

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 174 Curtis Rd		Owner: Mull, Charles & Jennifer	Phone:	Permit No <b>980264</b>
Owner Address: SAA Pctld, ME 04103		Lessee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: Charles Messer		Address: P.O. Box 1980 Pctld, ME 04104		Phone: 775-3210
Past Use: 1-fam	Proposed Use: Same	<b>COST OF WORK:</b> \$ 2,900.00	<b>PERMIT FEE:</b> \$ 35.00	<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <b>MAR 24 1998</b> </div> <b>CITY OF PORTLAND</b> </div> Zone: <b>R-2</b> CBL: 389-G-025 Signature: <i>[Signature]</i>
		<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group <b>R-3</b> Type <b>513</b> <b>900496</b> Signature: <i>[Signature]</i>	
Proposed Project Description: Interior Renovations to existing garage		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		
Permit Taken By: Mary Gresik		Date Applied For: 18 March 1998		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Charles Messer ADDRESS: \_\_\_\_\_ DATE: 18 March 1998 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- Variance
  - Miscellaneous
  - Conditional Use
  - Interpretation
  - Approved
  - Denied

- Historic Preservation**
- Not in District or Landmark
  - Does Not Require Review
  - Requires Review

- Action:**
- Approved
  - Approved with Conditions
  - Denied

Date: \_\_\_\_\_

CEO DISTRICT 7

COMMENTS

3/30/98 - Spoke w/ owner, J. Mull, - Contractor not present - framing appears ok - only ? is which walls will be fire rated - he discussed w/ Sam - But left message to call me w/ info so I can overlay it on plan 10

3/30/98 - G.C. Called - fire wall placement ok - all conditions met - work complete

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

# BUILDING PERMIT REPORT

DATE: 23 MAR. 98 ADDRESS: 174 CURTIS RD. 389-G-025  
REASON FOR PERMIT: TO MAKE INTERIOR RENOVATIONS TO EXISTING GARAGE  
BUILDING OWNER: Jennifer & Charles Mull  
CONTRACTOR: Charles Messer  
PERMIT APPLICANT: Charles Messer  
USE GROUP A-3 BOCA 1996 CONSTRUCTION TYPE 5B

## CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1 \*8 \*10 \*24 \*27

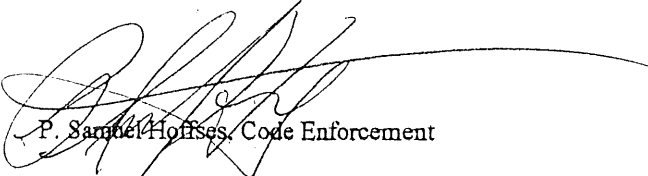
- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- X 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6".
- X 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code.
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
28. Please read and implement the attached Land Use-Zoning report requirements.
29. \_\_\_\_\_
30. \_\_\_\_\_
31. \_\_\_\_\_
32. \_\_\_\_\_

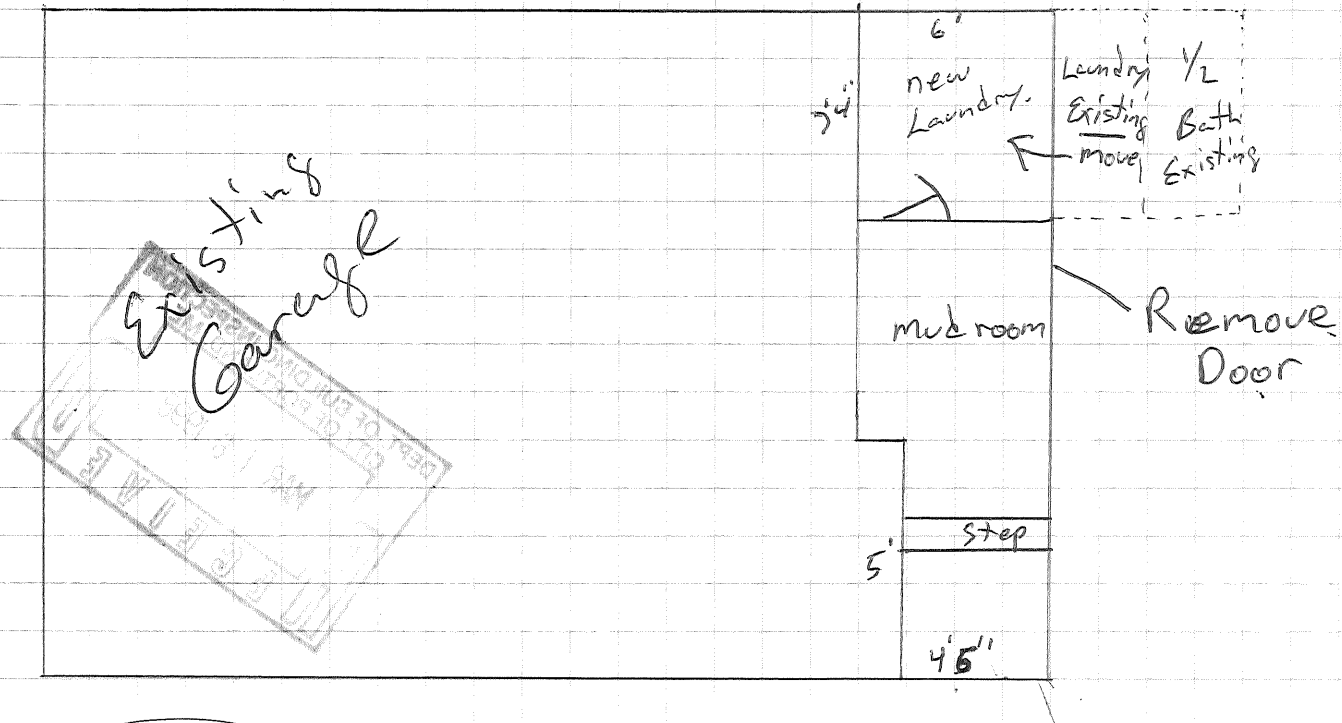


P. Samuel Hoffses, Code Enforcement

cc: Lt. McDougall, PFD  
Marge Schmuckal

174 Curtis Rd.

Jan + Charlie Mull  
8-28-1999



2x6 walls to garage  
2x4 interior walls  
2x6 floor joists 6 ft long 16 oc  
3/4" T+G sub-floor  
1/4" Luan underlayment.  
Fire Code Drywall on garage side  
6 1/4" Insulation

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

Charles W. & Jennifer T. Mull  
174 Curtis Road  
Portland, ME 04103

February 3, 1997

RE: 174 Curtis Road - 389-G-25 - R-2 Zone

Dear Mr. & Mrs. Mull,

It has come to our attention that you have constructed a deck and swimming pool at your address above without the proper permits. It would be necessary to apply immediately for these permits immediately within 10 working days. A belated fee will be charged.

Please note that there is some concern that this construction does not meet the zoning requirements, as far as setbacks, of the R-2 zone in which you are located.

When you come in to apply for a permit, it will be necessary to submitted a plot plan showing the building setbacks from the lot lines and a structural plans with dimensions showing how the deck was constructed. It will also be necessary to show us the pool criteria from the manufacturer. Our office is open from 7:00 am to 4:00 pm in order to apply for a permit. The permit fee is based on the cost of the work, with the belated fee added in.

If you have any questions regarding this matter, please do not hesitate to contact this office. If we do not hear from you within the designated time as stated above, this matter shall be turned over to our Corporation Counsel for any legal action.

Very Truly Yours,

Marge Schmuckal  
Zoning Administrator/  
Asst. Chief of Insp. Services

cc to: P. Samuel Hoffses, Chief of Insp. Services  
Joseph Gray, Jr., Dir. of Planning & Urban Dev.  
Kevin Carroll, Code Enforcement Officer



Applicant: Vesta Corp / Maria DeMillo

Date: 3/8/95

Address: 174 Curtis Rd.

Assessors No.: 389-G-25

CHECK LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-2

Interior or corner lot -

Use - Single family with attached garage  
2700 sq ft

Sewage Disposal -

Rear Yards - 25' req. / 38' 5" shown (from back of deck)

Side Yards - 1 story 12' req. / 2 stories 14' req. / 20' 26' shown

Front Yards - 25' req. / 26' shown

Projections - rear deck 10' x 12' / chimney on right side

Height - 35'

Lot Area - 10,000 sq ft

Building Area - MAX 20% lot coverage req.

Area per Family - 10,000 sq ft - ok

Width of Lot - 80' req. - 90' shown

Lot Frontage - 50' req. - 90' shown

Off-street Parking - GARAGE

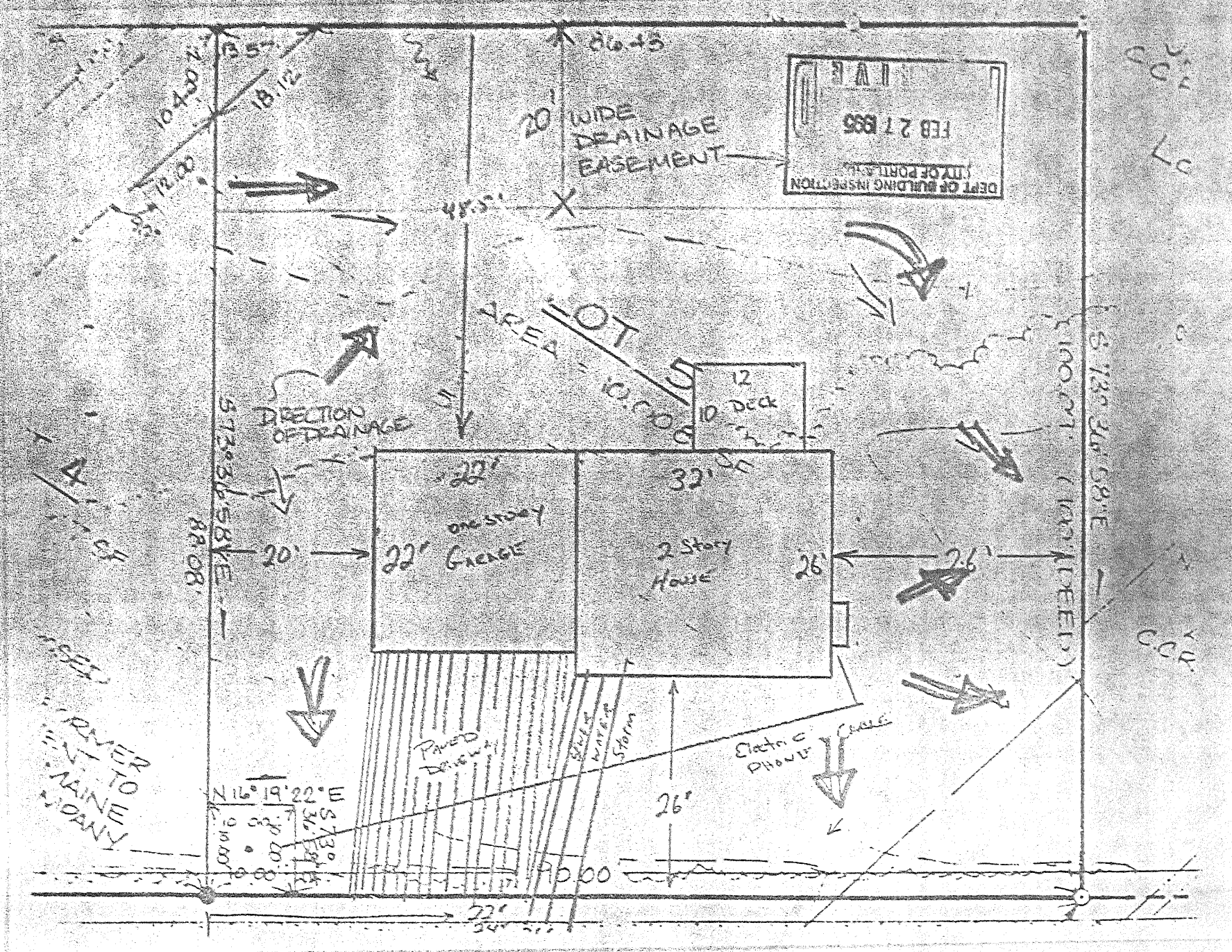
Loading Bays -

Site Plan - minor minor

Shoreland Zoning - N/A

Flood Plains - N/A





DEPT OF BUILDING INSPECTION  
 CITY OF PORTLAND  
 FEB 27 1995

20' WIDE DRAINAGE EASEMENT

22' one story GARAGE

12' x 10' Deck

2 Story House

DIRECTION OF DRAINAGE

Electric Allowance

Paved Driveway  
 Storm Sewer

S 57°30' 16" W  
 16' 19" 22"

NO USE OR MAINTENANCE OF THIS PROPERTY

5739 3/4 S B S AVE  
 RR 08

5739 3/4 S B S AVE (100' DEEP)

C.C.R.

20'

86.45

104.00  
 18.12  
 12.00

45.54

AREA LOT

10.00

26

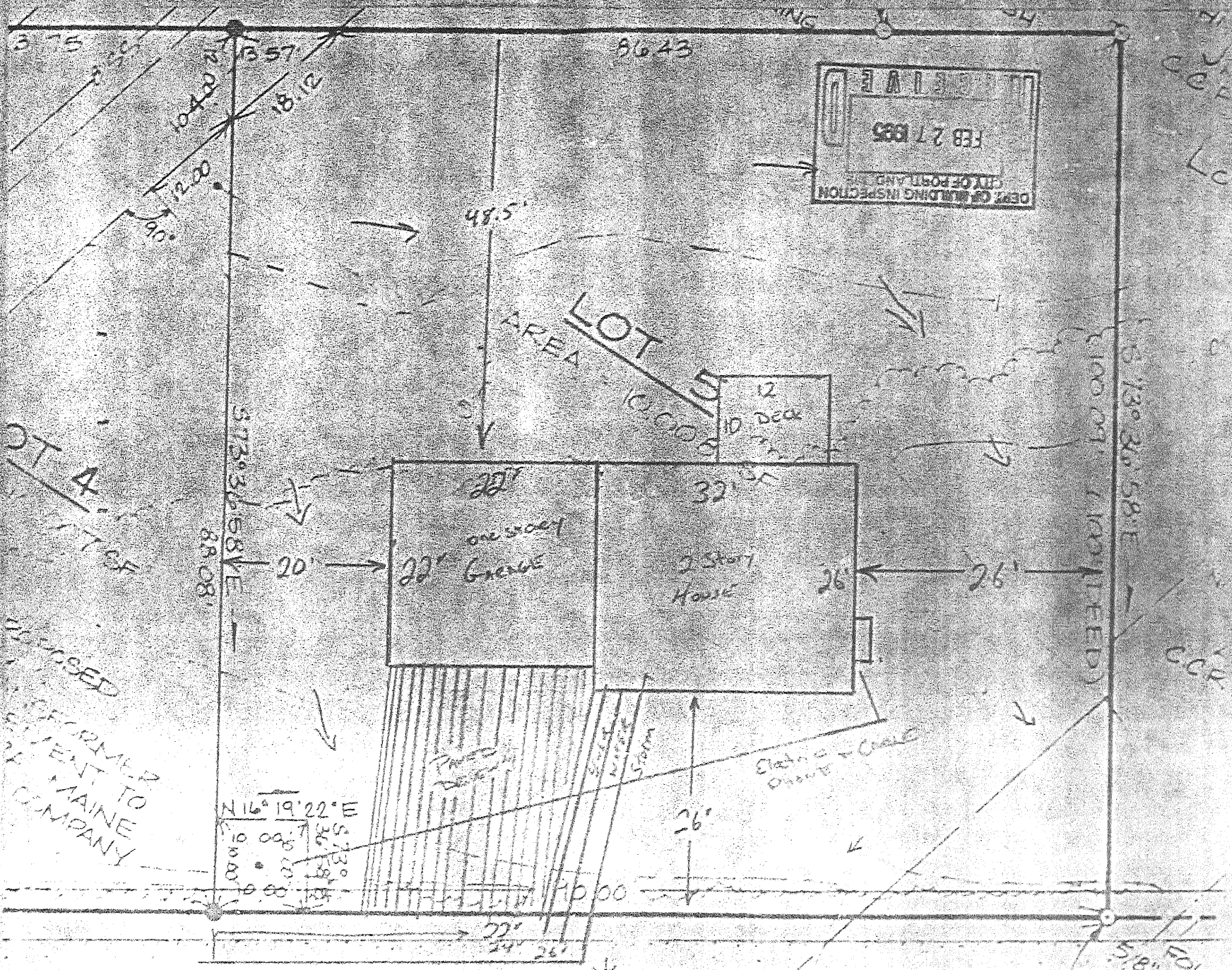
26'

90.00

22'

24'





DEPT OF BUILDING INSPECTION  
 FEB 27 1995  
 CITY OF PORTLAND, ME

CONSIDERED  
 REFERRED TO  
 MAINE  
 COMPANY

N 16° 19' 22"  
 E 57° 30'  
 10.000'

4' 20" COV  
 7'

CCR

5' 130' 30' 58" E  
 100' 09' 100' (FEED)

86.43

48.5'

573° 36' 58" E  
 88.08'

20'

22'

32'

26'

26'

26'

22'

24'

26'

5' 8" FO



**PLOT PLAN DATA  
LOT #5 CURTIS ROAD**

2 STORY GARRISON STYLE HOUSE 26' X 32'

1 STORY GARAGE 22' X 22'

FRONT SET BACK ----- 25.5'

LEFT SET BACK ----- 20'

RIGHT SET BACK ----- 26'

REAR SET BACK ----- 48.5'

SEWER 22' FROM LEFT SIDE LINE

WATER 24' FROM LEFT SIDE LINE

STORM 26' FROM LEFT SIDE LINE

SILL ELEVATION OF HOUSE - 2.0' ABOVE STREET LEVEL

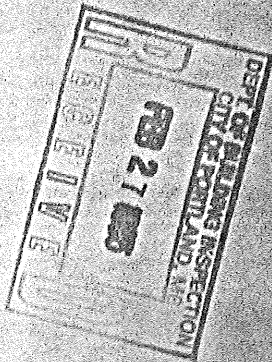
SILL ELEVATION OF GARAGE - 1.0' ABOVE STREET LEVEL

FRONT ELEVATION OF LOT - FROM 1.0' ABOVE STREET ELEVATION AT  
FOUNDATION SLOPING FORWARD TO LEVEL OF SIDEWALK

SIDE ELEVATION OF LOT - FROM 1.5' ABOVE STREET ELEVATION SLOPING  
TOWARDS FRONT OF LOT

REAR ELEVATION OF LOT - FROM 1.5' TO 2.0' TO 1.0' ABOVE STREET  
ELEVATION SLOPING TOWARDS FRONT AND RIGHT REAR

SQUARE FOOTAGE OF LOT - 10,000 SF



4 x 18

22 x 22 32 x 26

10/10  
10,000 # - 6/19/88

170-176

389-6-25

04103

174 Cuths Rd.

Mall

Charles W. J. Janssen

fire Code -

Ceiling of mud &  
laundry rooms -

any wall  
which abuts  
garage

*Closing - Lin Rated Street*

To Kerin  
Date 3/30 Time 12:18

**WHILE YOU WERE OUT**

M Chuck Messer

of \_\_\_\_\_

Phone 870-6067

TELEPHONED		PLEASE CALL	
CALLED TO SEE YOU		WILL CALL AGAIN	
WANTS TO SEE YOU		URGENT—RET. CALL	

Message 174 Curtis Rd.

\_\_\_\_\_

M. Grech

CLERK

*see reverse* →