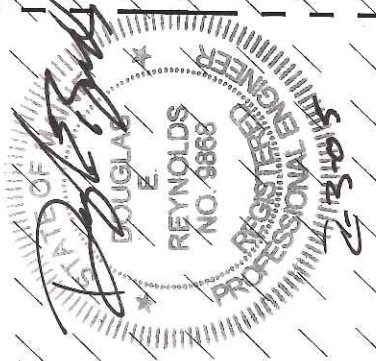


**NOTE:**

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



FOUNDATION DRAIN AND OUTLET CAN NOT IMPACT DO NOT DISTURB AREA

2'x2' 3/4" CRUSHED STONE APRON

**LOT 1**  
127,955 S.F.  
2.94 AC.

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

SILT FENCE

LOT OWNER SHALL HAVE DO NOT DISTURB AREA SURVEY LOCATED PRIOR TO CLEARING

SILT FENCE TO BE LOCATED 1' FROM SURVEY LOCATED DO NOT DISTURB AREA

**NOTES:**

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

**LOT 2**

2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 88.17

2 CAR GARAGE  
F.F.E. 87.00

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 2-4-06

RECEIVED FEB 04 2006



1 inch = 30 ft.

Design:	WHS	Date:	1/05
Draft:	CAH	Job No.:	1166
Checked:	DER	Scale:	1"=30'
File Name:	98089-1\98089-LOTS 1-14		

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
PO Box 1237  
15 Soer Road  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 1 Grading & Drainage Plan**  
Project: **PRESUMPCOT RIVER PLACE**

**LETTER OF  
TRANSMITTAL**

PO Box 1237  
15 Shaker Road  
Gray, ME 04039

(207) 657-6910  
Fax : (207) 657-6912  
E-mail: mailbox@gorrillpalmer.com


To: **Jay Reynolds**  
**389 Congress Street**  
**Portland, ME 04103**

Via: **Reg Mail**  
RE: **Lot 1 Presumpscot River Place**  
Date: **2-3-05**  
Project No: **1166**

For your use <input checked="" type="checkbox"/>		As requested <input checked="" type="checkbox"/>		For Review and comment <input type="checkbox"/>	
Shop Drawings <input type="checkbox"/>	Prints <input type="checkbox"/>	Plans <input type="checkbox"/>	Specifications <input type="checkbox"/>	Copy of letter <input type="checkbox"/>	Other <input type="checkbox"/>
Copies	Date	Number	Description		
4			Revised Building permit plans, as discussed		

Remarks:

Copy **Genie Nakell**  
To:

Signed  **Doug Reynolds, P.E.**

**From:** "Doug Reynolds" <DReynolds@gorrillpalmer.com>  
**To:** "Jay Reynolds" <JAYJR@portlandmaine.gov>  
**Date:** Tue, Feb 1, 2005 11:57 AM  
**Subject:** RE: RE: RE: PRP III, Lot 1, Review Comments

If it helps in your meeting, those changes were only for those lots which have the Do not Disturb area within them, and was intended for changes to the Do not Disturb limits.

Let me know,

Thanks

-----Original Message-----

From: Jay Reynolds [mailto:JAYJR@portlandmaine.gov]  
Sent: Tuesday, February 01, 2005 11:53 AM  
To: Doug Reynolds  
Subject: Re: RE: RE: PRP III, Lot 1, Review Comments

Doug,

I will find out tomorrow whether this is administrative or planning board.

This note applies to lots 1,2,3,4,5,6,8,9,10,11,15,16, and 30, so it was not considered for lots 17, 22, and 25.

Jay

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
jayjr@portlandmaine.gov

>>> "Doug Reynolds" <DReynolds@gorrillpalmer.com> 02/01/2005 11:46:43 AM  
>>>

Will the staff approved so it can be recorded?

Was this considered on Lots 17, 22, & 25, which also modified their envelopes to meet the zoning provision of the reduced setback?

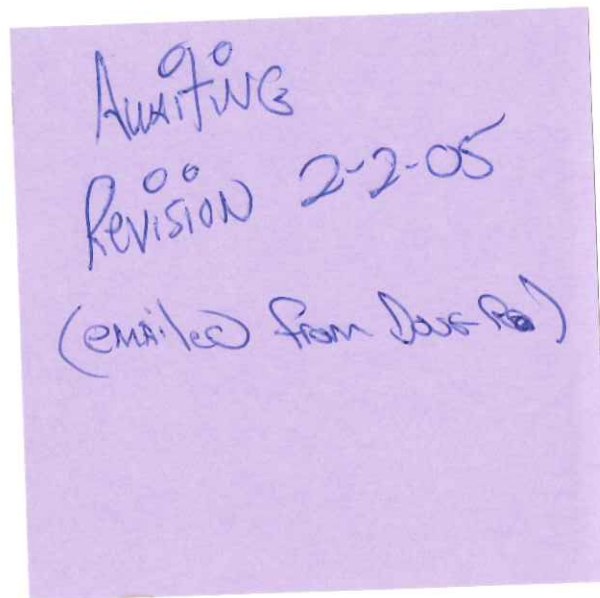
-----Original Message-----

From: Jay Reynolds [mailto:JAYJR@portlandmaine.gov]  
Sent: Tuesday, February 01, 2005 11:39 AM  
To: Doug Reynolds  
Cc:  
port-web#c#port-web#c##091#maine.rr.com#093##c#gnakell@portlandmaine.gov

Subject: Re: RE: PRP III, Lot 1, Review Comments

Doug,

Another item has been noticed. The building falls outside of the building envelope. The subdivision approval (Note 3) states that ".....changes to such area must receive the written approval of the City of Portland Planning Board or Planning Authority prior to commencement of construction and must be recorded in the cumberland county registry of deeds with a reference to the plan book and page for this plan."



Jay

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
jayjr@portlandmaine.gov

>>> "Doug Reynolds" <DReynolds@gorrillpalmer.com> 01/19/2005 3:09:18 PM  
>>>

I will take the comments, Will will do the work.

But you can copy him on the email.

-----Original Message-----

From: Jay Reynolds [mailto:JAYJR@portlandmaine.gov]  
Sent: Wednesday, January 19, 2005 2:36 PM  
To: Doug Reynolds  
Subject: PRP III, Lot 1

Doug,  
Should I be sending you comments or Will Savage? If it's Will, then can  
you provide his e-mail address to me?  
Thanks.  
Jay

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
jayjr@portlandmaine.gov



**From:** Jay Reynolds  
**To:** port-web:DReynolds@[gorrillpalmer.com]  
**Date:** Tue, Feb 1, 2005 11:38 AM  
**Subject:** Re: RE: PRP III, Lot 1, Review Comments

Doug,

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This will need to be addressed prior to issuance of building permit.

Sorry I did not include this in my original review comments.

Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
jayjr@portlandmaine.gov

>>> "Doug Reynolds" <DReynolds@[gorrillpalmer.com]> 01/24/2005 8:56:08 AM >>>  
Jay,

I spoke to the applicant this morning.

1. An updated building elevation will be provided by the applicant, which reflects the proposed grades within the site.
2. As you may remember some of the other lots (Lots 15 & 21) had similar setbacks to the Do not Disturb area. The proposed grades at the building corners are at the same elevation as the existing grades. Impact of the Do not Disturb zone should not be required. It is noted that the Do not disturb zone will be located by the surveyor. Moving of the building would not meet setbacks on the easterly side of the lot.
3. The possibility of a rock wall in the front of the site is not out of the question. Depending on exact condition of the site, this slope will be reviewed in place. Lowering of the finished floor would not be considered, whereas, the foundation drain would need to be longer, or require a pump.

Please call or reply if you wish to discuss further.

-----Original Message-----

From: Jay Reynolds [mailto:[JAYJR@portlandmaine.gov](mailto:JAYJR@portlandmaine.gov)]  
Sent: Thursday, January 20, 2005 2:24 PM  
To: Doug Reynolds  
Cc:  
[port-web#c#port-web#c##091#gorrillpalmer.com#093##c#wsavage@portlandmaine.gov](mailto:port-web#c#port-web#c##091#gorrillpalmer.com#093##c#wsavage@portlandmaine.gov)  
Subject: PRP III, Lot 1, Review Comments

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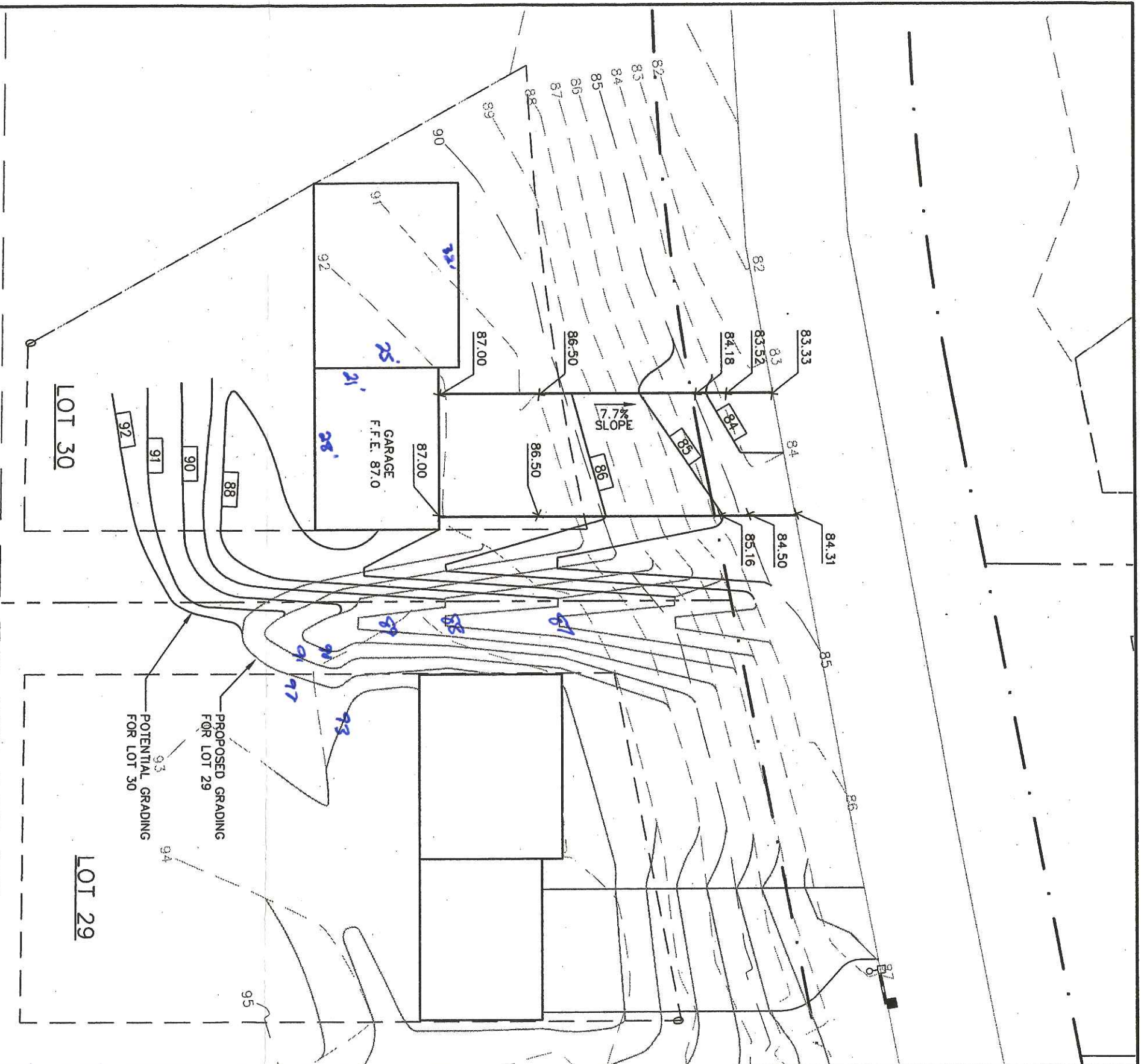
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Jay

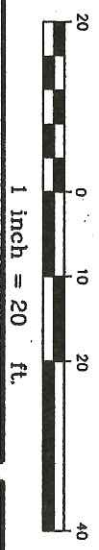
Jay Reynolds  
Development Review Coordinator  
City of Portland  
Planning and Development  
(207) 874-8632  
[jayjr@portlandmaine.gov](mailto:jayjr@portlandmaine.gov)

**CC:** port-web:[[maine.rr.com](mailto:maine.rr.com)].gnakell@port-web



**NOTES:**

1. LOT 30 DRIVEWAY SLOPES DO NOT EXCEED MDOT MAXIMUM LIMITS FOR DRIVES ON A SIDEWALK SECTION.
2. DIMENSIONS OF BUILDING SHOWN ON LOT 30 ARE SIMILAR TO THE LOT 29 BUILDING. A NARROWER BUILDING MAY BE PROPOSED, WHICH WOULD ALLOW A GREATER SETBACK FOR THE ROAD, AND THEREFORE ALLOW A HIGHER FINISHED FLOOR ELEVATION.



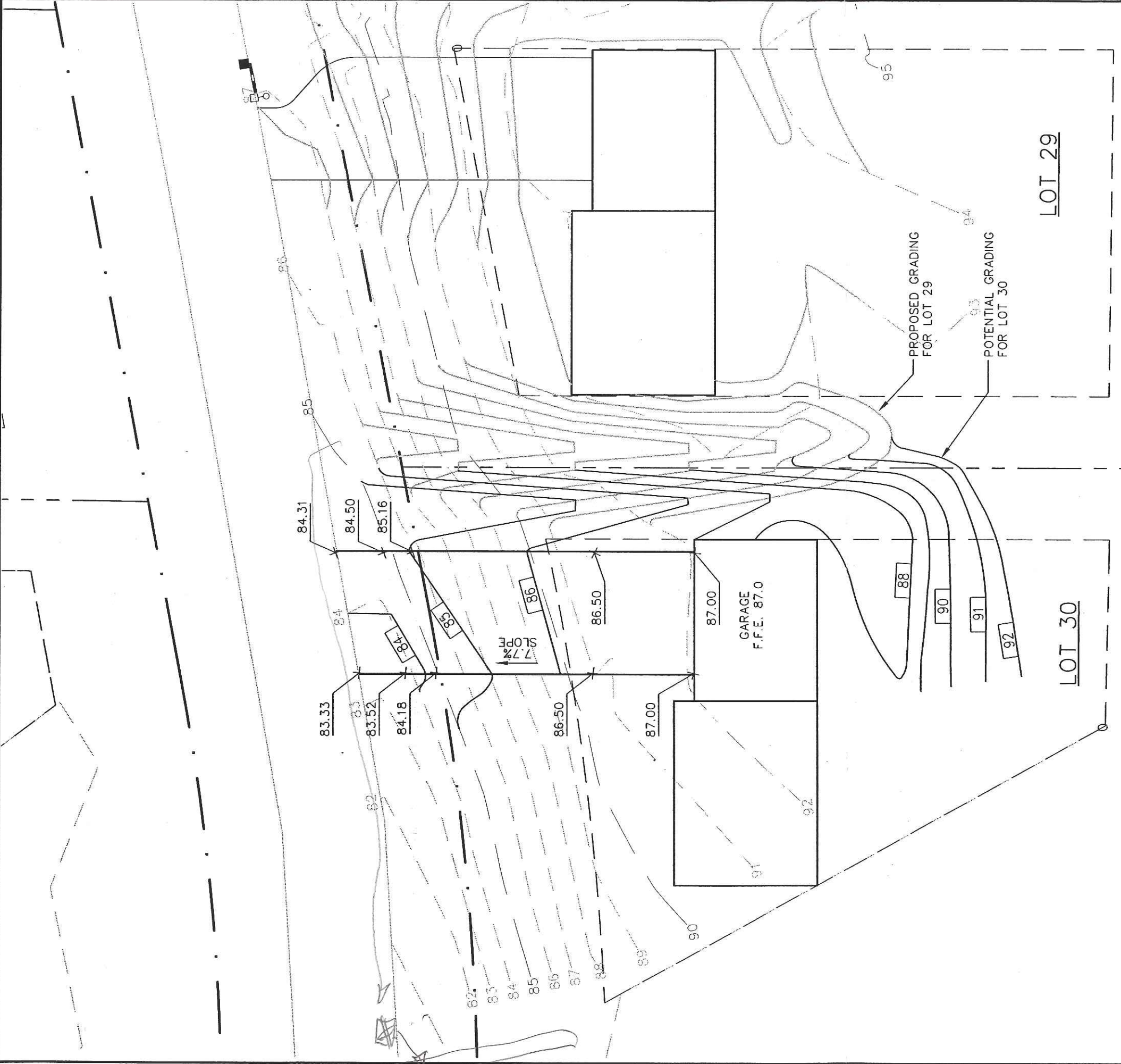
Design:	DER	Date:	MARCH 04
Draft:	CAH	Job No.:	958
Checked:	AJP	Scale:	1"=20'
File Name: LOT29-PBASE			

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

P.O. Box 1337  
 19 Sauer Road  
 09391, NJ 08039  
 609-657-8910  
 609-657-8912  
 E-Mail: [main@gpengineers.com](mailto:main@gpengineers.com)

Drawing Name: **Lot 29 Grading Plan**  
 Project: **PRESUMPSCOT RIVER PLACE**

Figure No. **1**



**NOTES:**

1. LOT 30 DRIVEWAY SLOPES DO NOT EXCEED MDOT MAXIMUM LIMITS FOR DRIVES ON A SIDEWALK SECTION.
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Design:	DER	Date:	MARCH 04
Draft:	CAH	Job No.:	956
Checked:	AMP	Scale:	1"=20'
File Name:	LOT29-PBASE		

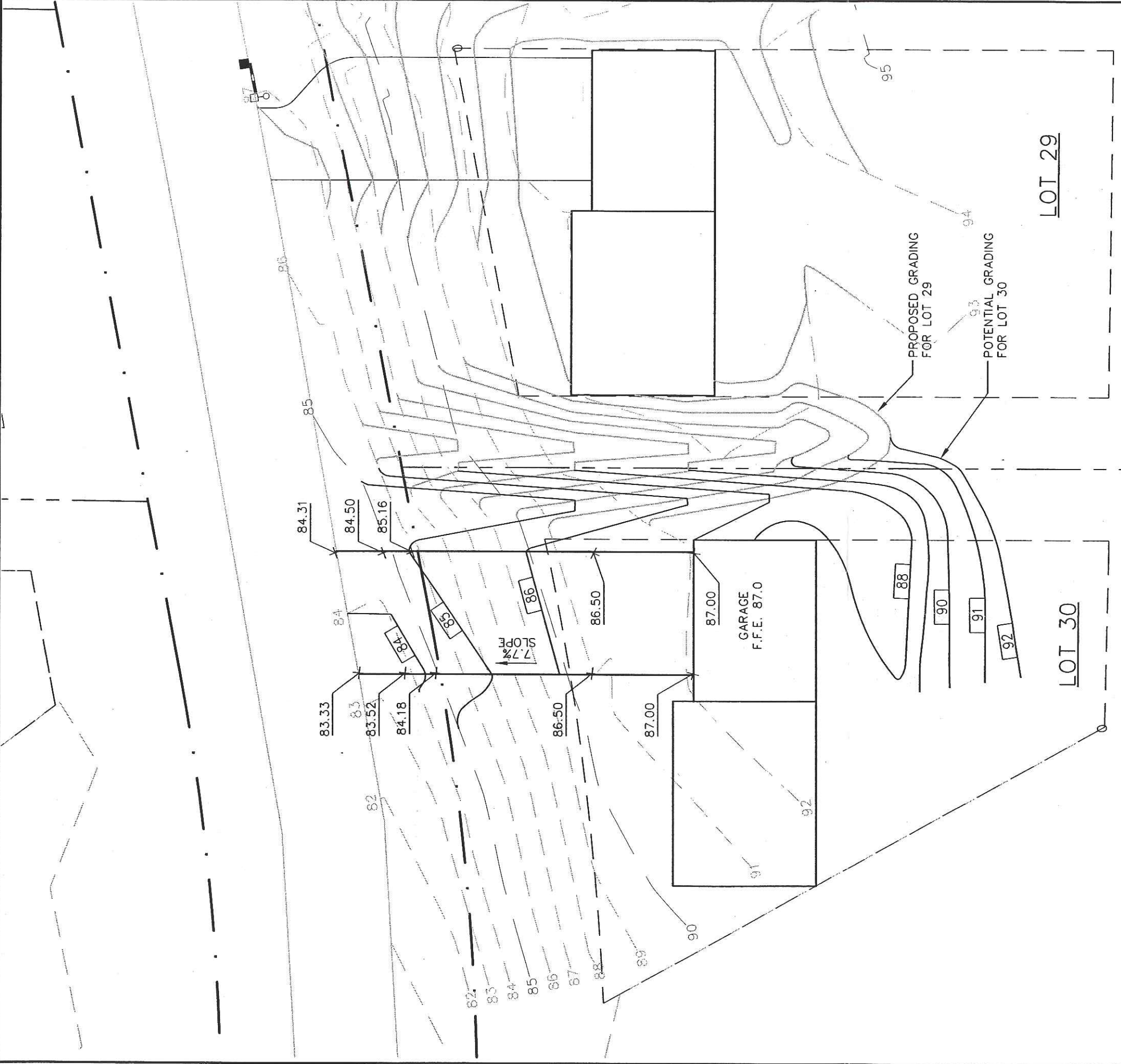
**GIP** Gorrill-Palmer Consulting Engineers, Inc.  
*Traffic and Civil Engineering Services*  
 PO Box 1237  
 150 State Street  
 05201-0127  
 207-657-6810  
 FAX: 207-657-6812  
 E-Mail: matco@gorrillpalmer.com

Drawing Name: **Lot 29 Grading Plan**

Project: **PRESUMPCOT RIVER PLACE**

Figure No.

**1**



**NOTES:**

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Design:	DER	Date:	MARCH 04
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**GP** Gorrill-Palmer Consulting Engineers, Inc.  
*Traffic and Civil Engineering Services*

PO Box 1237  
 15 Shaw  
 G.P., ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: rpalmer@gorrillpalmer.com

Drawing Name: **Lot 29 Grading Plan**  
 Project: **PRESUMPCOT RIVER PLACE**

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

April 27, 2004

Mr. James Lombardo  
Builder of Lot 29, Hope Avenue

Dear Mr. Lombardo:

RE: Stop work order, Hope Avenue- Lot 29  
(CBL#390B029) (ID#2003-0260)

Upon review of your April 20<sup>th</sup> and 22<sup>nd</sup> submittals, the City has the following comments:

The submittals address the drainage concerns between lots 29/30 and also shows that the construction of lot 29 does not affect or restrict the future buildout of lot 30.

The conceptual site plan demonstrates that lot 30 can still be built according to the approved subdivision. The approved subdivision and the conceptual drawings show a finish floor elevation of 87.0.

Because of the aforementioned, the City will not require recording the house plan in the registry.

At this time, your stop work order is lifted and construction can proceed.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee Urban, Director of Planning and Development  
Sarah Hopkins, Development Review Services Manager  
Jay Reynolds, Development Review Coordinator  
Penny Littell, Associate Corporation Counsel  
Michael Nugent, Inspection Services Manager  
Mr. Charles Place, 173 Summit Street, Portland, ME 04103  
Lloyd Wolf, Developer  
Douglas Reynolds, Gorrill-Palmer Engineers  
Lucy and Francis Mack, 73 Allison Avenue, Portland, ME 04103

O:\PLAN\DRC\hopelot29e.doc

- 1 -

DRAFT

April 27, 2004

Mr. James Lombardo  
Builder of Lot 29, Hope Avenue

Dear Mr. Lombardo:

RE: Stop work order, Hope Avenue- Lot 29  
(CBL#390B029) (ID#2003-0260)

Upon review of your April 20<sup>th</sup> and 22<sup>nd</sup> submittals, the City has the following comments:

The submittals address the drainage concerns between lots 29/30 and also shows that the construction of lot 29 does not affect or restrict the future buildout of lot 30.

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Alexander Jaegerman  
Planning Division Director

cc: Lee Urban, Director of Planning and Development  
Sarah Hopkins, Development Review Services Manager  
Jay Reynolds, Development Review Coordinator  
Penny Littell, Associate Corporation Counsel  
Michael Nugent, Inspection Services Manager  
Mr. Charles Place, 173 Summit Street, Portland, ME 04103  
Lloyd Wolf, Developer  
Douglas Reynolds, Gorrill-Palmer Engineers  
Lucy and Francis Mack, 73 Allison Avenue, Portland, ME 04103

4/22/04

To Whom it may concern,

We Steve and Rachel Giroux have been informed by our builder, Mr. Jim Lombardo that our driveway exceeds normal design standards. We understand that the slope is steeper than designed, however, we would like to move forward with the construction of our home. We will not hold the City of Portland responsible, in any way, for the driveway.

We will hold our builder, Jim Lombardo, responsible for abnormal wear, erosion, or related conditions attributable to the non-standard design of our driveway.

We are pleased that the stop work order is close to being lifted and look forward to the resumption of construction.

Sincerely,  
Steve Giroux  
Rachel Giroux



**From:** "Doug Reynolds" <DReynolds@gorrillpalmer.com>  
**To:** "Jay Reynolds (E-mail)" <jayjr@portlandmaine.gov>  
**Date:** Tue, Apr 20, 2004 8:40 AM  
**Subject:** Lot 30 PRP

Jay,

Attached is .pdf file of the potential grading for a house of lot 30. The grading depicts essentially the worse case scenario. Based upon the MDOT driveway slopes, a builder would not be able to construct the building any higher, based upon the location and size of the building. If a differently configured building were proposed and the driveway could come further into the site, higher finished floor elevations could be attained. A higher finished floor elevation would make the property line grading situation better. Again, the attached only depicts a potential grading and layout possibility for Lot 30.

I will forward you hard copies and a similar explanation, unless I hear back from you today, looking for something different.

Please let me know.

Thanks <<DEST2829.pdf>>

Doug Reynolds

Gorrill-Palmer Consulting Engineers, Inc.  
15 Shaker Road  
PO Box 1237  
Gray, ME 04039  
(207) 657-6910  
(207) 657-6912 (Fax)

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**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

April 14, 2004

Mr. James Lombardo  
Builder of Lot 29, Hope Avenue

Dear Mr. Lombardo:

RE: Stop work order, Hope Avenue- Lot 29  
(CBL#390B029) (ID#2003-0260)

The City has received a second revised site plan in response to the January 28, 2004, and February 6, 2004 letters (non-compliance to the site plan).

Upon review, the City has the following comments:

The submittal appears to address the drainage concerns between lots 28 and 29, however, the City cannot approve the submittals for the following reasons:

1. The driveway slope exceeds normal design standards. The proposed driveway slope is approximately 17%. To put this into perspective, the maximum slope for proposed City streets is 8%.
2. The potential impacts on lot 30:
  - a. Grading and drainage limitations.
  - b. Finish Floor Elevation: Lot 30's approved FFE is 87.0 on the approved subdivision. This appears unattainable at this time.
  - c. Driveway construction/slope may exceed normal design standards as a result of this proposal.

Lot 30 is one of the more restrictive lots, thus one of the more difficult lots to build in this subdivision. The addition of more restrictions due to the buildout of lot 29 only worsens the situation and 'passes' these issues along to the next lot.

To resolve this situation we suggest that a house plan with grading be engineered for lot 30 demonstrating how it can be built in conjunction with lot 29. If the City and the owner of lot 30 agree on the house plan and it is recorded in the registry, that would resolve our concerns. With

March 31, 2004

Mr. Jay Reynolds  
Development Review Coordinator  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Lot 29 Presumpscot River Place  
Portland, Maine

Dear Jay:

As discussed previously, a stop work order has been placed upon the development of Lot 29, due to the construction of the building approximately 3 feet higher than what was shown on the original approved building permit plans. As you are aware, Gorrill-Palmer Consulting Engineers, Inc. did not prepare the original site plans, but was retained by the Lot Owner to assist in the remedy of the situation.

Subsequent to the stop order, Mr. Lombardo, has retained Gorrill-Palmer Consulting Engineers, Inc. to provide a revised plan, which depicts the revised grades based upon the current garage finished floor elevation of 93.6 feet. As you know, Mr. Stewart, the owner of lot 28, has raised concerns relative to the possibility of drainage being directed toward his home from lot 29. The enclosed plan depicts a ditch along the lot 28 and 29 property line to direct flow away from lot 28 building. The plan also depicts a ditch within lot 29 adjacent to lot 30, such that future development on lot 30 can occur without additional flow being directed toward lot 30.

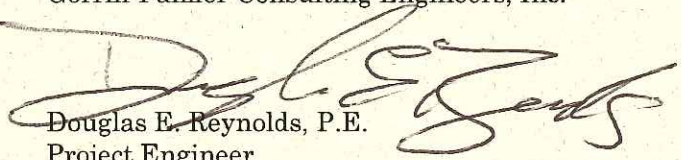
It is noted that the slope of the lot 29 driveway has been design based upon the MDOT maximum recommended grades. This driveway slope is steeper than what would normally be designed within this subdivision.

It is also noted that a catch basin and light pole are located within the driveway location on the previously approved plans, therefore the configuration of the drive has been altered, such that the catch basin headstone and transition curb can be installed

Please feel free to contact this office if you require any additional information or with any questions you may have.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.

  
Douglas E. Reynolds, P.E.  
Project Engineer

Cc: Mr. Jim Lombardo

DER/der/JN830/Reynolds3-26-04