



MAINE HOME  
DRAFTING SERVICES  
INC.  
P.O. BOX 4512  
PORTLAND, MAINE 04039  
(207) 831-1844 Tel

PROJECT NAME  
**SPEC HOUSE  
ONE**

PROJECT LOCATION  
PORTLAND, MAINE

BUILT BY

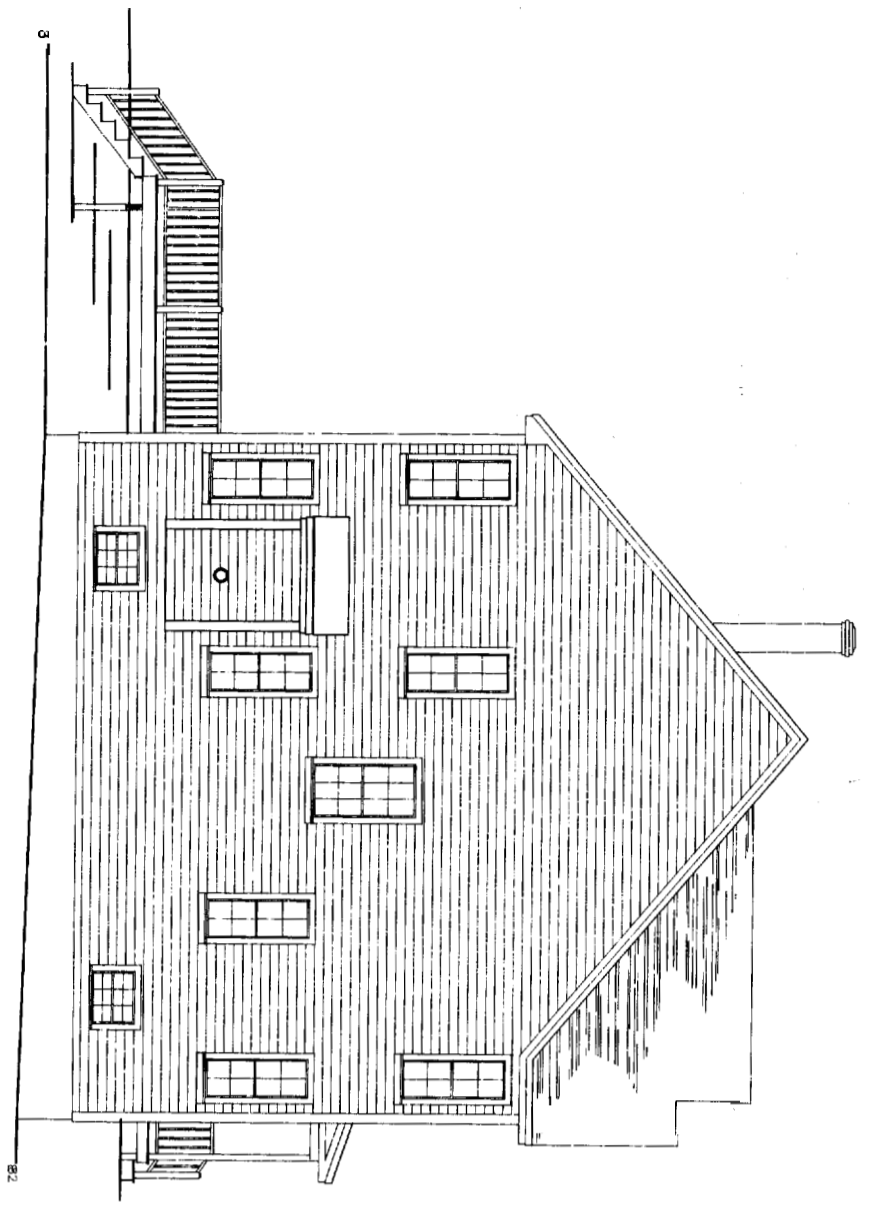
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JAN 28 2005  
RECEIVED

SHEET NAME  
**ELEVATIONS**

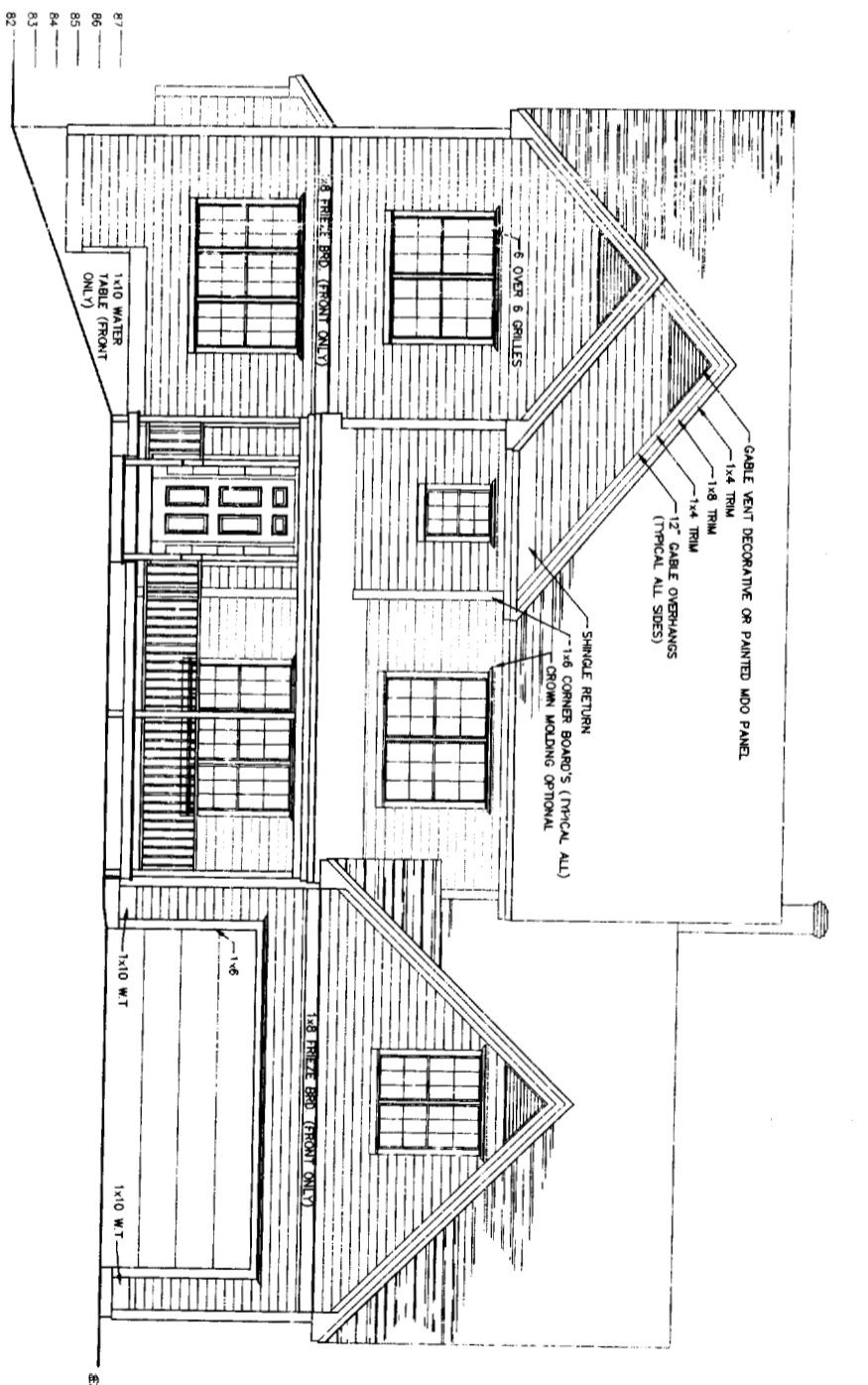
ALL DIMENSIONS IN FEET AND INCHES UNLESS NOTED OTHERWISE.  
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
SERIES OF DRAWINGS FOR CONSTRUCTION OF THIS HOUSE.  
FOR THE ONLY IN CONSTRUCTION WITH THE  
AND PLANS SHALL BE USED BY ARCHITECTS  
AND ENGINEERS THROUGHOUT THE SERVICE  
PERIOD OF THIS CONTRACT. M.H.D. SERVICES INC.

DRAWN BY: M.P.C.  
CHECKED BY: M.P.C.  
SCALE: AS-NOTED  
DATE: 12/01/2004  
FILE NUMBER: 04-0075  
REVISIONS:  
01-06-2005  
01-25-2005

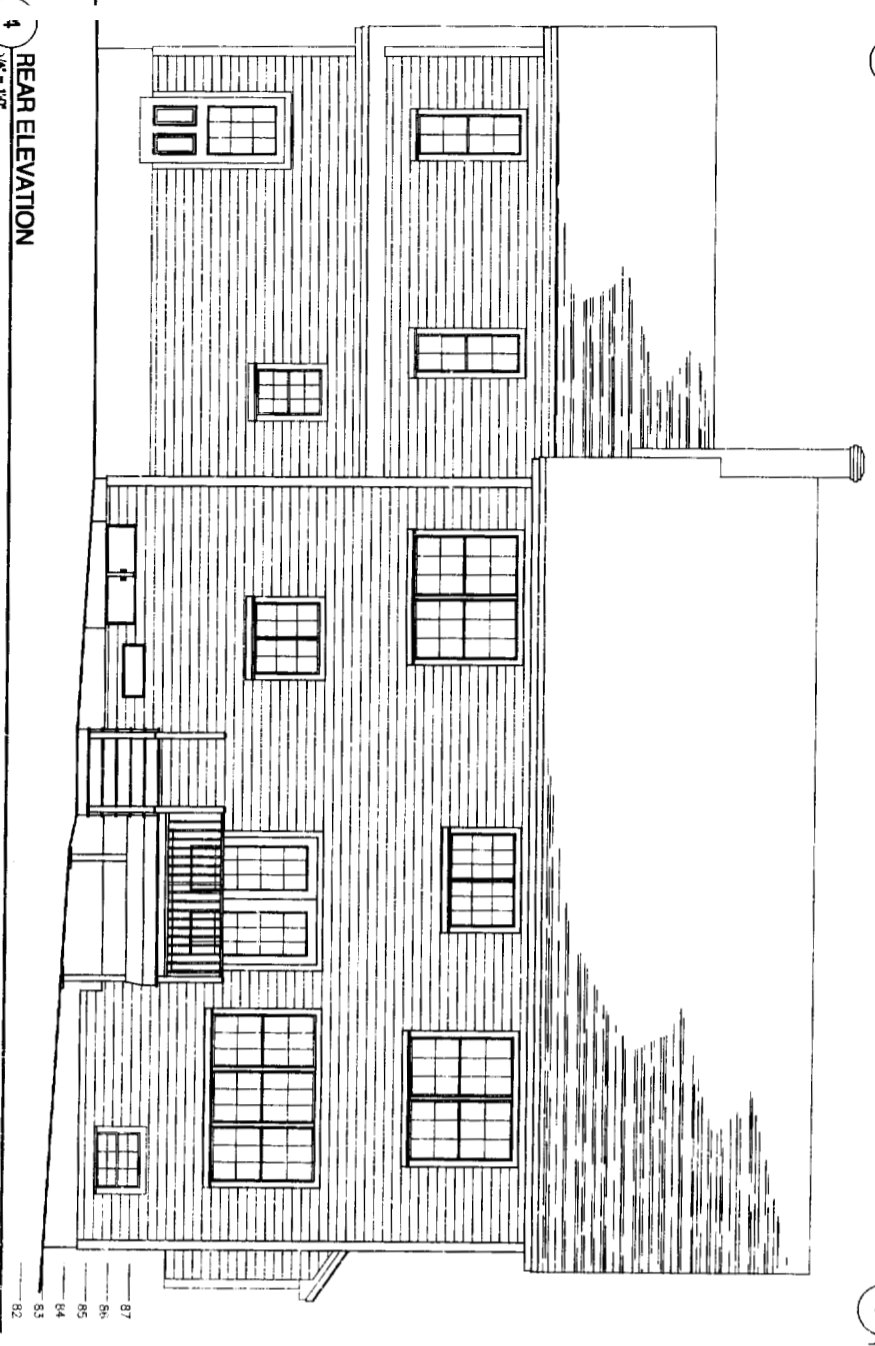
**A-1**



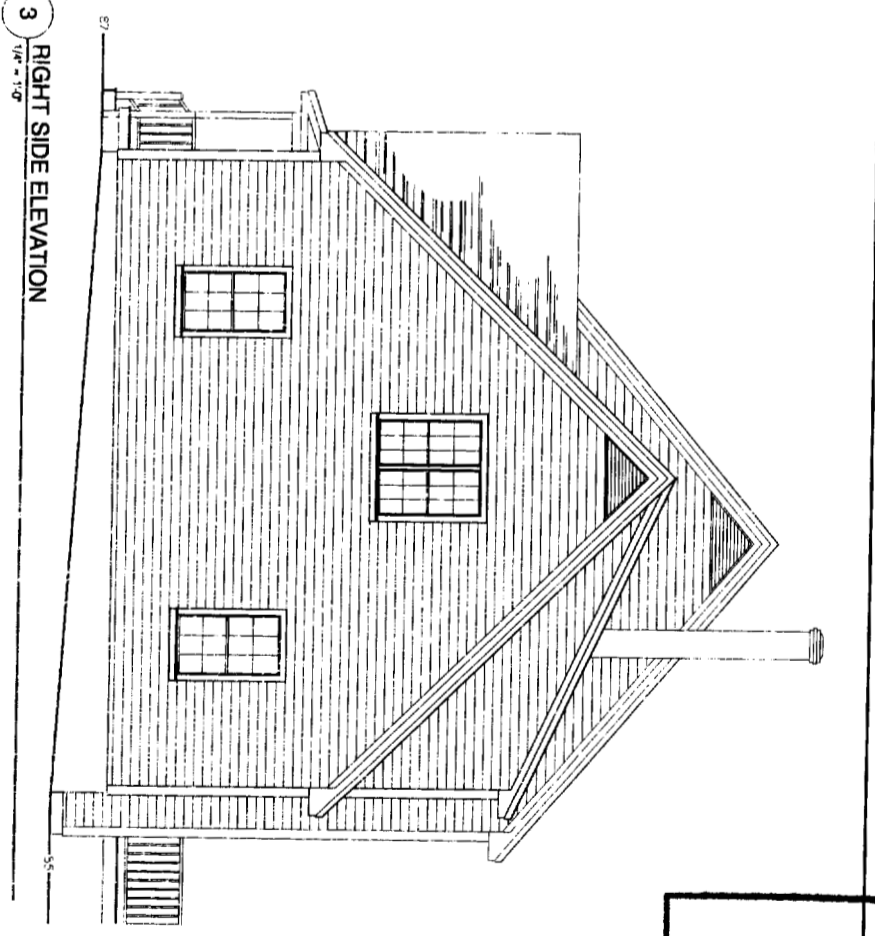
2 LEFT SIDE ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"



4 REAR ELEVATION  
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

NOTES:  
DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE.  
SOME MATERIALS AND METHODS OF CONSTRUCTION ARE NOT SHOWN OR SPECIFIED IN THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION OF MATERIALS AND METHODS OF CONSTRUCTION TO BE USED.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.  
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
SERIES OF DRAWINGS FOR CONSTRUCTION OF THIS HOUSE.  
FOR THE ONLY IN CONSTRUCTION WITH THE  
AND PLANS SHALL BE USED BY ARCHITECTS  
AND ENGINEERS THROUGHOUT THE SERVICE  
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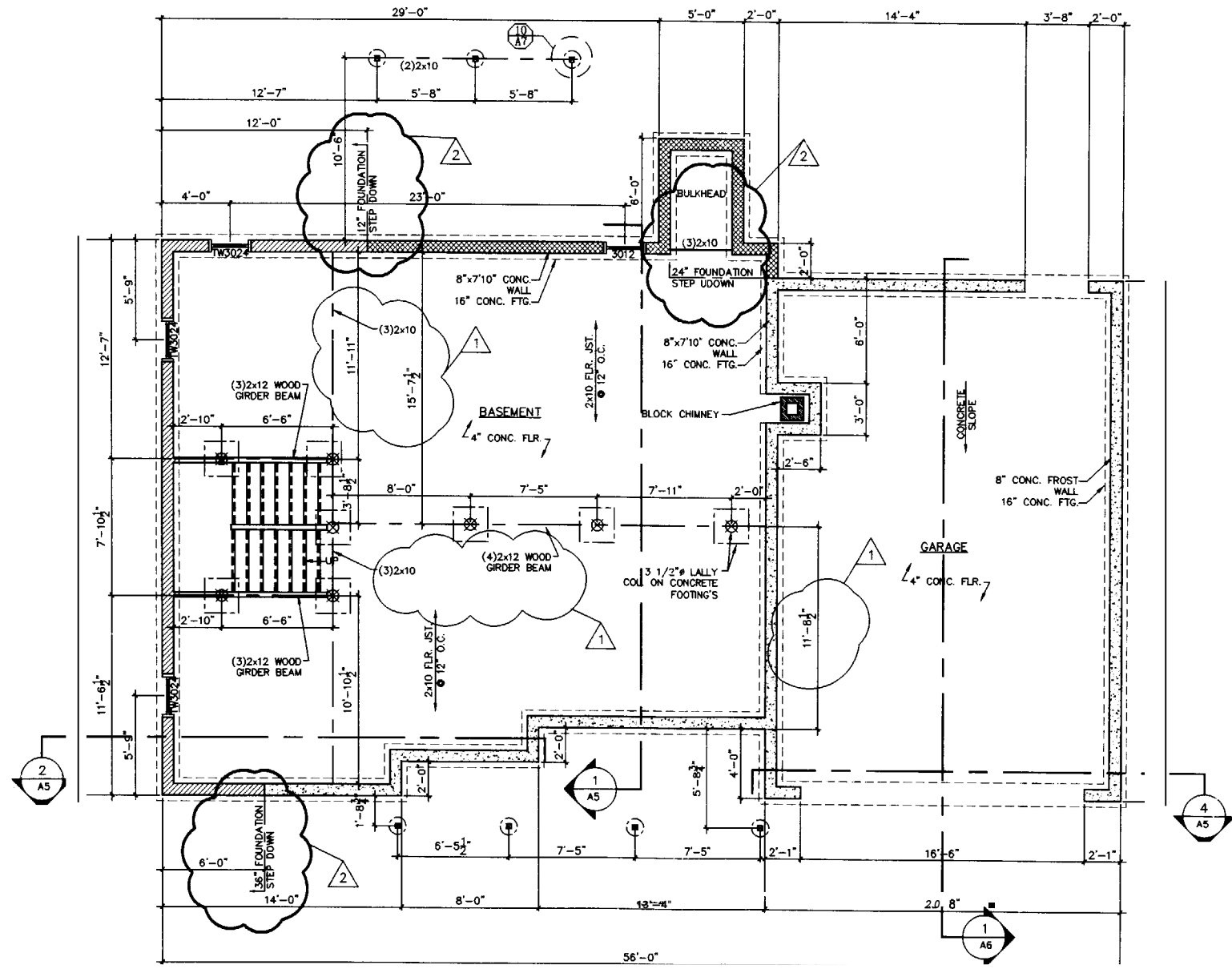
CLIENT

© ALL RIGHTS RESERVED  
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED AND ARE THE PROPERTY OF MAINE HOME DRAFTING SERVICES INC. AND WERE CREATED AND DEVELOPED FOR USE ON, OR IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN AND PLANS SHALL BE USED BY ANYONE FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF MAINE HOME DRAFTING SERVICES INC.

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CHECKED BY: M.P.C.

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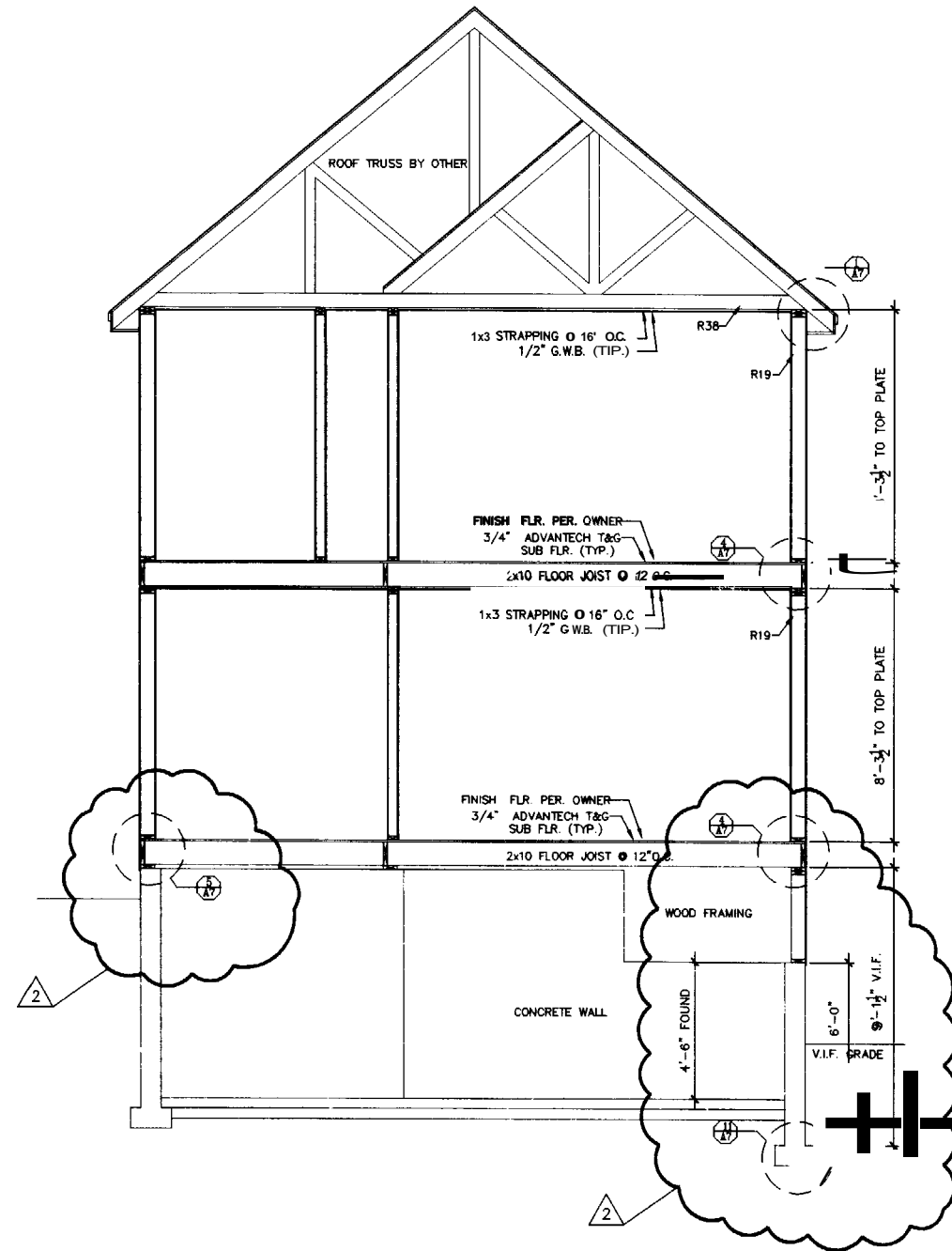
REVISIONS:  
1 01/06/05  
2 01/25/05



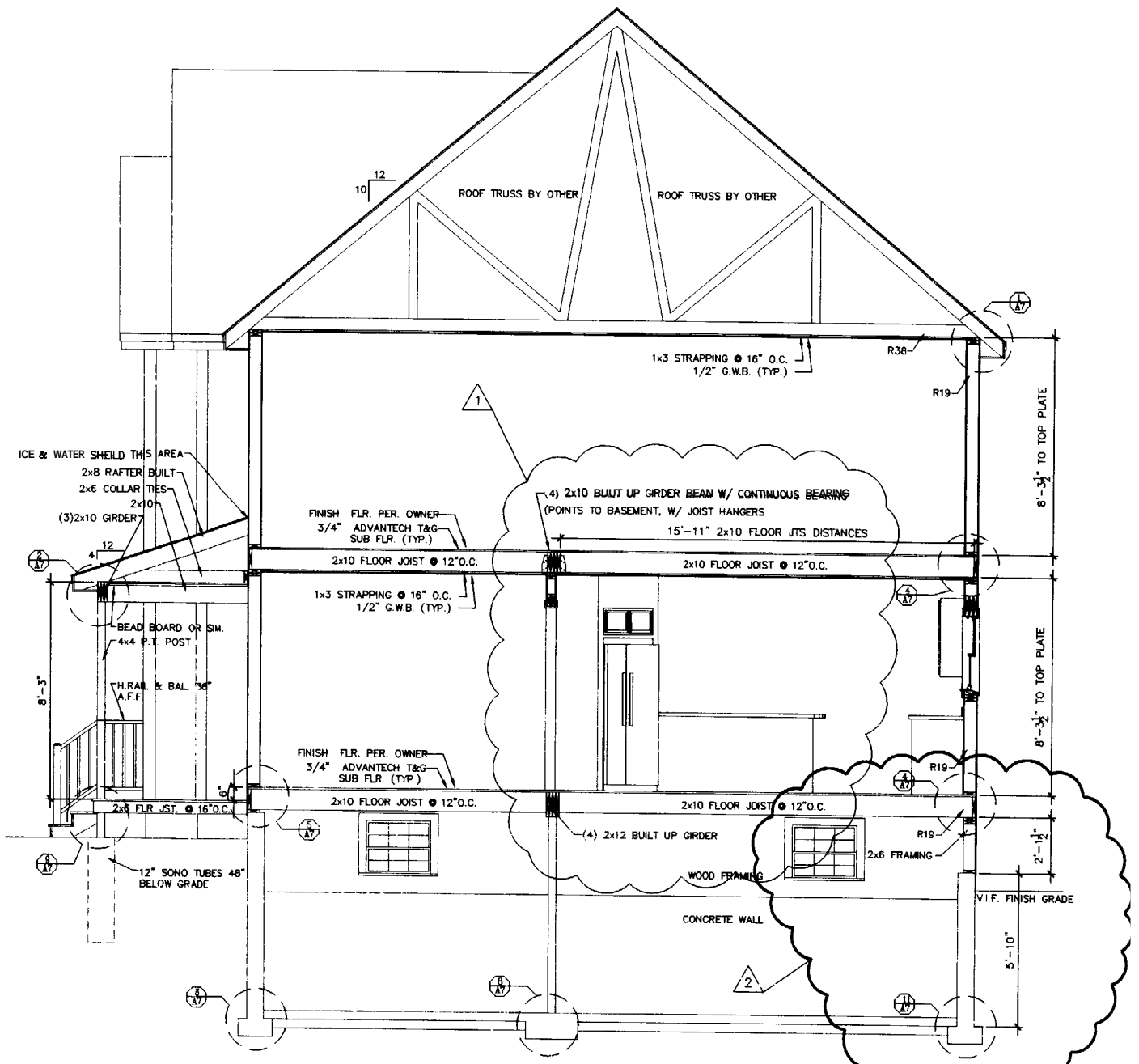
**1 FOUNDATION PLAN**  
1/4" = 1'-0"

NOTE:  
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CLIENT \_\_\_\_\_  
CLIENT \_\_\_\_\_



**2** CROSS SECTION  
3/8" = 1'-0"



**1** CROSS SECTION  
3/8" = 1'-0"

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CLIENT \_\_\_\_\_  
CLIENT \_\_\_\_\_



**MAINE HOME DRAFTING SERVICES INC.**  
 P.O. Box 4512  
 PORTLAND, MAINE 04039  
 (207) 831-1844 Tel

PROJECT NAME

**SPEC HOUSE ONE**

PROJECT LOCATION

PORTLAND, MAINE

BUILT BY

SHEET NAME

**DETAILS**

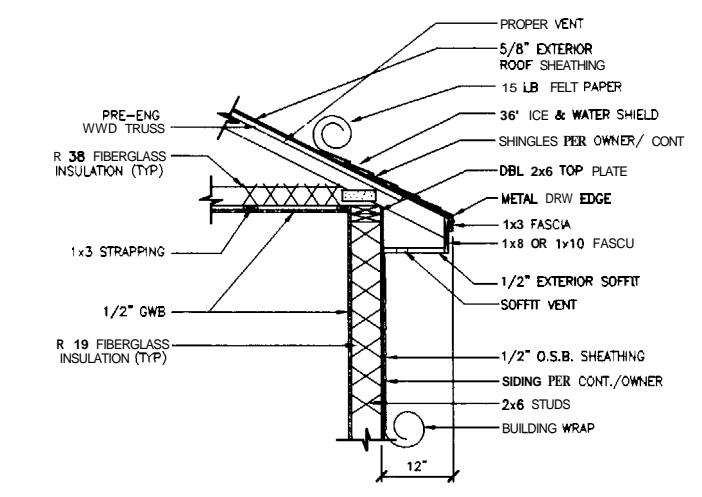
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DRAWN BY: M.P.C.  
 CHECKED BY: M.P.C.

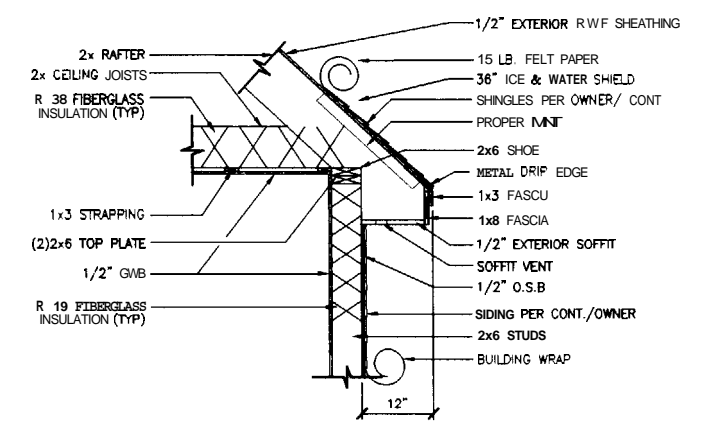
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 DATE: 12/01/2004  
 FILE NUMBER: 04-0075

REVISIONS:  
 01/25/05

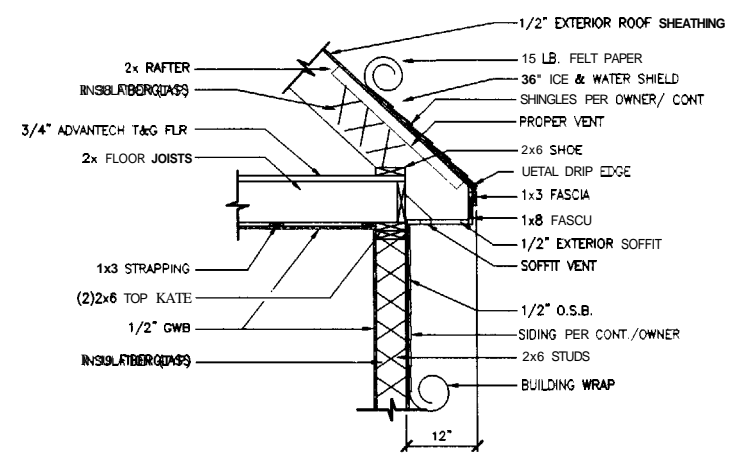
**A-7**



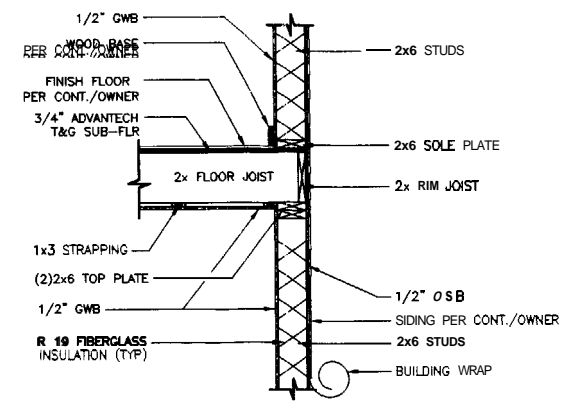
**1 SOFFIT DETAIL**  
 A7 3/4" = 1'-0"



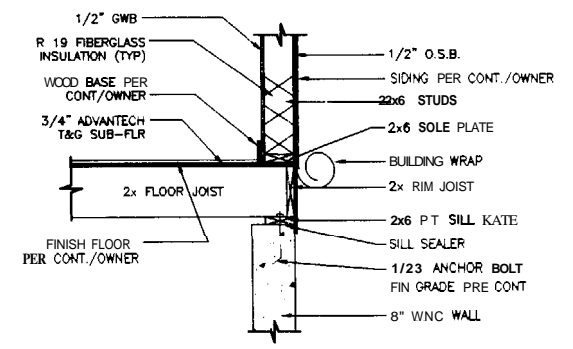
**2 SOFFIT DETAIL**  
 A7 3/4" = 1'-0"



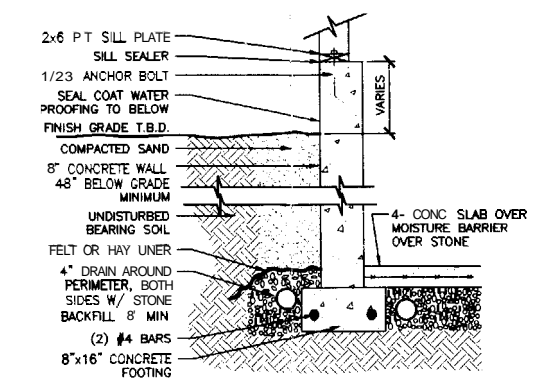
**3 SOFFIT DETAIL**  
 A7 3/4" = 1'-0"



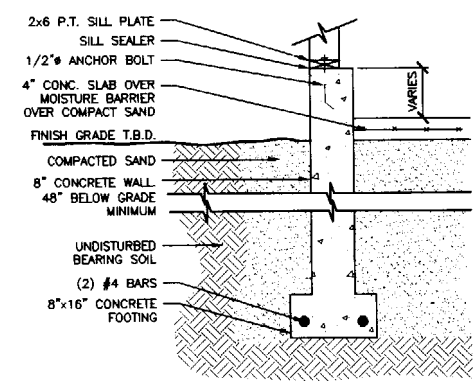
**4 EXTERIOR WALL DETAIL**  
 A7 3/4" = 1'-0"



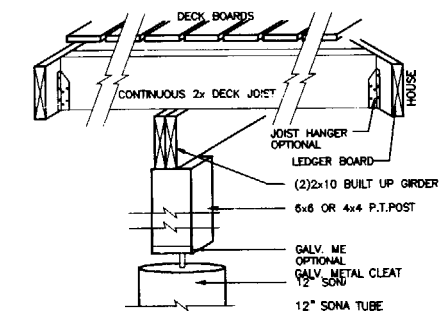
**5 WALL BASE DETAIL**  
 A7 3/4" = 1'-0"



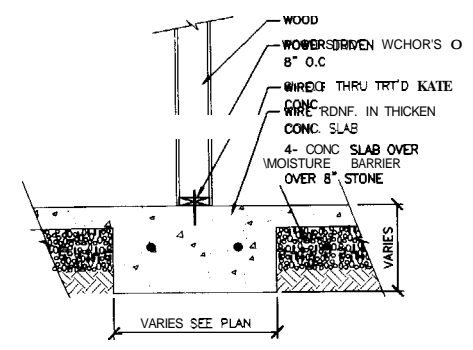
**6 SLAB & FROST WALL DETAIL**  
 A7 3/4" = 1'-0"



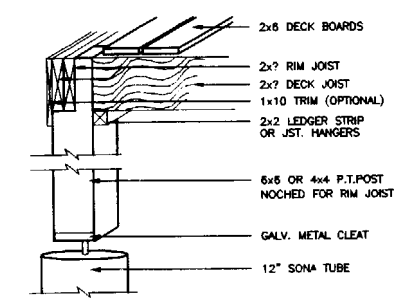
**7 SLAB & FROST WALL @ GARAGE**  
 A7 3/4" = 1'-0"



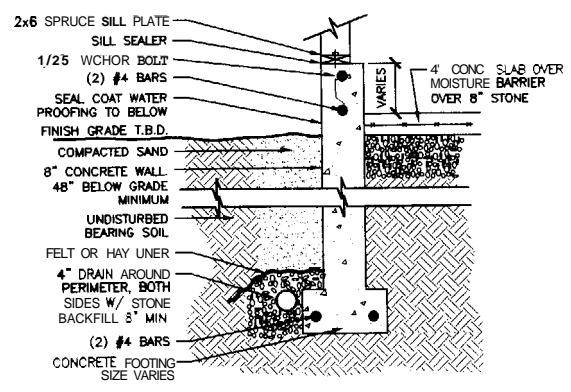
**10 DECK DETAIL**  
 A7 N.T.S.



**8 THICKEN SLAB DETAIL**  
 A7 3/4" = 1'-0"



**9 DECWFARMER PORCH DETAIL**  
 A7 N.T.S.



**11 SLAB & FROST WALL DETAIL**  
 A7 3/4" = 1'-0"

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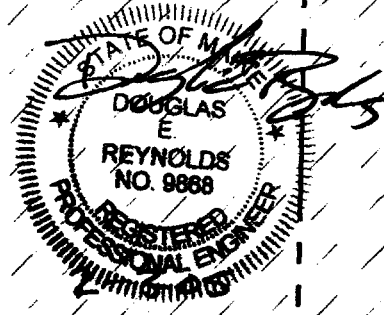
CLIENT \_\_\_\_\_  
 CLIENT \_\_\_\_\_



**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.

LOT 1  
127,955 S.F.  
2.94 AC.



DO NOT DISTURB AREA

14.0' SIDE SETBACK

LOT 2

REFER TO BUILDING PLANS FOR DIMENSIONS

2-STOREY SINGLE FAMILY RESIDENCE

2 CAR GARAGE

LOT OWNER TO H.A.M. BUILDING CORNERS LOCATED BY PROFESSIONAL LAND SURVEYOR

INV. 76.14 MIN.

COVERED PORCH

6" SAN L=70' S=0.0104 MIN.

2-2.5" CAL RED MAPLES OR EQUIVALENT (TYP)

3/4" DOMESTIC WATER SERVICE

DOUBLE CLEANOUT

PAVED DRIVEWAY WITH BARRIER FREE RAMP FOR SIDEWALK PER CITY OF PORTLAND DETAILS

HOPE AVENUE

1 inch = 30 ft.

Design: WHS	Date: 1/05
Draft: CAH	Job No.: 1186
Checked: DER	Scale: 1"=30'
File Name: 98089-1\98089-LOTS 1-14	

**GP** Gorrill-Palmer Consulting Engineers, Inc. INCORPORATED IN MAINE  
 170 JUDITH STREET, PORTLAND, ME 04101  
 CITY OF PORTLAND, ME

Drawing Name:	Lot 1 Site Layout & Utility Plan
Project:	PRESUMPSCOT RIVER PLACE

Figure No.	2
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FEB 3 2005  
**RECEIVED**

RECEIVED FEB 03 2005  
RECEIVED FEB 03 2005

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
2-3-05

*Handwritten notes:*  
most current used for zoning  
REVISION

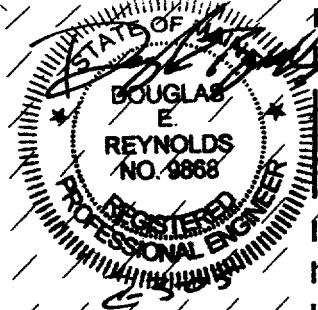


**NOTE:**

AT A MINIMUM, THE LOT OWNER SHALL CONTRACT WITH A PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT FOR THE FOLLOWING SITE INSPECTIONS THAT MUST BE CONDUCTED:

- SUBSEQUENT TO STAKING OF HOUSE AND DRIVEWAY, INSTALLATION OF SILT FENCE AND PRIOR CLEARING.
- UPON COMPLETION OF CLEARING AND GRUBBING.
- UPON COMPLETION OF ROUGH GRADING
- UPON COMPLETION OF FOUNDATION
- UPON COMPLETION OF FINAL GRADING
- UPON COMPLETION OF SURFACE RESTORATION
- PRIOR TO REMOVAL OF EROSION CONTROL MEASURES

THE PROFESSIONAL (CIVIL ENGINEER OR LANDSCAPE ARCHITECT) SHALL PROVIDE A WRITTEN STATEMENT TO THE PORTLAND PLANNING AUTHORITY UPON COMPLETION OF CONSTRUCTION OF LOT IMPROVEMENTS AFFIRMING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.



2'x2' 3/4" CRUSHED STONE APRON

FOUNDATION DRAIN AND OUTLET CAN NOT IMPACT DG. NOT DISTURB AREA

LOT 1  
127,955 S.F.  
2.94 AC.

FOUNDATION DRAIN GRAVITY TO DAYLIGHT

SILT FENCE

LOT OWNER SHALL HAVE DO NOT DISTURB AREA SURVEY LOCATED PRIOR TO CLEARING

SILT FENCE TO BE LOCATED 1' FROM SURVEY LOCATED DO NOT DISTURB AREA

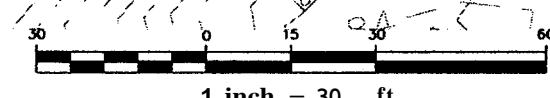
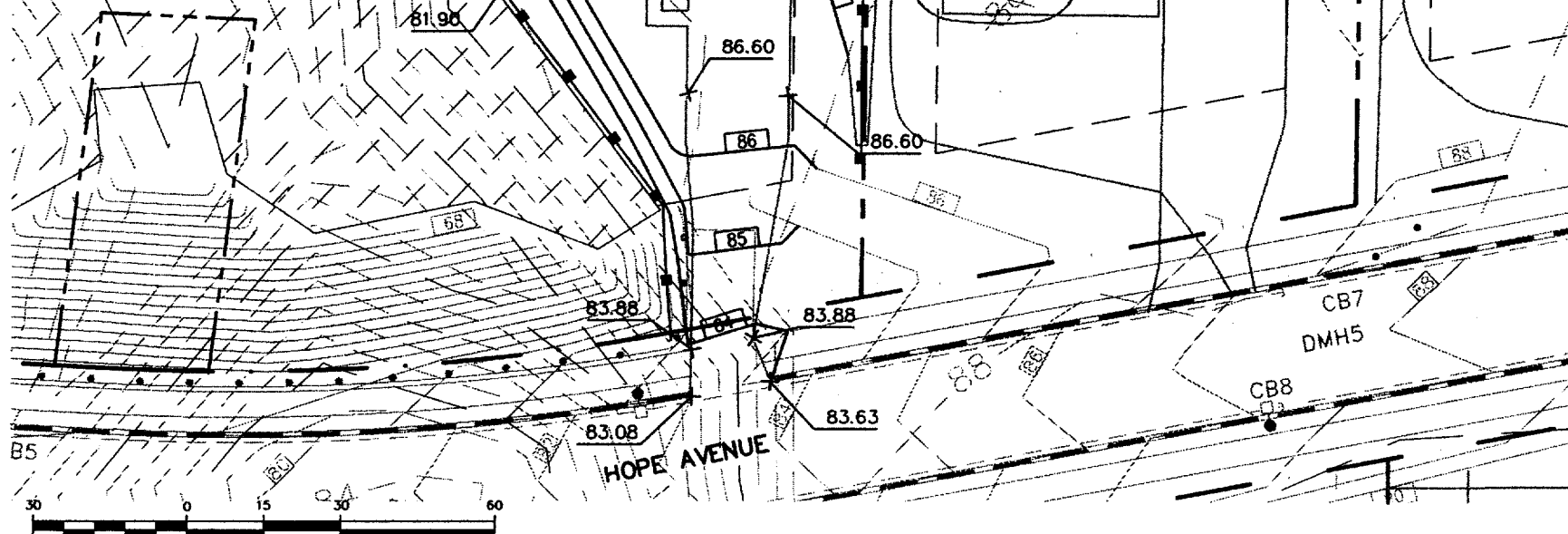
**NOTES:**

1. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MAINE BEST MANAGEMENT PRACTICES.
2. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.

2-STORY SINGLE FAMILY RESIDENCE  
F.F.E. 88.17

2 CAR GARAGE  
F.F.E. 87.00

LOT 2



Design: WHS	Date: 1/05
Draft: CAH	Job No.: 1166
Checked: DER	Scale: 1"=30'
File Name: 98069-1\98069-LOTS 1-14	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services

PO Box 1237  
10 Selby Road  
Orono, ME 04468  
Tel: 207-851-2222  
Fax: 207-851-2222

Drawing Name: Lot 1 Grading & Drainage Plan  
CITY OF PORTLAND INSPECTION  
CITY OF PORTLAND PRESUMPT SCOT RIVER PLACE

Figure No  
**3**

FEB 3 2005  
**RECEIVED**

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: \_\_\_\_\_