

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 150 Curtis Rd (Lot 2)		Owner: Vesta Corp	Phone: 878-2721	Permit No: 941149
Owner Address: F.O. Box 1464 Pctd, ME 04104		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: Vesta Corp		Address:		Phone:
Past Use: Vacant Lot	Proposed Use: Single Family Dwelling	COST OF WORK: \$ 55,000	PERMIT FEE: \$ 50 + 295.	Permit Issued: PERMIT ISSUED OCT 21 1994 Zone: CITY OF PORTLAND 389 Congress Street
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A3 Type 5A DOCA 93 Signature: <i>[Signature]</i>	
Proposed Project Description: Construct Single Family Dwelling as per plans		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By Mary Gresik	Date Applied For: 13 Oct 94		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Intercetation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Maria DiMillo* ADDRESS: *P.O. Box 1464* DATE: *13 Oct 94* PHONE: *878-2721*
 19 Oct 94 Bldg Prmt

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____
 White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT **7**
M. Jordan

Action:
 Approved
 Approved with Conditions
 Denied
 Date: *10/20/94*



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date 16 Nov 94, 19__
 Receipt and Permit number 10626

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: XXXXXXXX 150 Curtis Rd (Lot #2)
 OWNER'S NAME: Vesta Corp ADDRESS: _____

	FEES
OUTLETS:	
Receptacles <u>70</u> Switches <u>40</u> Plugmold <u>2</u> ft. TOTAL _____	22.40
FIXTURES: (number of)	
Incandescent <u>24</u> Fluorescent _____ (not strip) TOTAL _____	4.80
Strip Fluorescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground <u>x</u> Temporary _____ TOTAL amperes <u>200</u>	15.00
METERS: (number of) <u>1</u>	1.00
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ <u>1</u> Water Heaters _____	
Cook Tops _____ Disposals _____ <u>1</u>	
Wall Ovens _____ Dishwashers _____ <u>1</u>	
Dryers _____ <u>1</u> Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	8.00
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, et. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE: _____
 FOR REVOCATION OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____
TOTAL AMOUNT DUE: 51.20

INSPECTION:
 Will be ready on Temp 11/16 PM, 19__; or Will Call _____
CONTRACTOR'S NAME: Place Elec
ADDRESS: 166 Summit St
TEL.: 797-9954
MASTER LICENSE NO.: 10626 **SIGNATURE OF CONTRACTOR:** Charles K. [Signature]
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 21 Dec 94, 19____
 Receipt and Permit number 10626

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 150 Curtis Rd
 OWNER'S NAME: Vesta Crop ADDRESS: _____

		FEES
OUTLETS:		
Receptacles _____	Switches _____	Plugmold _____
ft. TOTAL _____		_____
FIXTURES: (number of)		
Incandescent _____	Flourescent _____	(not strip) TOTAL _____
Strip Flourescent _____	ft. _____	_____
SERVICES:		
Overhead _____	Underground _____	Temporary _____
TOTAL amperes _____		15.00
METERS: (number of) _____		
MOTORS: (number of)		
Fractional _____	_____	_____
1 HP or over _____	_____	_____
RESIDENTIAL HEATING:		
Oil or Gas (number of units) _____	_____	_____
Electric (number of rooms) _____	_____	_____
COMMERCIAL OR INDUSTRIAL HEATING:		
Oil or Gas (by a main boiler) _____	_____	_____
Oil or Gas (by separate units) _____	_____	_____
Electric Under 20 kws _____	Over 20 kws _____	_____
APPLIANCES: (number of)		
Ranges _____	Water Heaters _____	_____
Cook Tops _____	Disposals _____	_____
Wall Ovens _____	Dishwashers _____	_____
Dryers _____	Compactors _____	_____
Fans _____	Others (denote) _____	_____
TOTAL _____		_____
MISCELLANEOUS: (number of)		
Branch Panels _____	_____	_____
Transformers _____	_____	_____
Air Conditioners Central Unit _____	_____	_____
Separate Units (windows) _____	_____	_____
Signs 20 sq. ft. and under _____	_____	_____
Over 20 sq. ft. _____	_____	_____
Swimming Pools Above Ground _____	_____	_____
In Ground _____	_____	_____
Fire/Burglar Alarms Residential _____	_____	_____
Commercial _____	_____	_____
Heavy Duty Outlets, 220 Vol! (such as welders) 30 amps and under _____	_____	_____
over 30 amps _____	_____	_____
Circus, Fairs, etc. _____	_____	_____
Alterations to wires _____	_____	_____
Repairs after fire _____	_____	_____
Emergency Lights, battery _____	_____	_____
Emergency Generators _____	_____	_____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____		INSTALLATION FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____		DOUBLE FEE DUE: _____
TOTAL AMOUNT DUE: _____		15.00

INSPECTION:
 Will be ready on 12/27 9:00, 19____; or Will Call _____
 CONTRACTOR'S NAME: Place Electric
 ADDRESS: 166 Summit St Ptd, ME
 TEL.: 797-9954
 MASTER LICENSE NO.: 10626 SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

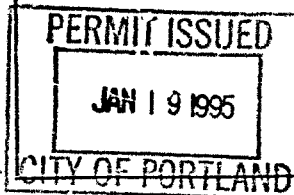
INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 1/18/95



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 150 Curtis Rd. Use of Building 1-fam No. Stories New Building Existing " Name and address of owner of appliance Vesta Corp Installer's name and address Lou LaVopa Pl & Htg 781-4389 Telephone 2 Whitney Farm Way- Falmouth, ME 04105

General Description of Work

To install heating system

IF HEATER, OR POWER BOILER

Location of appliance cellar Any burnable material in floor surface or beneath? no If so, how protected? Kind of fuel? #2 oil Minimum distance to burnable material, from top of appliance or casing top of furnace 2 ft From top of smoke pipe 2 ft From front of appliance 6 ft From sides or back of appliance 5 ft Size of chimney flue 6 inch Other connections to same flue no If gas fired, how vented? Rated maximum demand per hour 1 g.l.d. Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Bockett Labelled by underwriters' laboratories? yes Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner concrete Size of vent pipe 1 1/2 inch Location of oil storage cellar Number and capacity of tanks one 275-gal tank Low water shut off yes Make Safeguard No. OEM-17C Will all tanks be more than five feet from any flame? yes How many tanks enclosed? n/a Total capacity of any existing storage tanks for furnace burners 275

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

cost of work: \$4000

Amount of fee enclosed? \$40

APPROVED:

Handwritten signature/initials

CS 306

INSPECTION

FILE

Signature of Installer

APPLICANT'S ASSESSOR'S

Handwritten signature: M.M. Jordan

- 1. 1/2" OIL PIPE
2. 1/2" VENT PIPE
3. Kind of load
4. Burner rigidity & support
5. Name & Label - master oil burner license: #3520
6. Retrote control
7. High limit control
8. Main cutoff switch
9. Low water cutoff
10. High limit control
11. Piping support & protection
12. Valves in supply line
13. Capacity of oil tanks
14. Oil tanks support
15. Oil tanks support
16. Instruction books
17. Oil leaks
18. Adequate ventilation
19. Smokepipe to combustibles
20. Manual control switch

NOTES

Blank lined area for notes.

Permit No. 952041
Location 150 Curtis Rd
Owner W. H. ...
Date of permit 1-19-95
Approved 1-23-95

Blank lined area for notes.

Blank lined area for notes.

- 1. 1 1/2" FILL PIPE
- 2. 1 1/4" VENT PIPE
- 3. Kind of hoar
- 4. Burner rigidity & support
- 5. Name & Label
- 6. Remote control
- 7. High limit control
- 8. Main cutoff switch
- 9. Low water cutoff
- 10. High limit control
- 11. Piping support & protection
- 12. Valves in supply line
- 13. Capacity of tanks
- 14. Tank rigidity & support
- 15. Oil gauges
- 16. Int. fusion cord
- 17. Oil leak
- 18. Adequate ventilation
- 19. Size of pipes
- 20. Thermal control switch

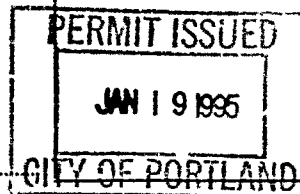
950041

FILL IN AND SIGN WITH INK



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 1/13/95



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 150 Curtis Rd. Use of Building 1-1-1 No. Stories 1 No. Existing Building Existing
Name and address of owner of appliance 1234 5678
Installer's name and address Lou Lavoie 2 Mtg. 731-1234 Telephone 24105
General Description of Work

To install heating system

IF HEATER, OR POWER BOILER

Location of appliance cellar Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace 2 ft
From top of smoke pipe 2 ft From front of appliance 2 ft From sides or back of appliance 2 ft
Size of chimney flue 5 inch Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour 1000
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Backett Labelled by underwriters' laboratories? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2 inch
Location of oil storage cellar Number and capacity of tanks one 275-gal tank
Low water shut off yes Make Safeguard No. 9EM-170
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? 1/2
Total capacity of any existing storage tanks for furnace burners 275

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 5.00
Louis Lavoie
miscellaneous oil burner license:
10000

APPROVED:

Handwritten signature in a box

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 300

INSPECTION

FILE

Signature of Installer

APPLICANT'S

ASSESSOR'S COPY

Handwritten signature: Louis Lavoie

Handwritten initials: [E] M.M. J. d. 1995

950059



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED
JAN 26 1995
OF PORTLAND

Amendment No. 1
Portland, Maine, January 18, 1995

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 1149 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 150 Curtis Road Within Fire Limits? yes Dist. No. _____
Owner's name and address Vesta Corp. P.O. Box 1464 Portland 04104 Telephone 878-2721
Lessee's name and address _____ Telephone _____
Contractor's name and address self (same) Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building single family No. families _____
Last use vacant lot No. families _____
Increased cost of work none Additional fee \$25.00

Description of Proposed Work

to change from gable roof to hip roof

AS PER PLAN

1/19/95
PERMIT ISSUED WITH LETTER
[Signature]

Details of New Work

Is any plumbing involved in this work? No Is any electrical work involved in this work? No
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering asphalt
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber -- Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers. 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: R-Zione
1/25/95 - same setbacks req AS
original permit

Signature of Owner [Signature]
Approved: [Signature]
Inspector of Buildings

INSPECTION COPY - WHITE
APPLICANT'S COPY - YELLOW
FILE COPY - PINK
ASSESSOR'S COPY - GOLDEN

[7] 1/14/95 J. J. [Signature]

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray
Director

CITY OF PORTLAND

January 26, 1995

RE: 150 Curtis Road

Vesta Corp.
P. O. Box 1464
Portland, ME 04104

Dear Sir:

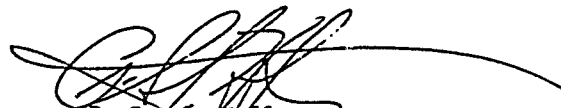
Your application to amend building permit 1149/94 from gable roof to hip roof, has been reviewed and a permit is herewith issued subject to the following requirement: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

The proposed masonry chimney shall meet the requirements of Chapter 12, Section 1206.0 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993)

If you have any questions regarding this requirement, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, January 18, 1995

950059
PERMIT ISSUED
JAN 26 1995
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 1149 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 150 Curtis Road Within Fire Limits? yes Dist. No.
Owner's name and address Vesta Corp. P.O. Box 1464 Portland 04104 Telephone 878-2721
Lessee's name and address Telephone
Contractor's name and address self (same) Telephone
Architect Plans filed No. of sheets
Proposed use of building single family No. families
Last use vacant lot No. families
Increased cost of work none Additional fee \$25.00

Description of Proposed Work

to change from gable roof to hip roof

AS PER PLAN

1/18/95 ok Historic Preservation Committee

Details of New Work

Is any plumbing involved in this work? No Is any electrical work involved in this work? No
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering asphalt
No. of chimneys Material of chimneys of lining
Framing lumber - Kind Dressed or full size?
Corner posts Sills Girt or ledger board?
Girders Size Columns under girders Size
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

PERMIT
Max. on centers

Approved: R-2 Zone
1/25/95 - same setbacks req AS original permit

Signature of Owner
Approved: Inspector of Buildings

INSPECTION COPY - WHITE FILE COPY - PINK
APPLICANT'S COPY - YELLOW ASSESSOR'S COPY - GOLDEN

[7] Mr. Jordan

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 285 3826

PROPERTY ADDRESS

Town Or Plantation: Northwood, Me.

Street Subdivision Lot #: 150 Rustic Rd

PROPERTY OWNERS NAME

Last: Vestalop First: Louis

Applicant Name: Louis Kallaya

Mailing Address of Owner/Applicant (if Different): P.O. Box 3065 WLD

PORT AND

Date Permit Issued: 12, 15, 94

5270 TOWN COPY

\$ 48 FEZ Paid to Fee Charged

Local Plumbing Inspector Signature: [Signature] L.P.L. # 2124

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: _____

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Main's Plumbing Rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: 1-23-95

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING

2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER — SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. OIL BURNERMAN

3. MFG'D. HOUSING DEALER / MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # 7, 8, 3, 0

Number	Type of Fixture	Column 2		Column 1	
		Number	Type of Fixture	Number	Type of Fixture
	Hosebibb / Silcock			2	Bath (and Shower)
	Floor Drain				Shower (Separate)
	Urinal			1	Sink
	Drinking Fountain			3	Wash Basin
	Indirect Waste			3	Water Closet (Toilet)
	Water Treatment Softener, Filter, etc.			1	Clothes Washer
	Grease / Oil Separator			1	Dish Washer
	Dental Cuspidor				Garbage Disposal
	Bidet				Laundry Tub
	Other: _____			1	Water Heater
	Fixtures (Subtotal) Column 2				Fixtures (Subtotal) Column 1
				12	Fixtures (Subtotal) Column 2
					Total Fixtures
					Fixtures Fee
					Transfer Fee
					Hook-Up & Relocation Fee
					Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

Number of Hook-Ups & Relocations: _____

Hook-Up & Relocation Fee: _____

TRANSFER FEE (\$6.00)

Page 1 of 1
HHE-211 Rev. 7/93

TOWN COPY

\$ 18.00

Notes

COMMENTS

- 11-4-94 Excavation underway (Called for Footing Insp obvious won't be ready today try Mon)
- 11-7-94 (Footing on 15 1/2" pads for (2 Columns) + garage Footings OK (can't tell set backs yet)
- 11-14-94 (Forms poured + backfilled prior to Notif section (Will call Westa Corp.)
Forms 8" walls Set backs appear OK
- 12-6-94 Framing Insp (2x8 Rafter 16"OC) (2nd floor 2x6 ceiling Joists 16"OC) (2x6 Wall Studs 16"OC)
(1st flr 2x10 Ceiling/Floor Joist 16"OC) (1st flr wall 2x6 16"OC) (All Headers 2x10)(3)
(1st Plumbing OK per plans) (Basement Ceiling Beam 2x12 (3)) (1st Joist 2x10 16"OC) (Cellar
dbl top plate over day light windows (no 11' adven) (Basement Waist Pipe 4" shed 10)
(Egress Windows OK per Code) (Garage 2x8 Rafters 16"OC) (2nd wall 16"OC) (2x6 ceiling Joists 16"OC)
- 1-18-95 (HWP Rod) Amendment need (1 hard detector base location Finney Rd)
Heating Permit needed, handrail in basement
- 2-20-95 Heating Permit Application Approved

Inspection Record

Type	Date
Foundation: backfilled prior to my Notification	11-14-94
Framing: OK per plans	12-6-94
Plumbing: 1st OK per plans	
Final: _____	_____
Other: _____	_____

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Applicant: Vestac Corp. Date: 13 Oct. 94
 P.O. Box 1464 Portland, ME 04104 Address of Proposed Site: 150 Curtis Rd. (Lot 2)
 Mailing Address: Single Family Dwelling Site Identifier(s) from Assessors Maps: _____
 Proposed Use of Site: 10,000 sq. ft. 1,316 sq. ft. Zoning of Proposed Site: _____
 Acreage of Site: 1/2 Ground Floor Coverage: _____ Proposed Number of Floors: 2
 Site Location Review (DEP) Required: () Yes () No Total Floor Area: 1,664 sq. ft.
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance.
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action

Explanation

- Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

COMPLIES

COMPLIES CONDITIONALLY

DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40-FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
10/26	MS	INT.		MS	PS	25	MS	25	MS	22.5	8000	976	2000	100	100	10	1

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS:

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

#210

Vesta Corp.
 Applicant
 P.O. Box 1464 Portland, ME 04104
 Mailing Address
 Single Family Dwelling
 Proposed Use of Site
 2,000 sq ft / 1,316 sq ft
 Acreage of Site / Ground Floor Coverage

13 Oct 94
 Date
 150 Curtis Rd (Lot 2)
 Address of Proposed Site
 389-C-022
 Site Identifier(s) from Assessors Maps
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors 2
 Total Floor Area 1,664 sq ft

Other Comments: B7B-2721 - MIKE or MARIA

Date Dept. Review Due: _____

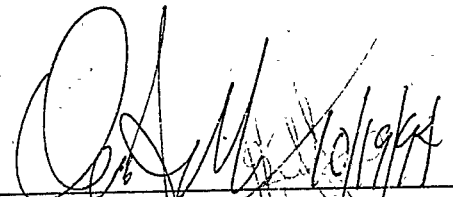
PUBLIC WORKS DEPARTMENT REVIEW

10/13/94
 (Date Received)

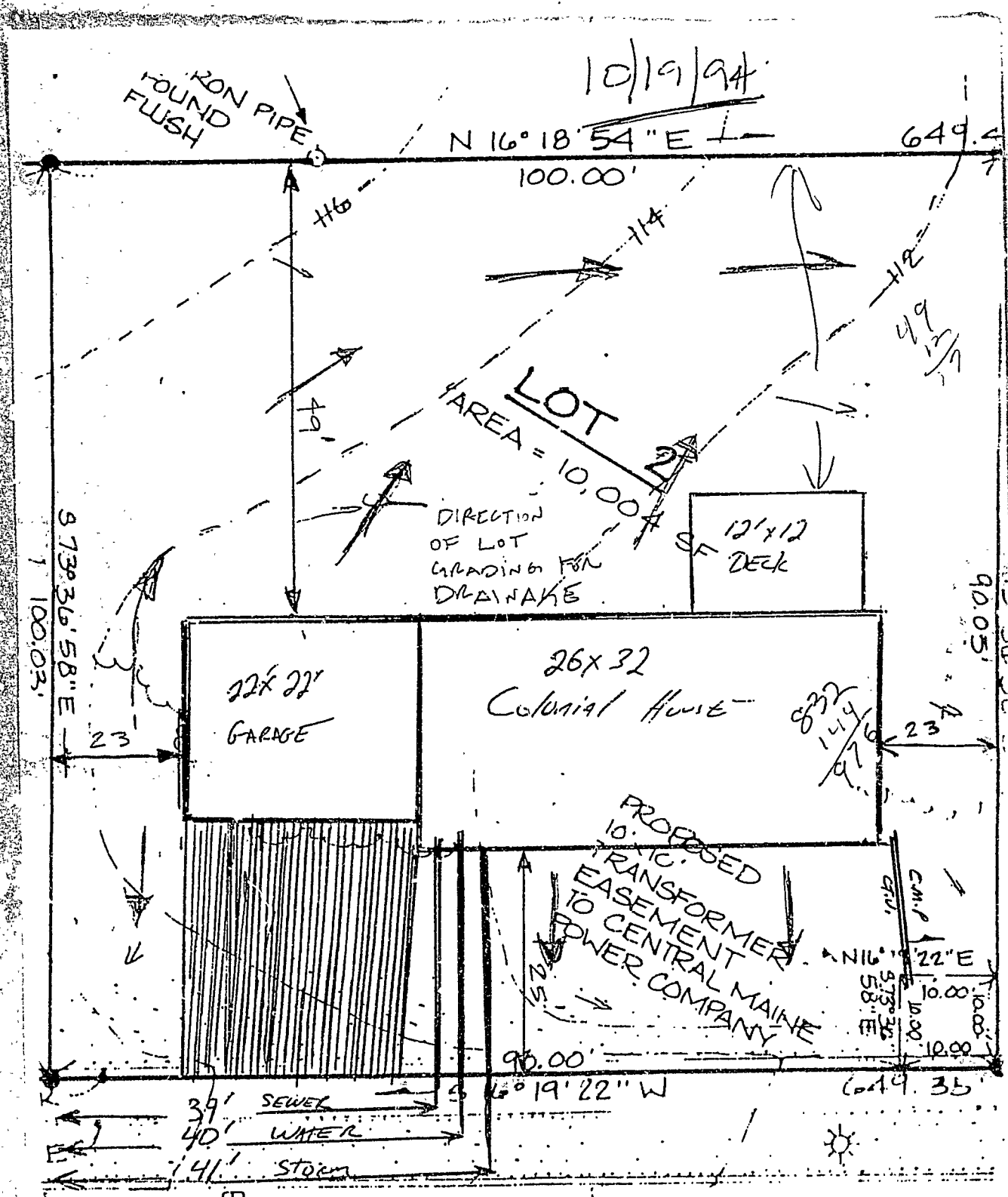
	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	APPROVED w/ ATTACHED															CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY	CONDITIONS															
DISAPPROVED	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	10/13/94	REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY



10/19/94

N 16° 18' 54" E

LOT
AREA = 10,000

DIRECTION
OF LOT
GRADING FOR
DRAINAGE

12' x 12
SF DECK

22' x 22'
GARAGE

26' x 32'
Colonial House

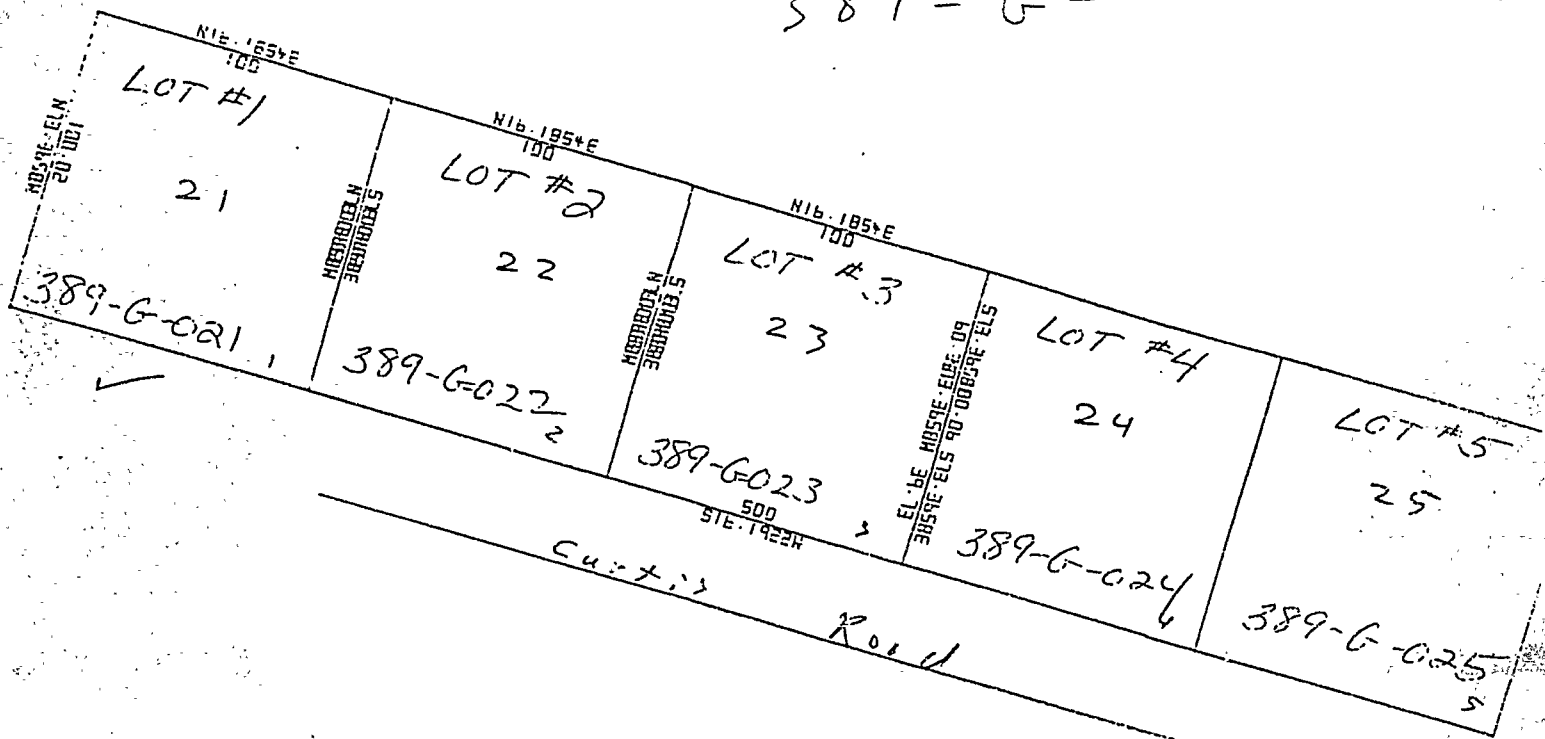
PROPOSED
10' TRANSFORMER
EASEMENT
TO CENTRAL MAINE
POWER COMPANY

39' SEWER
40' WATER
41' STORM

TOWN AND CITY RECORDS

~~11/19/94~~

389-G-



Applicant: Vesta Corp
Address: 150 Curtis Rd. Lot #2
Assessors No.: 389-G-022

Date: 20/00T/94

CHECK LIST AGAINST ZONING ORDINANCE

Date - 20/00T/94
Zoning location - R-2
Interior or corner lot - Interior
Use - Single family
Sewage Disposal - Public
Rear Yards - 25 req. 37'
Side Yards - 14 req. 23' and 23'
Front Yards - 25 req.
Projections - ✓
Height - 25' max
Lot Area - 12,000
Building Area - 976
Area per Family - 10,000
Width of Lot - 50 req. 100'
Lot Frontage - 50 req. 100'
Off-street Parking - ✓
Loading Bays - N/A.

Site Plan - Minor - minor.
Shoreland Zoning - N/A
Flood Plains - N/A.



VESTA CORP. GENERAL CONTRACTING
P.O. 1464, PORTLAND, MAINE 04104

PLOT PLAN DATA
LOT #2 CURTIS ROAD

2 STORY COLONIAL STYLE HOUSE 26' X 32'

1 STORY GARAGE 22' X 22'

FRONT SET BACK ----- 25'

LEFT SET BACK ----- 23'

RIGHT SET BACK ----- 23'

REAR SET BACK ----- 49' - 12 deck

SEWER 39' FROM LEFT SIDE LINE

WATER 40' FROM LEFT SIDE LINE

STORM 41' FROM LEFT SIDE LINE

SILL ELEVATION OF HOUSE - 2.0' ABOVE STREET LEVEL

SILL ELEVATION OF GARAGE - 1.0' ABOVE STREET LEVEL

FRONT ELEVATION OF LOT - FROM 1.0' ABOVE STREET ELEVATION AT
FOUNDATION SLOPING FORWARD TO LEVEL OF SIDEWALK

SIDE ELEVATION OF LOT - FROM 1.5' ABOVE STREET ELEVATION SLOPING
TOWARDS FRONT OF LOT

REAR ELEVATION OF LOT - FROM 1.5' TO 2.0' TO 1.0' ABOVE STREET
ELEVATION SLOPING TOWARDS FRONT AND RIGHT REAR

SQUARE FOOTAGE OF LOT - 10,000 SF

*Curtis Rd
Lot 2*

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

October 21, 1994

RE: 150 Curtis Road

Vesta Corp.
P. O. Box 1464
Portland, ME 04104

Dear Sir:

Your application to construct a single family dwelling with attached garage has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

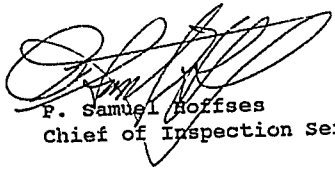
No Certificate of Occupancy can be issued until all requirements in this letter are met.

Site Plan Review Requirements
Inspection Services Approved Hoffses
Public Works With condition(see Attached) Owens McCullough

Building Code Requirements
1. Please read and implement items 1, 2, 7, 9, 10, 11, 13, 14, 15 and 16.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


S. Samuel Hoffses
Chief of Inspection Services

/el

cc: Owens McCullough, Planning

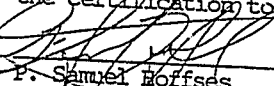
BUILDING PERMIT REPORT

DATE: 20 Nov 194 Address 150 Curtis Rd.
REASON FOR PERMIT: To construct a single family dwelling detached garage BLDG. OWNER: Vista Corp
CONTRACTOR: " APPROVED:
~~PERMIT APPLICANT:~~ *1*2*7*9*10*11*13*14*15*16 ~~PERMIT:~~

CONDITION OF APPROVAL OR DENIAL:

- *1. Before concrete for foundation is placed, approvals from Public Works and Inspection Service must be obtained. (a 24 hour notice is required prior to inspection).
- *2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a register land surveyor check all foundation forms before concrete is placed.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when its exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An indication shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. ft. per sprinkler.
- *7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of special knowledge or separated tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm) and a minimum net clear opening of 5.7 sq.ft.
8. This permit does not preclude the applicant from obtaining any license needed from the City Clerk's office.

- X9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 919.3.2 (BOCA National Building Code 1993), and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):
1. In the immediate vicinity of bedrooms;
 2. In all bedrooms;
 3. In each story within a dwelling unit, including basements.
- X10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- X11. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024.0 of the City's building code. (The BOCA National Building Code/1993)
- X13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise.
- X14. Headroom in habitable space is a minimum of 7'6".
- X15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- X16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.


P. Samuel Hoffses
Chief of Inspections

/cmm 01/14/94(redo w/additions)

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: VESTA CORP
ADDRESS: P.O. Box 1464 PORT. ME 04104
SITE ADDRESS/LOCATION: CURTIS ROAD (LOT #2)
DATE: 10/17/94

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now _____, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8300, ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300, ext. 8838. The Sewer Division of Parks and Public works (Jackie Wurslin at 797-5302) must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

✓
✓
✓
✓
✓
✓
✓

As-built record information for sewer and storm pipe connections must be submitted to Parks and Public Works engineering Division (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.

The site contractor shall establish finish grades at the building foundation to provide positive drainage. Finish grades at front of foundation (street side) shall be set above finish street/curb elevation to provide positive drainage.

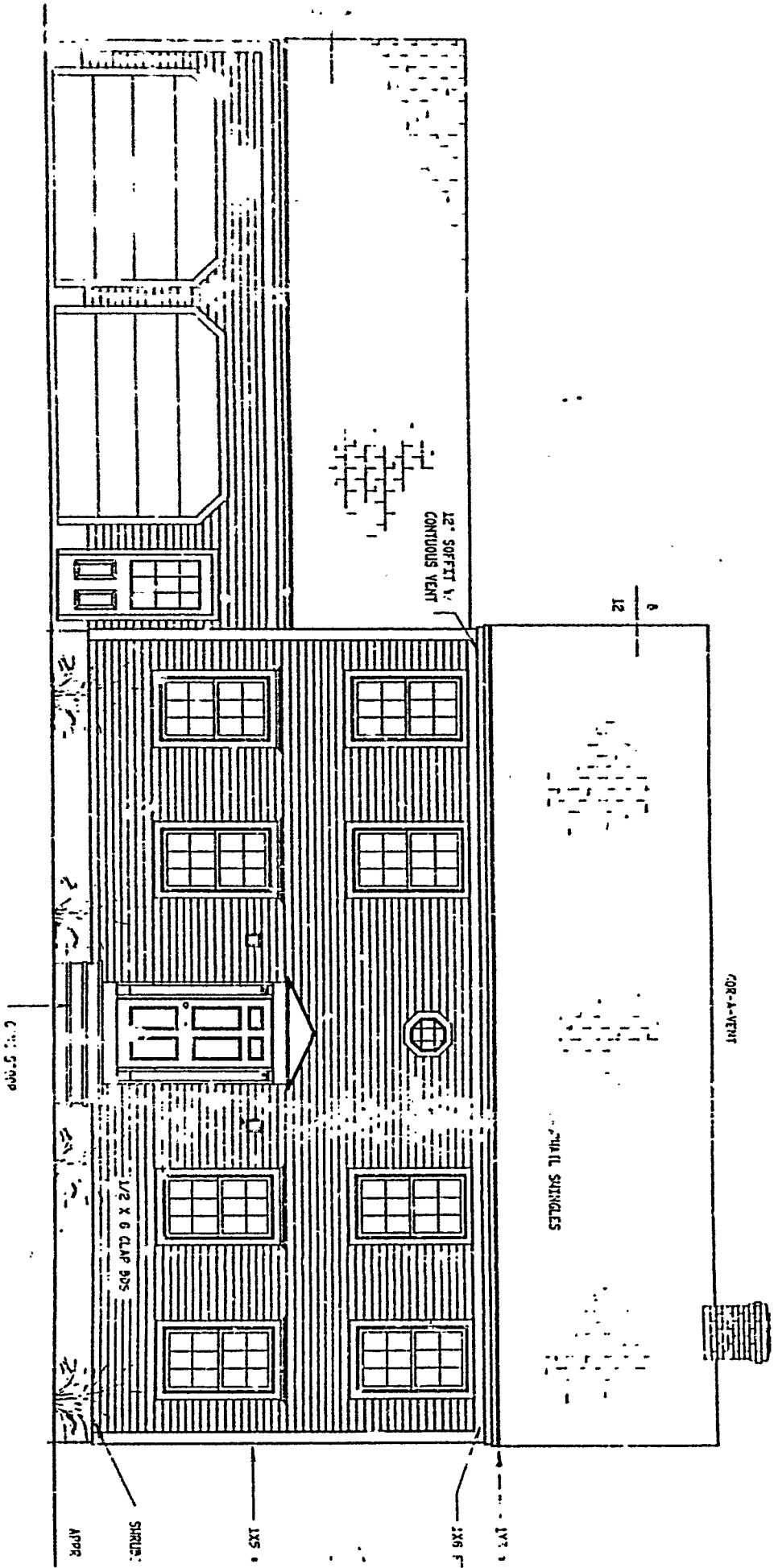
The Development Review Coordinator (874-8300, ext. 8722) must be notified at the time the building foundation is completed to perform an inspection.

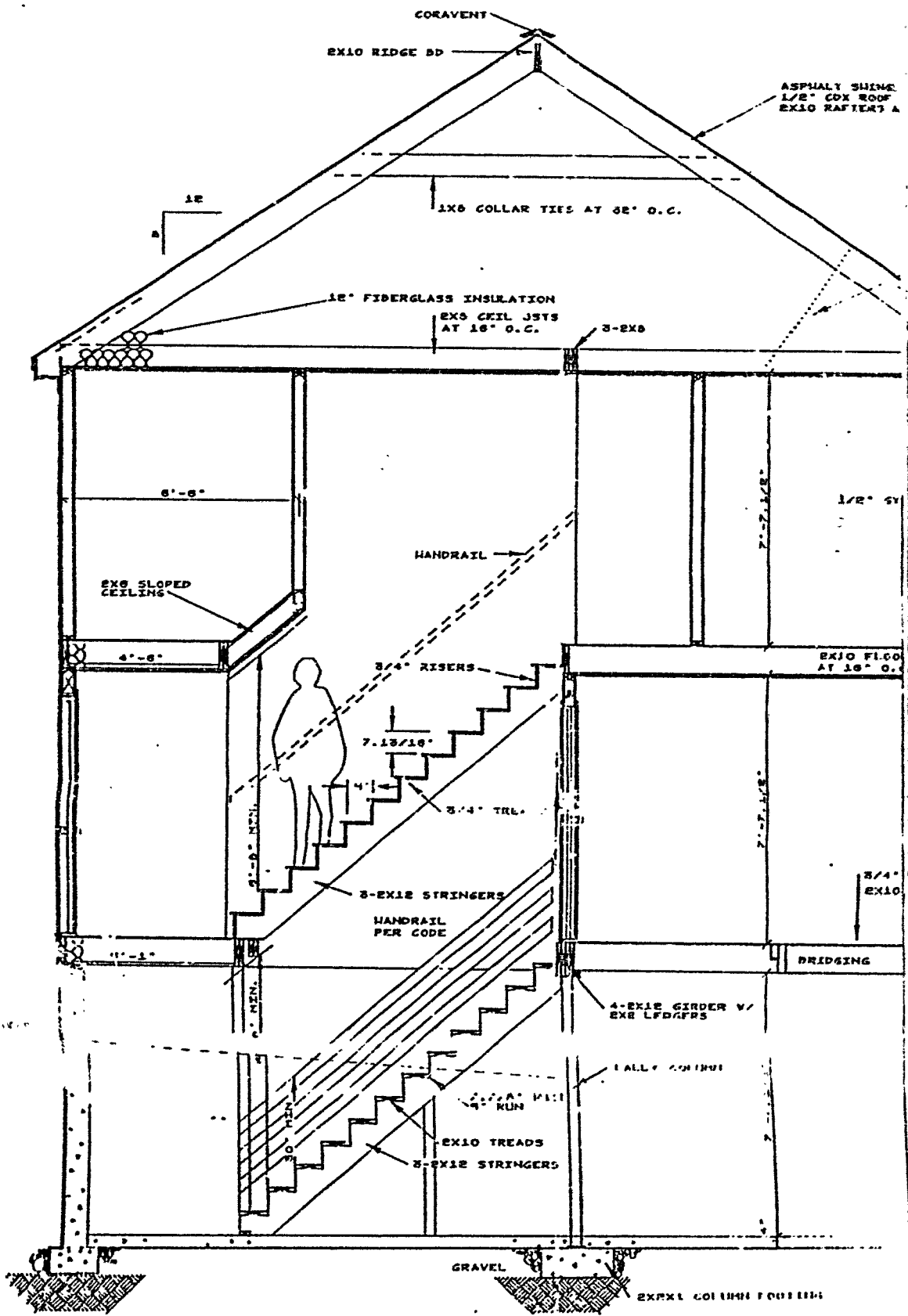
SEE ATTACHED SITE PLAN
DATED 10/19/84

cc: Paul Niehoff, Materials Engineer

FRONT ELEVATION

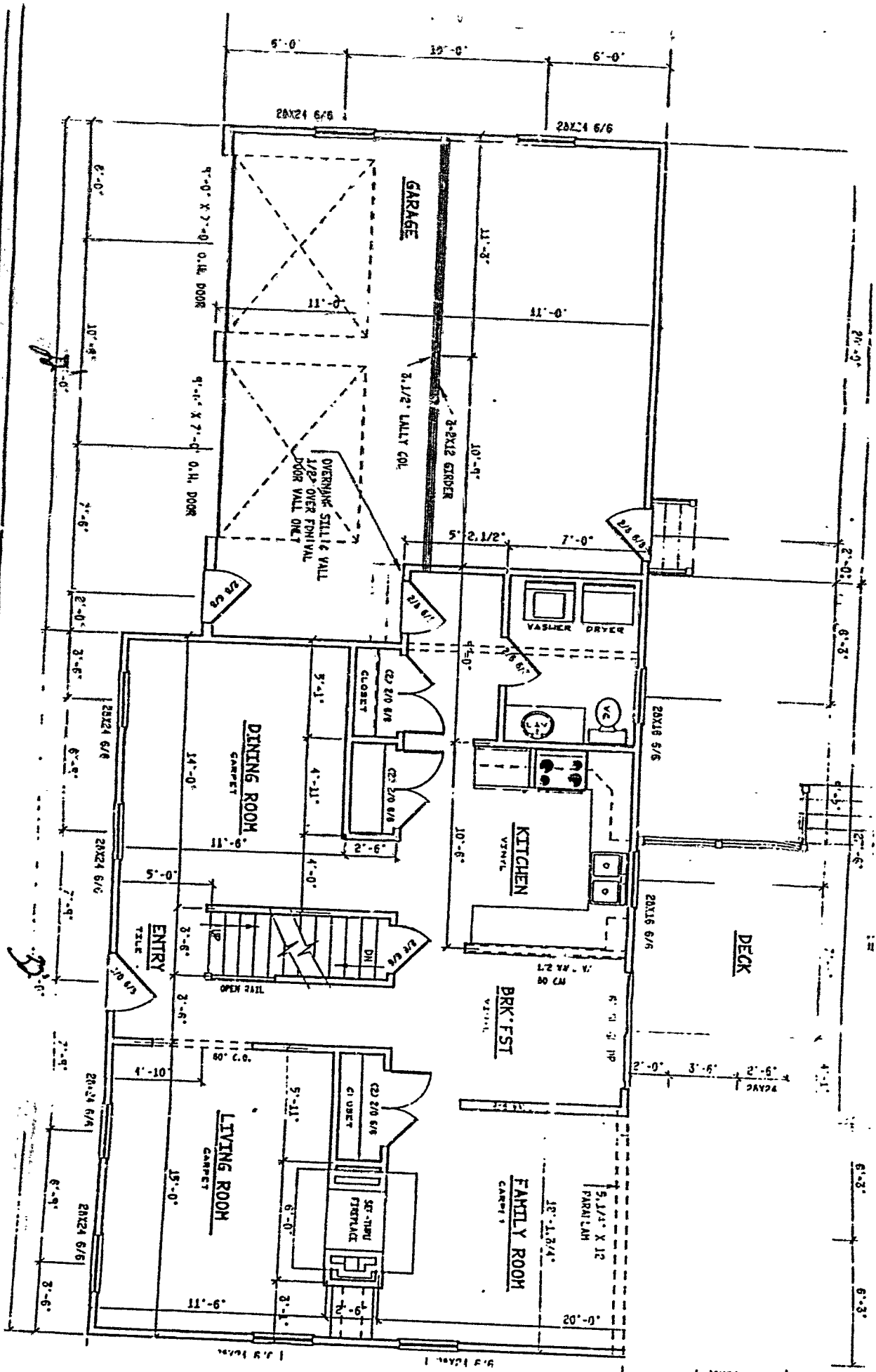
SCALE: 1/4" = 1'-0"





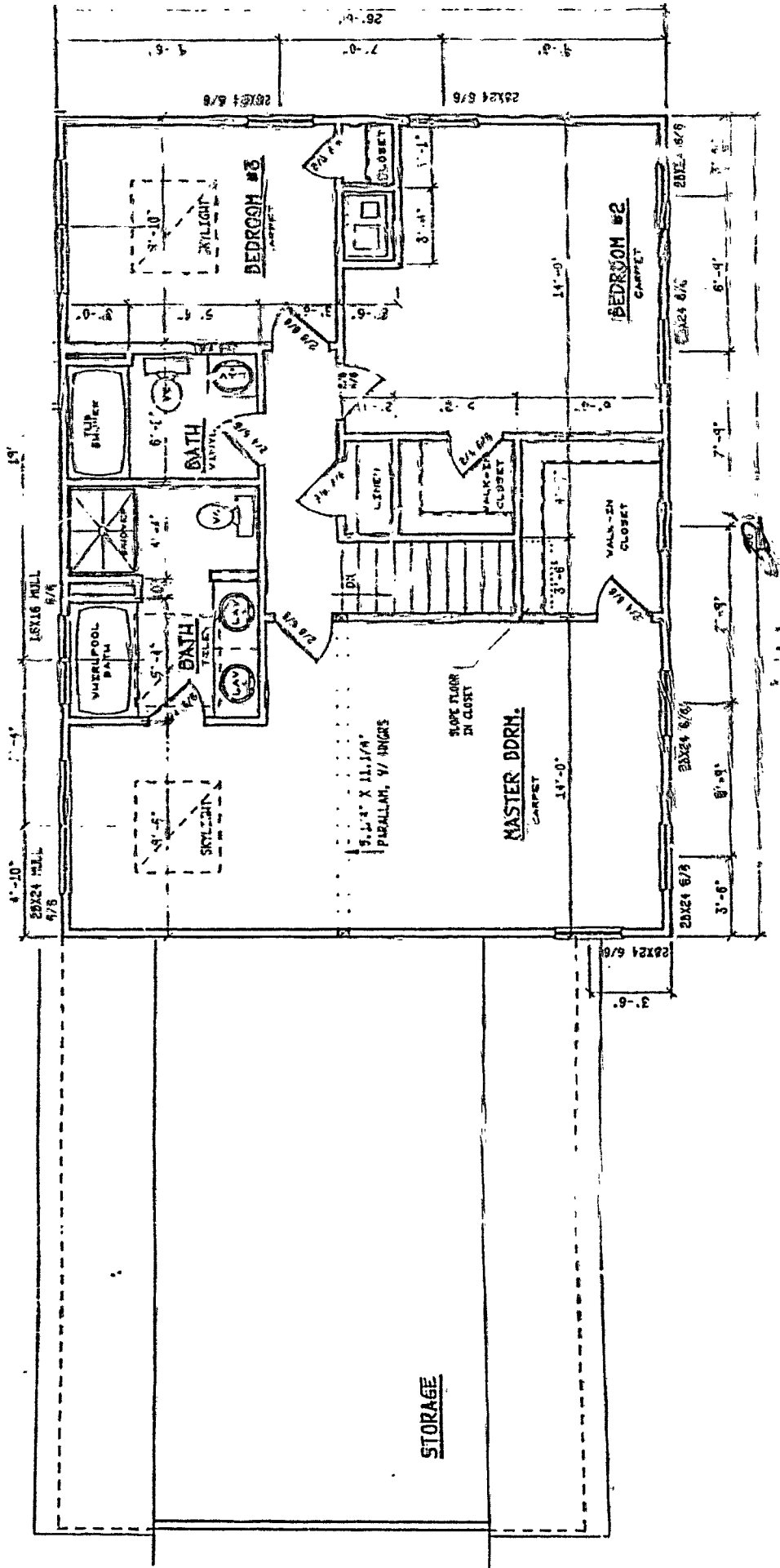
HOUSE SECTION

SCALE: 3/8" = 1'-0"



21

NOTES:
 CAD SKYLIGHTS TO BE
 SUPPLIED BY OWNER





APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, January 18, 1995

950059
PERMIT ISSUED
JAN 26 1995
PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 1149 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 150 Curtis Road Within Fire Limits? yes Dist. No.
Owner's name and address Vesta Corp. F.O. Box 1464 Portland 04104 Telephone 878-2721
Lessee's name and address Telephone
Contractor's name and address self (same) Telephone
Architect Plans filed No. of sheets
Proposed use of building single family No. families
Last use vacant lot No. families
Increased cost of work none Additional fee \$25.00

Description of Proposed Work

to change from gable roof to hip roof

AS PER PLAN

1985 Historical Preservation Account

Details of New Work

Is any plumbing involved in this work? No Is any electrical work involved in this work? No
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering asphalt
No. of chimneys Material of chimneys of lining
Framing lumber - Kind Dressed or full size?
Corner posts Sills Girt or ledger board?
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16' O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

Approved: R-2 Zone
1/25/95 - SAME SETBACKS req AS ORIGINAL PERMIT

Signature of Owner
Approved: Inspector of Buildings

INSPECTION COPY - WHITE FILE COPY - PINK
APPLICANT'S COPY - YELLOW ASSESSOR'S COPY - GOLDEN

Mr. Jordan

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 26, 1995

RE: 150 Curtis Road

Vesta Corp.
P. O. Box 1454
Portland, ME 04.

Dear Sir:


Your application to amend building permit 1149/94 from gable roof to hip roof, has been reviewed and a permit is herewith issued subject to the following requirement: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

The proposed masonry chimney shall meet the requirements of Chapter 12, Section 1206.0 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993)

If you have any questions regarding this requirement, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/s/

Date: January 17, 1995
To: David Jordan
From: Thomas Charno
150 Curtis Road
Portland, ME
Subject: Railing on stairs leading up to the front door.

I am currently having a home built at the above address by the Vesta Corporation. In a recent conversation I had with Michael DiMillo of Vesta Corporation, he informed me that the city code may require a railing be installed on the stairs leading to the main entrance of the home. I have requested that Michael not to install the railing if at all possible. This letter is to document that request.

Thank you.

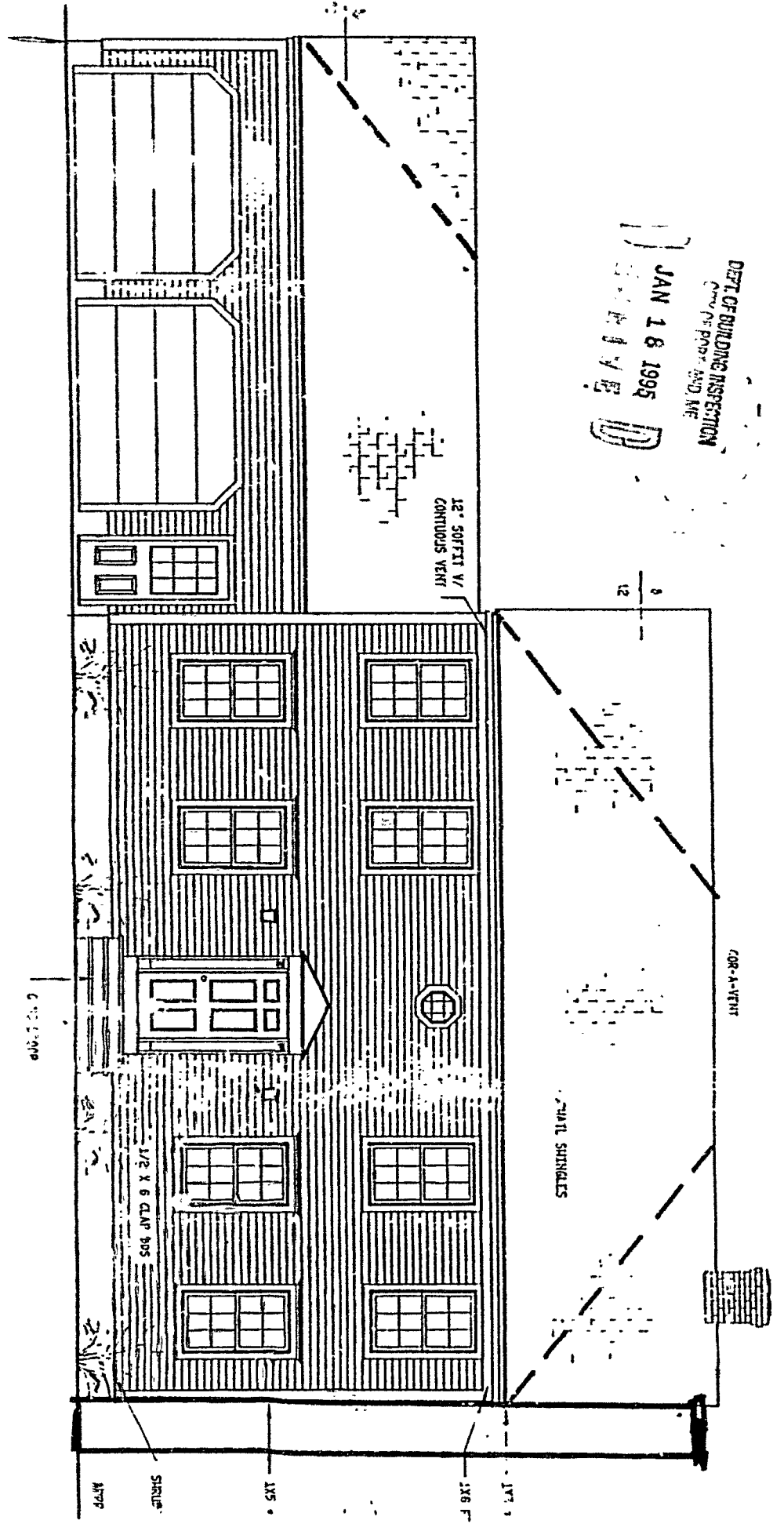
Thomas C. Charno

TC Charno

D. Jordan 1-18-95 OKed

*Frank
1/11/99*

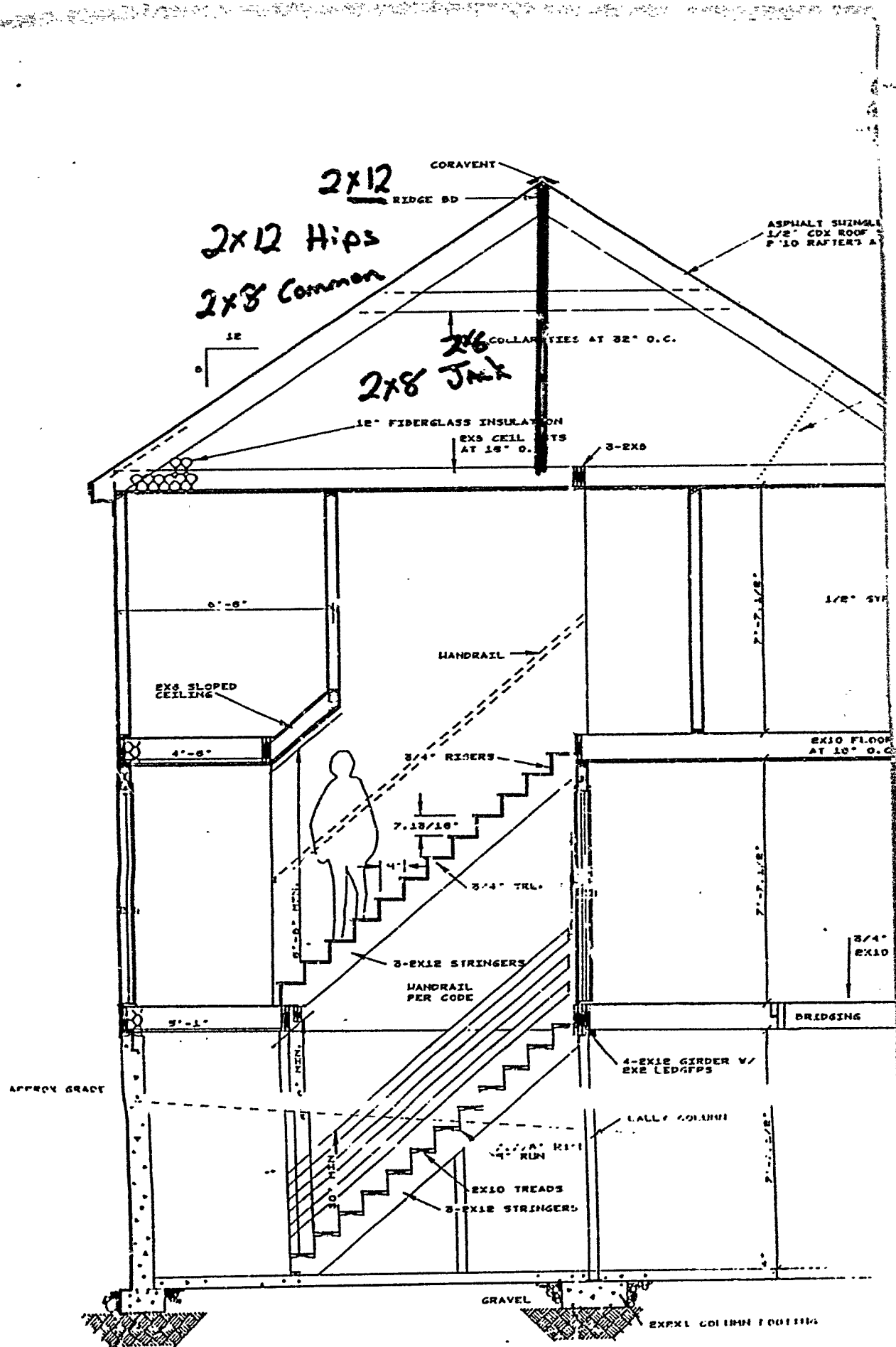
DEPT. OF BUILDING INSPECTION
CITY OF BOSTON AND NE
JAN 18 1999
B



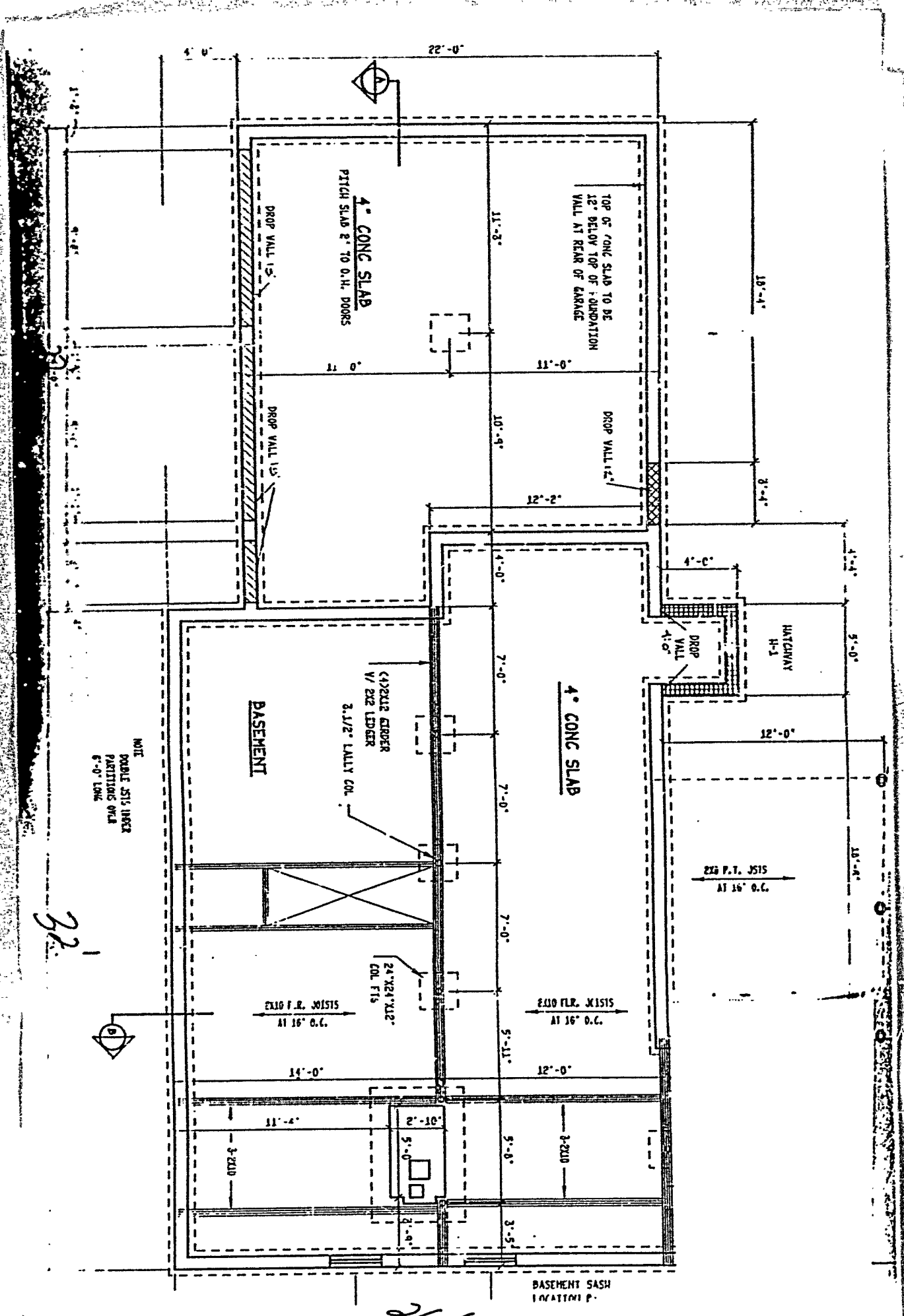
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Hip Roof
8/12 Pitch

Handwritten scribbles and signatures at the bottom of the drawing.



HOUSE SECTION
 SCALE: 3/8" = 1'-0"



32

261

BASEMENT SASH
LOCATION P.

NOTE
DOUBLE JOIST HOOK
PARTITIONS OVER
6'-0" LONG

4" CONC SLAB
PITCH SLAB 2" TO O.H. DOORS

TOP OF CONC SLAB TO BE
12" BELOW TOP OF QUADRATION
WALL AT REAR OF GARAGE

DROP WALL 15"

DROP WALL 12"

HATCHWAY
H-1

DROP WALL
4'-0"

BASEMENT

(1) 2X12 KIBBER
V/ 2X2 LEDGER
3.1/2" LALLY COL.

4" CONC SLAB

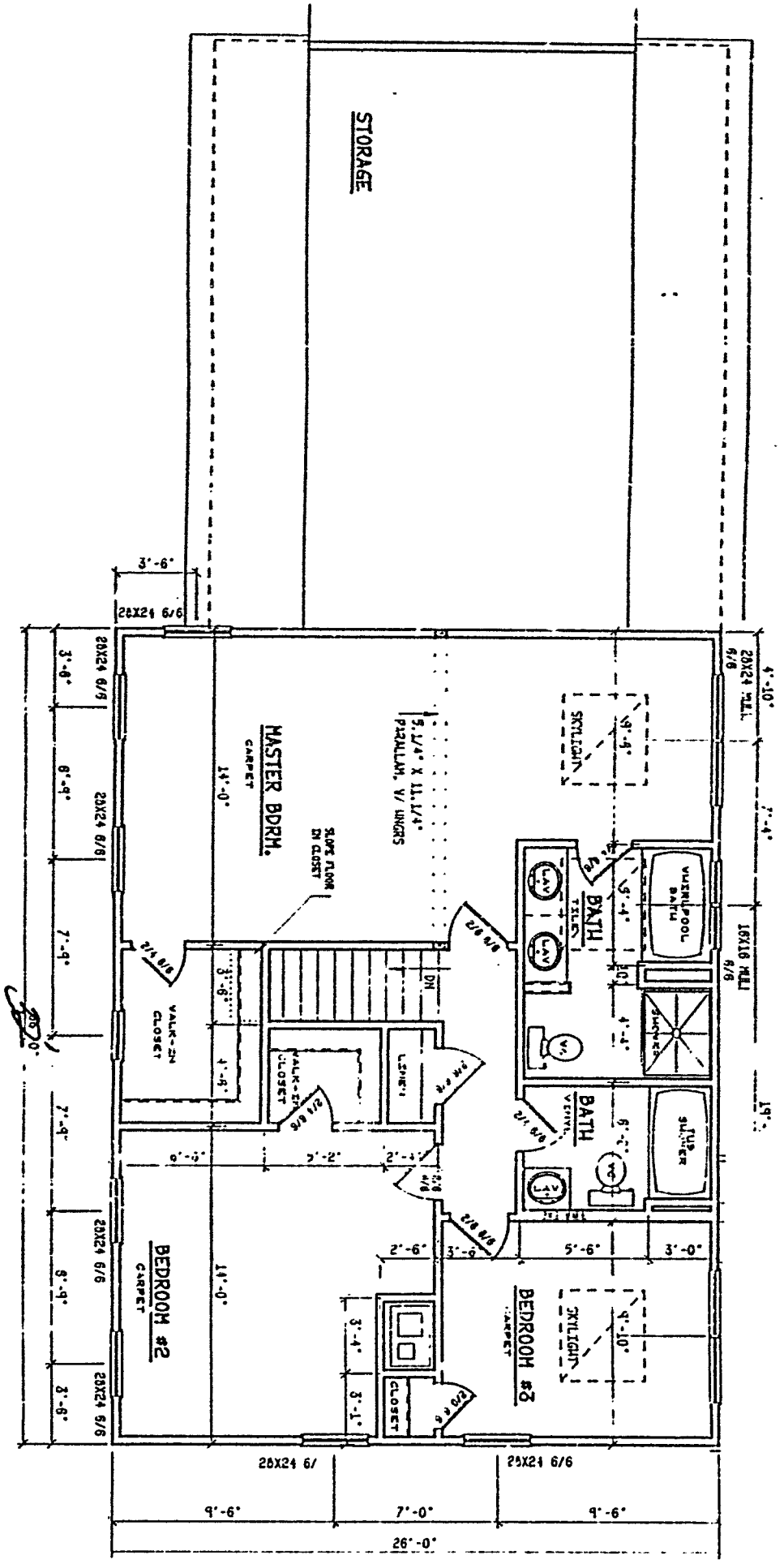
2X6 P.T. JOIST
AT 16" O.C.

2X10 F.R. JOIST
AT 16" O.C.

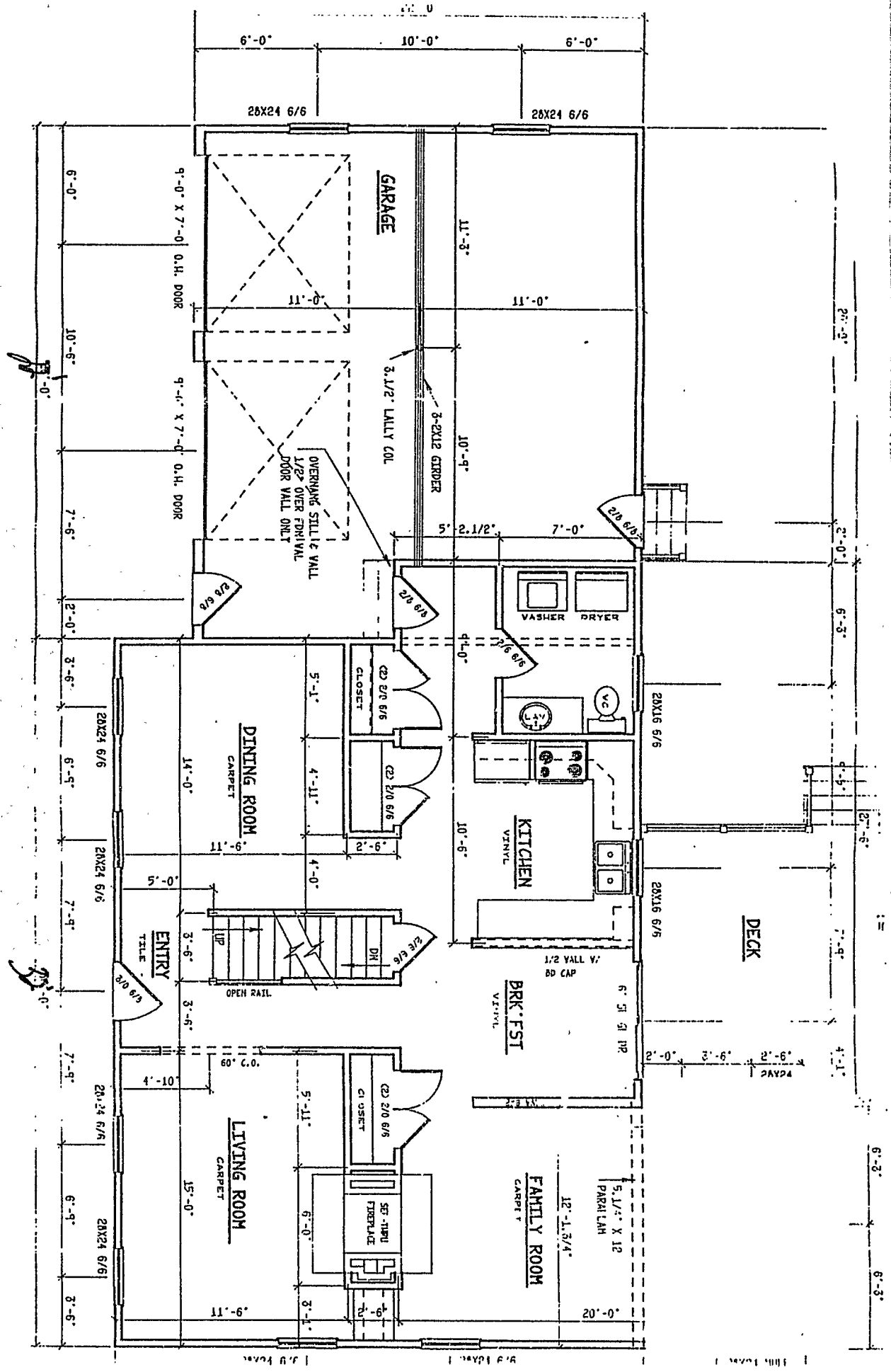
24" X 24" X 12"
COL. FT'S

2X10 FLR. JOIST
AT 16" O.C.

BASEMENT SASH
LOCATION P.



NOTE:
 (X) SKYLIGHTS TO BE
 SUPPLIED BY OWNER



1 20



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Mary Gresik, Permit Secretary
FROM: Owens McCullough, P.E., Acting Development Review Coordinator
DATE: January 23, 1995
RE: Temporary Certificate of Occupancy for 158 Curtis Road

I would be agreeable to issuing a temporary Certificate of Occupancy for 158 Curtis Road. A permanent Certificate of Occupancy may be issued when the following has been completed.

- 1) Finish lot grading shall be completed no later than May 1, 1995. Finish grading shall be performed to provide positive drainage.
- 2) Lawn areas shall be loamed, seeded and mulched no later than May 15, 1995.
- 3) Winter hay mulch shall be applied to areas showing erosion by January 26, 1995.
- 4) A second street tree shall be planted no later than May 15, 1995.
- 5) Address must be displayed on house.
- 6) Finish driveway pavement shall be installed no later than May 15, 1995.



TEMPORARY


CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION: 150 Curtis Rd. Lot 2

Issued to: Vesta Corp. Date of Issue: January 23, 1995

*TO ME
MAY 15 1995
CHAINS*



This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 941149, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

<u>PORTION OF BUILDING OR PREMISES</u> Entire Temporary	<u>APPROVED OCCUPANCY</u> single family
--	--

Limiting Conditions: 1. Finish lot grading shall be completed no later than May 1, 1995. 2. Finish grading shall be performed to provide positive drainage. 3. Lawn areas shall be loamed, seeded and mulched no later than May 15, 1995. 4. Winter hay mulch shall be applied to areas showing erosion by January 26, 1995. 5. A second street tree shall be planted no later than May 15, 1995. 6. Address must be displayed on house. 7. Finish driveway pavement shall be installed no later than May 15, 1995. This certificate supersedes certificate issued

Approved: *[Signature]*
(Date) 1-24-95 Inspector *[Signature]* Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Dave Jordan, Code Enforcement Officer
FROM: Michael O'Sullivan, Development Review Coordinator
DATE: August 10, 1995
SUBJECT: Permanent Certificate of Occupancy for 150 Curtis Road

I have reviewed the site construction at 150 Curtis Road and believe it would be acceptable to issue a permanent Certificate of Occupancy.

CC: Kathi Staples, City Engineer



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 150 Curtis Rd. (Lot #2) 389-6-022

Issued to Tom & Maryellen Charno

Date of Issue 14 August 1995

This is to certify that the building, premises, or part thereof at the above location, built — altered — changed as to use under Building Permit No. 941149, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes
certificate issued 23 January 1995

Approved: 14/Aug/95 D. Jordan
(Date) Inspector

Kathi Staples
City Engineer

Notice: This certificate identifies lawful use of building or premises, and ought to be owner to owner when property changes hands. Copy will be furnished to owner or lessee.

