

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0007	Issue Date: JAN 13 2005	PERMIT ISSUED	CBL: 389 G014001
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Location of Construction: 37 Clapboard Rd	Owner Name: Doane Woolson W &	Owner Address: 37 Clapboard Rd	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone: CITY OF PORTLAND
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	Zone: R2

Past Use: Residential SFH	Proposed Use: Single Family Home/ build 6' x 8' Shed	Permit Fee: \$57.00	Cost of Work: <del>\$4,000.00</del> 2,500	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: shed	

Proposed Project Description: build 6' x 8' Shed	Signature:	Signature: JMB 1/12/05
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 01/03/2005	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 1/12/05	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
	<p><i>approved</i> <i>This property is now at the maximum lot coverage allowed</i></p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

1.3 20 05

Received from Patricia Doane

Location of Work 37 Clapboard

Cost of Construction \$ 4000.00

Permit Fee \$ 57.00

Building (IL)  Plumbing (IS)  Electrical (I2)  Site Plan (U2)

Other Shed

GBL: 389 617

Check #: 350 Total Collected \$ 57.00

**THIS IS NOT A PERMIT**

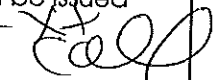
No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*[Handwritten signature]*

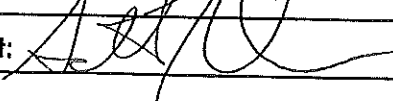
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>37 Clapboard Road</u>		
Total Square Footage of Proposed Structure <u>48 sq. feet.</u>	Square Footage of Lot <u>9500 sq. feet</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>389</u> Block# <u>G</u> Lot# <u>14</u>	Owner: <u>Dr. &amp; Mrs. Woolson Doane</u>	Telephone: <u>878-8905</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Seth Doane</u> <u>195 High St.</u> <u>Portland, ME. 04104</u>	Cost Of Work: <u>2,500</u> <u>per owner</u> <u>\$4000.00</u> Fee: \$ <u>57.00</u>
Current use: <u>Single family home</u>		DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME <div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">                     JAN 3 2005                 </div> RECEIVED
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Shed - 6' x 8' for temporary storage</u> Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Mrs. Doane - self</u>		
Mailing address: <u>37 Clapboard Road</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-8905</u> 		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>1/3/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 050007

JAN 13 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Doane Woolson W & /Owner

has permission to build 6' x 8' Shed

AT 37 Clapboard Rd

389 G014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and when permission procured before this building or part thereof is placed or occupied enclosed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Jamie Burke 1/12/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Single Family Home/ build 6' x 8' Shed	Proposed Project Description: build 6' x 8' Shed
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Dept: Zoning      Status: Approved      Reviewer: Jeanine Bourke      Approval Date: 01/12/2005

Note:      Ok to Issue:

1) This property is now at the maximum lot coverage, no additional structures are allowed, except a swimming pool.

Dept: Building      Status: Not Applicable      Reviewer: Jeanine Bourke      Approval Date: 01/12/2005

Note:      Ok to Issue:

# ELECTRICAL PERMIT

## City of Portland, Me.



*15*

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date MAY 10, 2004  
 Permit # 2004 4422  
 CBL# 389 6014

LOCATION: 37 CLAPBOARD LN METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Woolson Doane  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL EACH FEE		
OUTLETS	<i>8</i>	Receptacles		Switches	<i>4</i>	Smoke Detector		.20	
FIXTURES	<i>8</i>	Incandescent		Fluorescent		Strips		.20	
SERVICES		Overhead		Underground		TTL AMPS <800		15.00	
		Overhead		Underground		>800		25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
								25.00	
METERS		(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING		oil/gas units		Interior		Exterior		5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00	
		Insta-Hot		Water heaters		Fans		2.00	
		Dryers		Disposals		Dishwasher		2.00	
		Compactors		Spa		Washing Machine		2.00	
MISC. (number of)		Others (denote)						2.00	
		Air Cond/win						3.00	
		Air Cond/cent				Pools		10.00	
		HVAC		EMS		Thermostat		5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
		Alterations						5.00	
		Fire Repairs						15.00	
		E Lights						1.00	
	E Generators						20.00		
PANELS		Service		Remote		Main		4.00	
		0-25 Kva						5.00	
TRANSFORMER		25-200 Kva						8.00	
		Over 200 Kva						10.00	
							TOTAL AMOUNT DUE		
							MINIMUM FEE/COMMERCIAL 45.00	MINIMUM FEE 35.00	<i>35.00</i>

CONTRACTORS NAME Walter Pierce MASTER LIC. # \_\_\_\_\_  
 ADDRESS 192 Wing Road Levant Me LIMITED LIC. # 4120026833  
 TELEPHONE 884-7015

SIGNATURE OF CONTRACTOR Walter R Pierce

White Copy - Office • Yellow Copy - Applicant

*Cost*

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1  
 Parcel ID 389 G014001  
 Location 37 CLAPBOARD RD  
 Land Use SINGLE FAMILY

Owner Address DOANE WOOLSON U & PATRICIA M DOANE JTS  
 37 CLAPBOARD RD  
 PORTLAND ME 04103

Book/Page 19767/157  
 Legal 389-G-14  
 CLAPBOARD RD 35-39  
 9511 SF



Valuation Information

Land	Building	Total
\$33,810	\$126,840	\$160,650

Property Information

Year Built 1985	Style Colonial	Story Height 2	Sq. Ft. 1768	Total Acres 0.218		
Bedrooms 4	Full Baths 1	Half Baths 1	Total Rooms 8	Attic Unfin	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 07/01/2003	Type LAND + BLDING	Price \$270,000	Book/Page 19767-157
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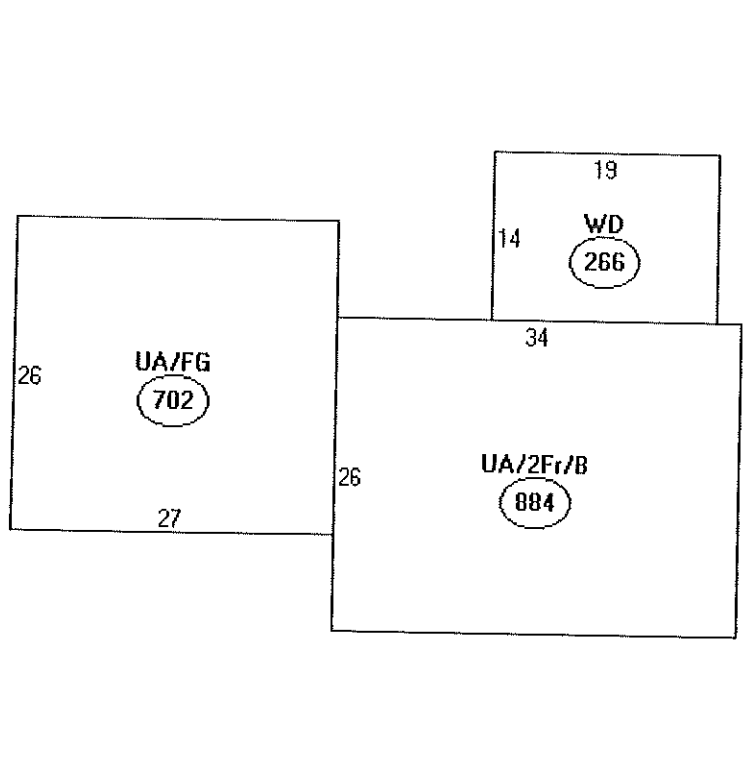
Picture and Sketch

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[New Search!](#)



Descriptor/Area

A: UA/2Fr/B  
884 sqft

B: UA/FG  
702 sqft

C: WD  
266 sqft

1,852  
48 New

1900

R2

OK  
Max!

9,511  
x 20%  
1902.2



