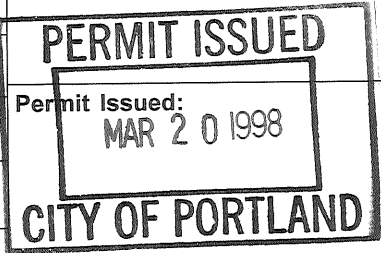


City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Permit No: **980254**

Location of Construction: 174 Curtis rd		Owner: Mr Charles & Jennifer		Phone:	
Owner Address:		Lessee/Buyer's Name:		Phone:	
Contractor Name: W Gagnon		Address: 61 Clapboard Rd Portland, ME 04103		Phone: 878-2028	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 25,000.00 PERMIT FEE: \$ 145.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: Type:	
Proposed Project Description: Construct Addition 18 x 24		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Signature: _____ Signature: _____	
Permit Taken By: Mary Gresik		Date Applied For: 16 March 1998			



Zone: CBL: 389-G-025

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Butch Gagnon* ADDRESS: DATE: 16 March 1998 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 7

COMMENTS

3/30/98 - Setbacks ok w/ Lines by Foundation Contractor - 8 Wall ok depth ok.
'12" colon to Entry Wall 18" @ Vertical - Keyway & rebar on footing (E)

4-3-98 Back-fill inspection, perimeter drain in & out, gravel, waterproofing and mesh
Applied as req'd. OK to backfill. Amy Powers

5-20-98 - Framing ok - ok to Close (E)

6-18-98 - Call for final - not Ready - reflash and chimney -
Seeding not on - grading, as Required not done. (E)

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 19 March 98 ADDRESS: 174 Curtis Rd. (389-G-025)
REASON FOR PERMIT: To Construct a 18x24' addition
BUILDING OWNER: Mull, Charles & Jennifer
CONTRACTOR: W.W. Gagnon
PERMIT APPLICANT: Butch Gagnon
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5-B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *3, *8, *9, *10, *12, *16, *24, *26, *27, *28, *29, *30, *31, *32

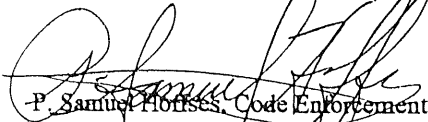
1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code.
- X 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- X 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- X 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- X 28. Please read and implement the attached Land Use-Zoning report requirements.
- X 29. As per our conversation on 19 March 1998 you will submit a design sheet on the proposed Floor Trusses to this office before work begins
30. The proposed Addition ^{Foundation} must be pinned into the existing Foundation.
31. Waterproofing & Damp proofing & Foundation drains shall be accordance with sections 1813.0 & 1813.5.2 of the City's building Code.
32. You stated you would be cutting a door through the existing Foundation - therefore a Lintel must be designed for this opening.


P. Samuel Hibbs, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal

LAND USE - ZONING REPORT

ADDRESS: 174 Curtis Rd DATE: 3/18/98

REASON FOR PERMIT: can construct an addition

BUILDING OWNER: Charles & Jennifer Mull C-B-L: 389-G-25

PERMIT APPLICANT: Butch Gagnon

APPROVED: with conditions DENIED: _____
#5, #9, #10

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.

9. Other requirements of condition This is Not AN Approval for another dwelling unit. You shall not install additional kitchen equipment (such as sinks, refrigerator, stove, microwave, kitchen counter)

10. The grade as shown on the plans shall be maintained. Any change may affect what is considered the height of the structure & therefore affect the setback requirements

Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

* cc: to Charles & Jennifer Mull, 174 Curtis Rd.

Applicant: Butch Gagnon

Date: 3/18/98

Address: 174 Curtis Rd

C-B-L: 389-G-25

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Enghy - 1995

Zone Location - R-2 - 30' R/W shown on Assessor's map on rear

Interior or corner lot -

Proposed Use/Work - Addition on Right Side 18' x 24'

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25' req

Rear Yard - 25' req

Side Yard - 12' req

Projections -

Width of Lot -

Height - 1 story addition

Lot Area -

10,008 sq ft shown on Assessor's

Lot Coverage/ Impervious Surface -

20% MAX = 2001.6 sq ft MAX

Area per Family -

26 x 32 = 832

4 x 18 = 72

22 x 22 = 484

16 x 10 = 100

(New) 18 x 24 = 432

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

N/A

1920 sq ft

shall remain 1 family

OK

BEARINGS AS STATED ON THIS PLAN ARE REFERENCED TO TRUE NORTH PER PLAN REFERENCE #4

MAGNETIC

MERLY
D
-176

LOT 3
AREA = 10,005 SF

NOW OR FORMERLY
WILFRED W. & NANCY J.
GAGNON
C.C.R.D. 6740-137

LOT 7

LOT 4
AREA = 10,007 SF

PROPOSED
10' x 10'
TRANSFORMER
EASEMENT TO
CENTRAL MAINE
POWER COMPANY

LOT 5
AREA = 10,008 SF

PROPOSED SEWER
SERVICE EASEMENT
TO LOT 5

NOW OR FORMERLY
JOHN S. & DEBRA A.
JENSEN
C.C.R.D. 7119-232

LOT 8

NOW OR FORMERLY
ROBERT L.
ADAM
C.C.R.D. 3356-277

FOUND:
5/8" REBAR
W/ CAP
R/S: #1155

VALVE
PIT
PORTLAND WATER DISTRICT
EASEMENT
(CCRD)



LAND USE CONSULTANTS, INC.
LAND PLANNERS • ENGINEERS • SURVEYORS
ONE INDIA STREET PORTLAND, MAINE 04101
207 • 772 • 8392

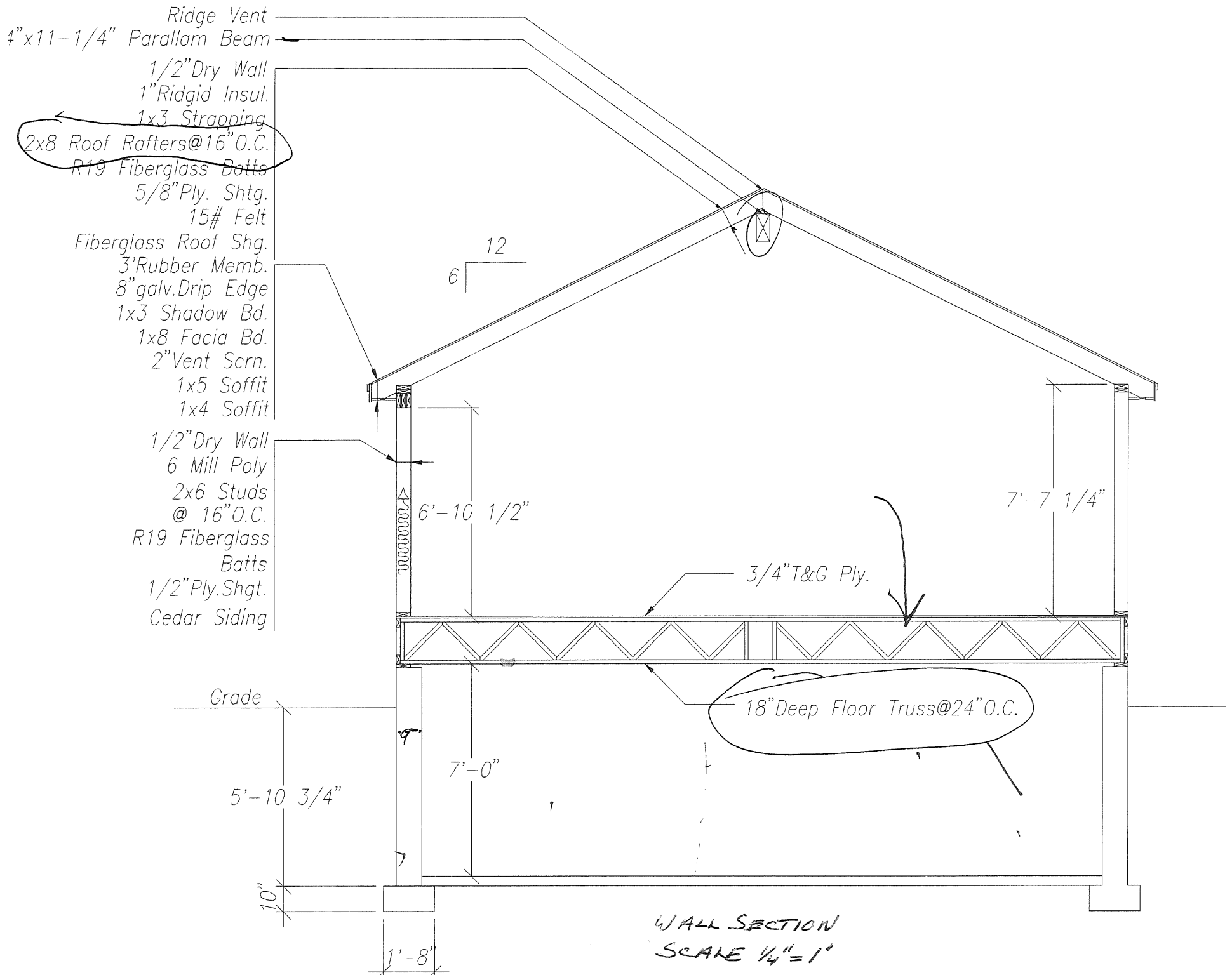
SEAL

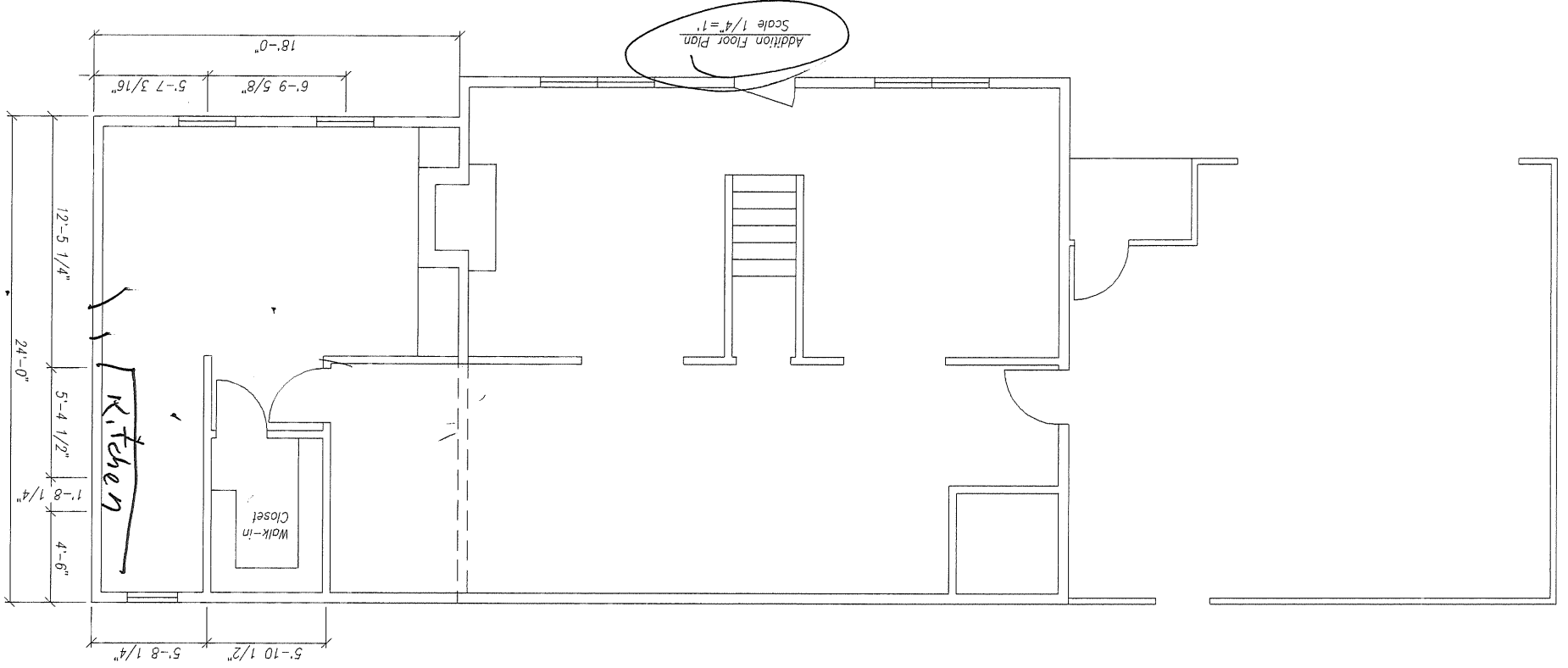
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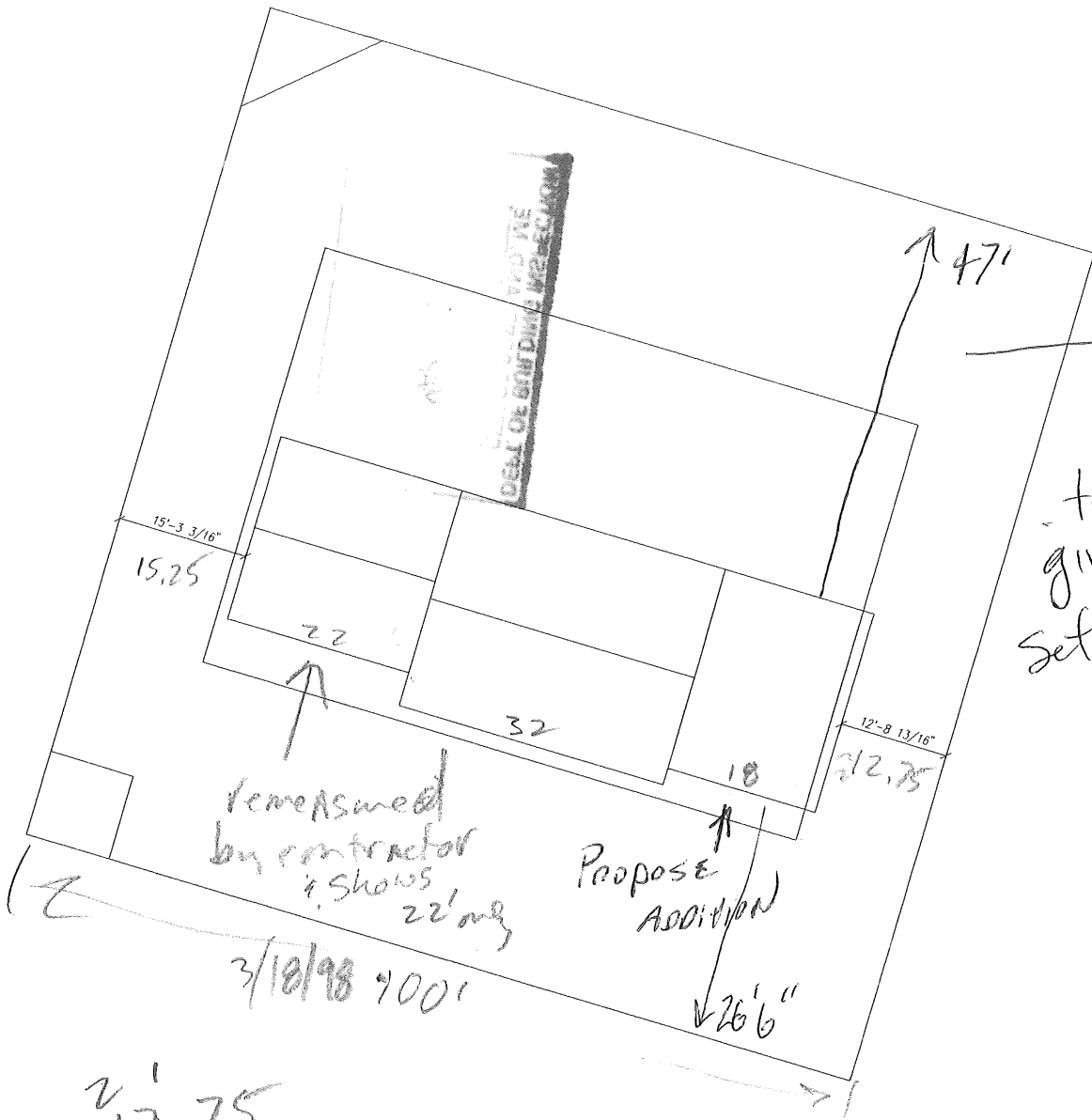
PREPARED FOR
RECORD OWNERS:

GREGORY, JR., & NORMA M. ST. ANGELO
134 CURTIS ROAD, PORTLAND, MAINE 04103

ite







→ notations
 per Butch Gagnon
 telephone call
 giving me the
 setbacks 3/18/98

remeasured
 by contractor
 & shows
 22' only
 3/18/98 9001

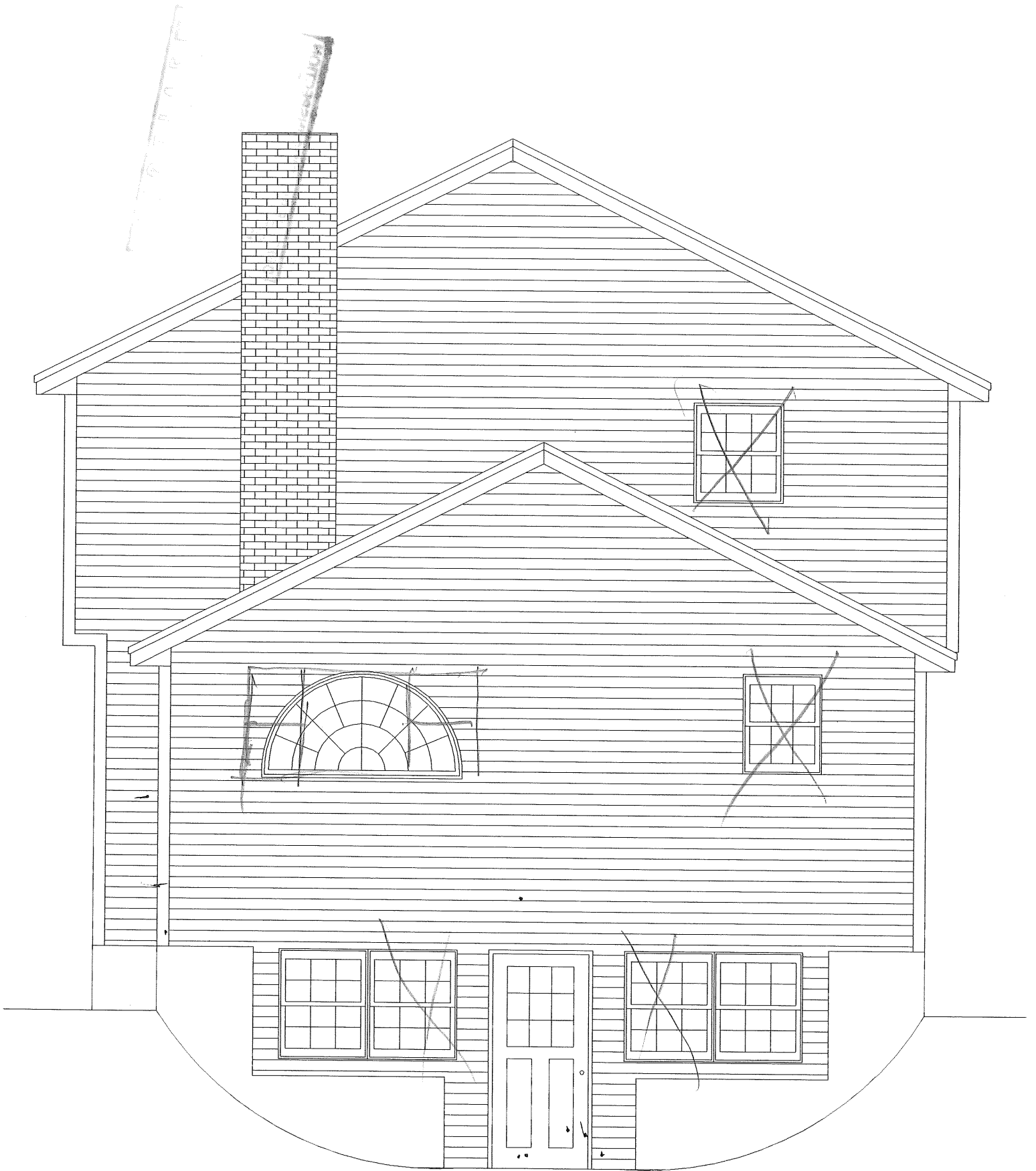
Propose
Addition

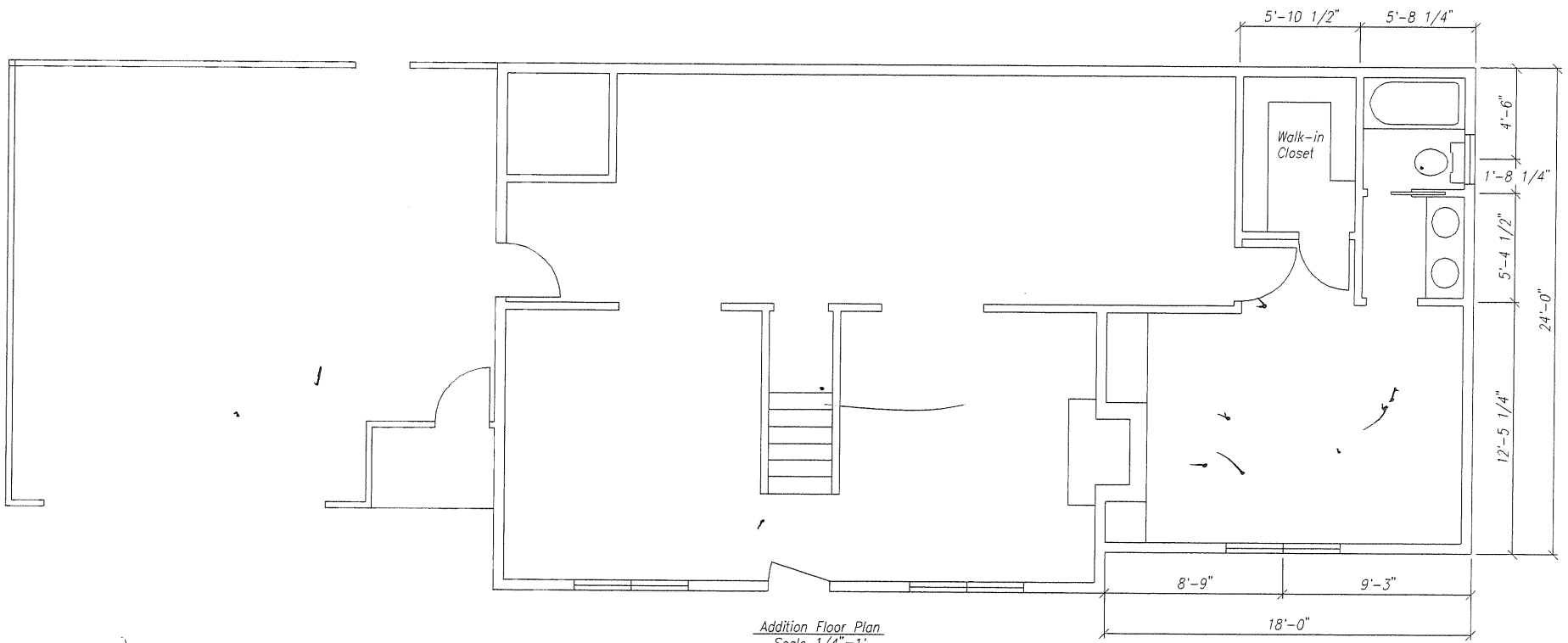
2'
 12.75
 15.25
 22.
 32.
 18

 100.00

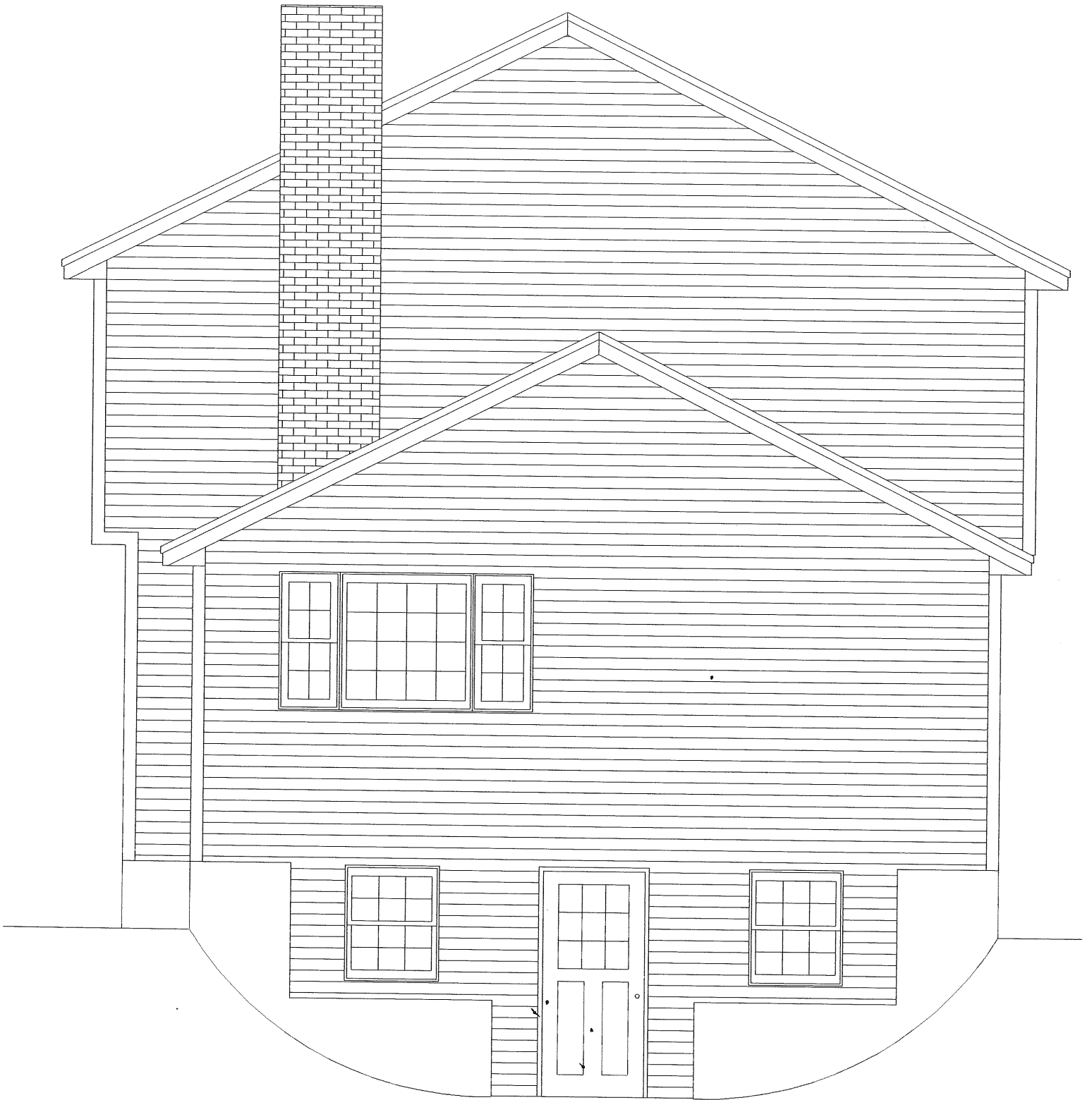
3/18/98

notified the contractor
 that I needed front &
 rear setbacks



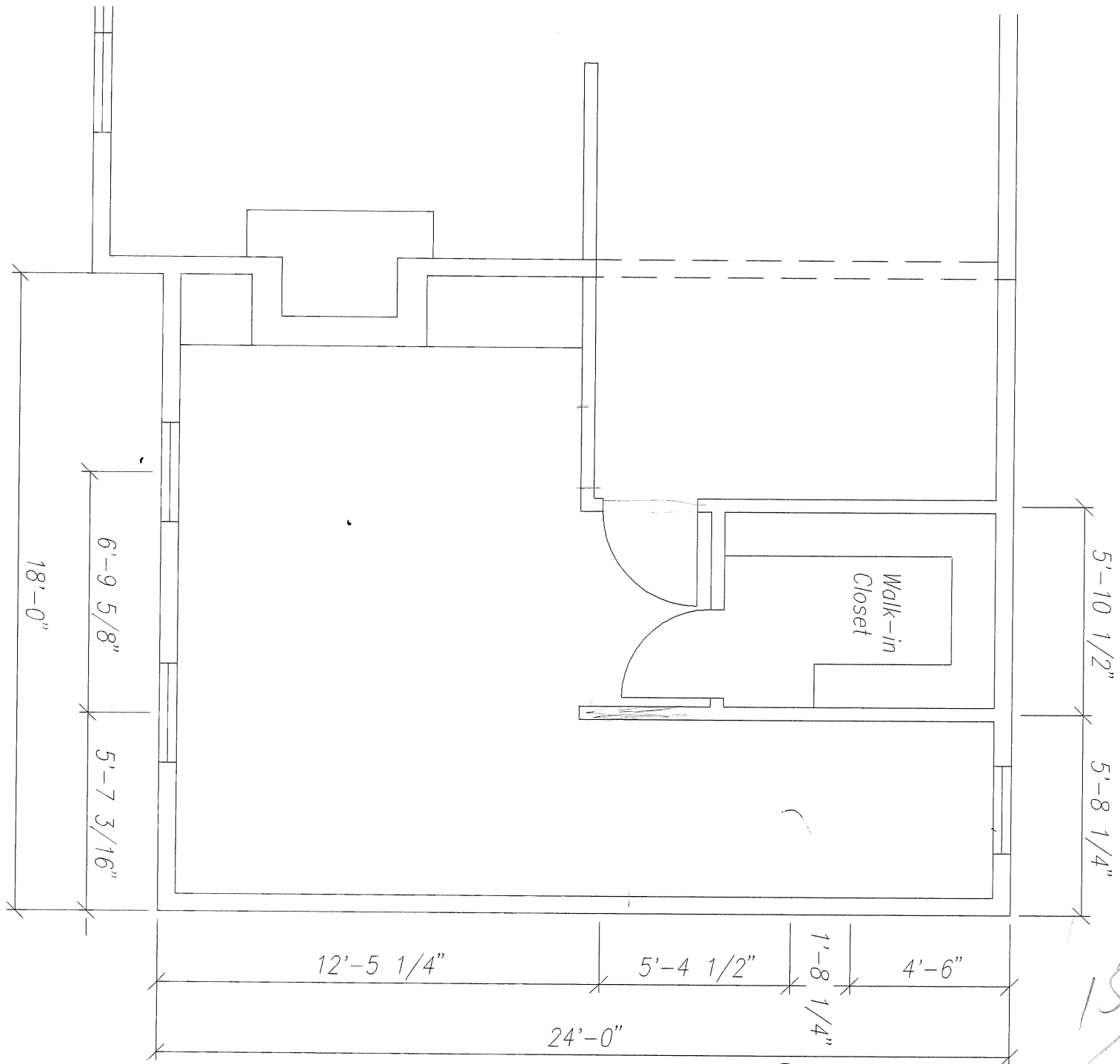


Addition Floor Plan
 Scale 1/4" = 1'



East Elevation
Scale 1/4" = 1'





— Basement 3

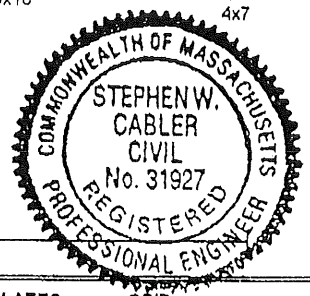
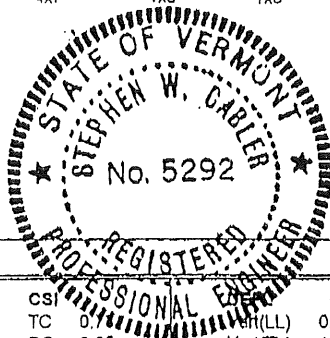
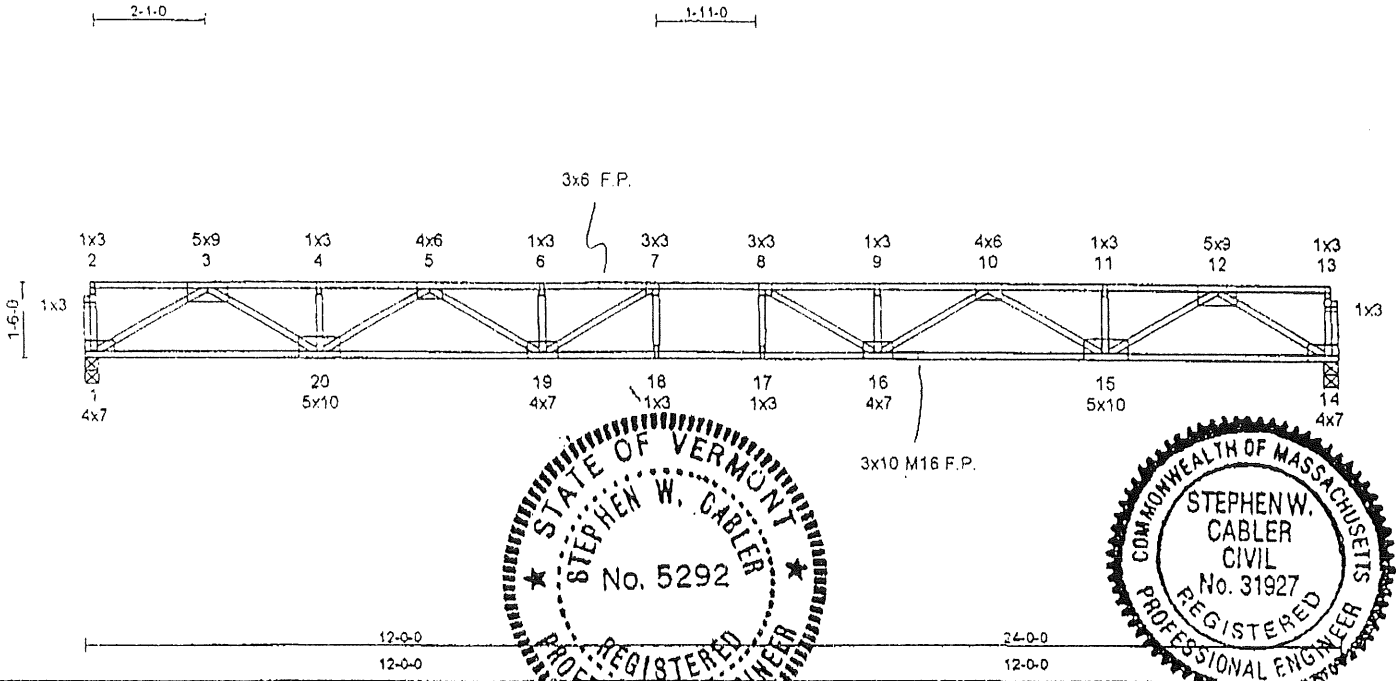
151

Job	Truss	Truss Type	Gly	Ply	
MCFLOOR	F01	FLOOR	100	1	stock non cant floors

S519167

WOOD STRUCTURES INC.

3.3T s Feb 14 1997 MiTek Industries, Inc. Wed Mar 19 12:57:36 1997 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	(in)	(loc)	Vdef	PLATES	GRIP
TCLL 40.0	Plates Increase	1.00	TC 0.7	17/18	425	M20(20ga)	169/117	
TCDL 10.0	Lumber Increase	1.00	BC 0.95	17/18	283	M18(16ga)	108/64	
BCLL 0.0	Rep Stress Incr	YES	WB 0.86	14	n/a			
BCDL 10.0	Code	TPI	(Matrix)	Min Length / LL def = 360				Weight: 139 (lbs)

LUMBER
 TOP CHORD 4 X 2 SYP No.2ND
 BOT CHORD 4 X 2 SYP M 19
 WEBS 4 X 2 SPF-S Stud *Except*
 20-3 4 X 2 SPF No.2, 12-15 4 X 2 SPF No.2

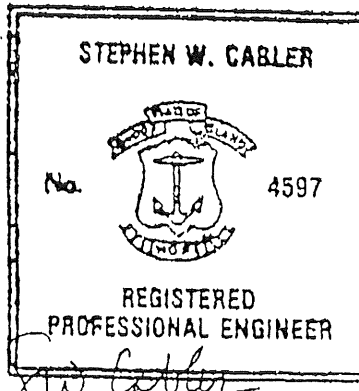
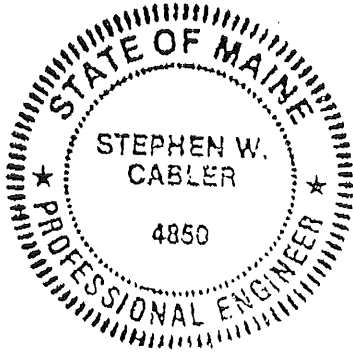
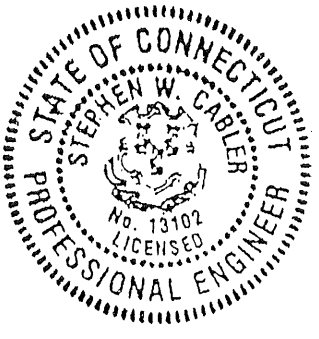
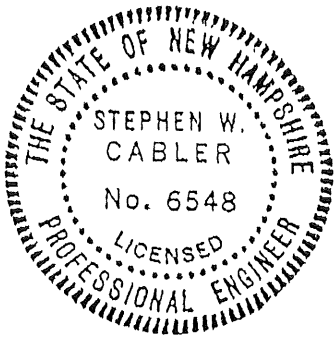
BRACING
 TOP CHORD Sheathed or 3-7-12 on center purlin spacing, except end verticals.
 BOT CHORD Rigid ceiling directly applied, or 10-00-00 on center bracing.

REACTIONS (lbs/size) - 14=1417/0-3-8, 1=1418/0-3-8

FORCES
 TOP CHORD 1-2=-87, 2-3=0, 3-4=-3665, 4-5=-3665, 5-6=-5659, 6-7=-5659, 7-8=-6057, 8-9=-5659, 9-10=-5659, 10-11=-3665, 11-12=-3665, 12-13=0, 13-14=-87
 BOT CHORD 14-15=2021, 15-16=4831, 16-17=6057, 17-18=6057, 18-19=6057, 19-20=4831, 1-20=2021
 WEBS 1-3=-2400, 3-20=1953, 4-20=-207, 5-20=-1386, 5-19=982, 6-19=-216, 7-19=-469, 7-18=36, 8-17=36, 8-16=-469, 9-16=-216, 10-16=982, 10-15=-1386, 11-15=-207, 12-15=1953, 12-14=-2400

NOTES
 1) Recommend 2x6 strongbacks, on edge, spaced at 10 feet on center and fastened to each truss with 3-10d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.
 2) All plates are M20 plates unless otherwise indicated.
 3) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard



MAR 20 1997



