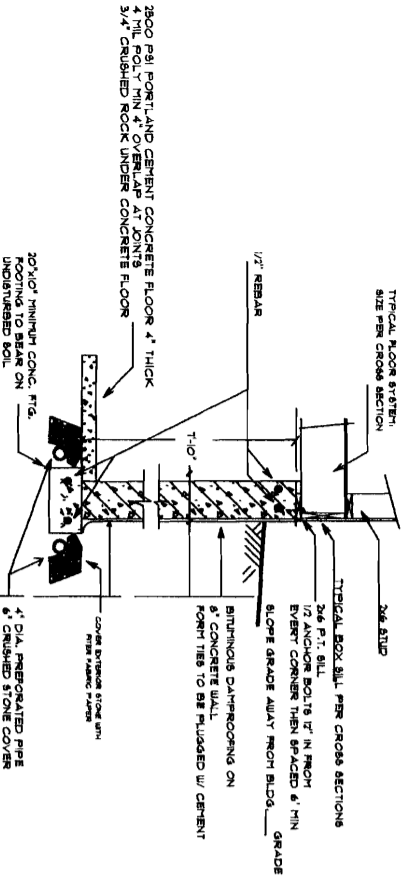
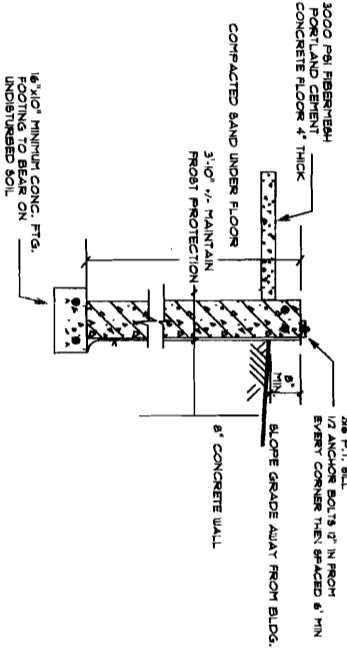


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE



TYPICAL FROSTWALL SECTION - GARAGE

- FOUNDATION NOTES:
1. ALL FOUNDATION WALLS, FOOTINGS, AND PITS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  2. IN THE FIELD WITH CONTRACTOR TO BE DETERMINED.
  3. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  4. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  5. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  6. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  7. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  8. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  9. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  10. ALL FOUNDATION WALLS SHALL BE SET ON COMPACTED SAND UNDER FLOOR.
  11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

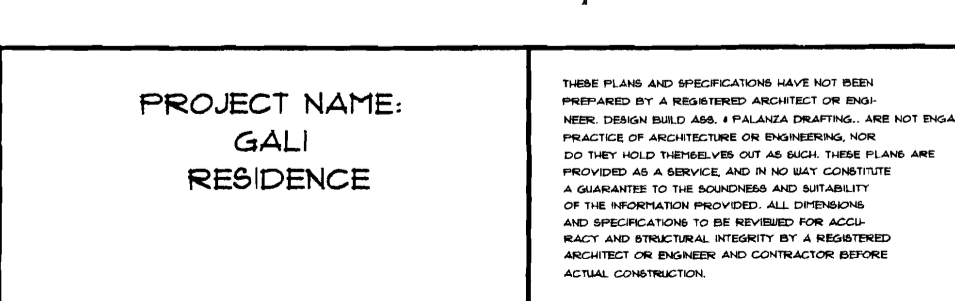
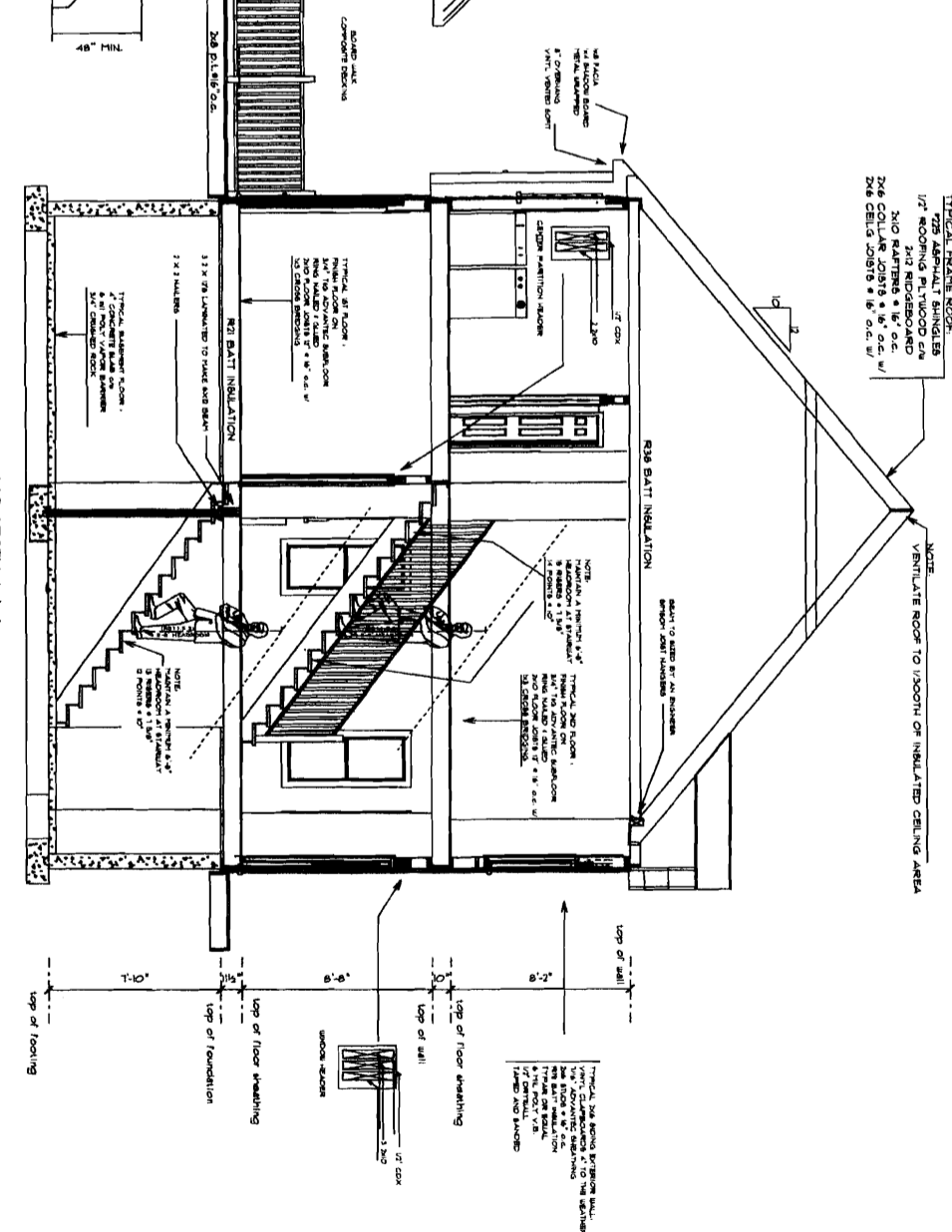
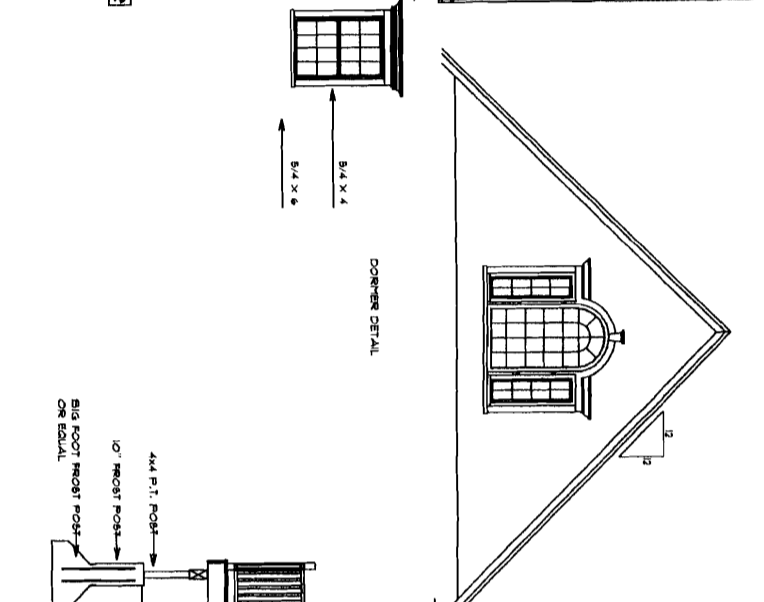
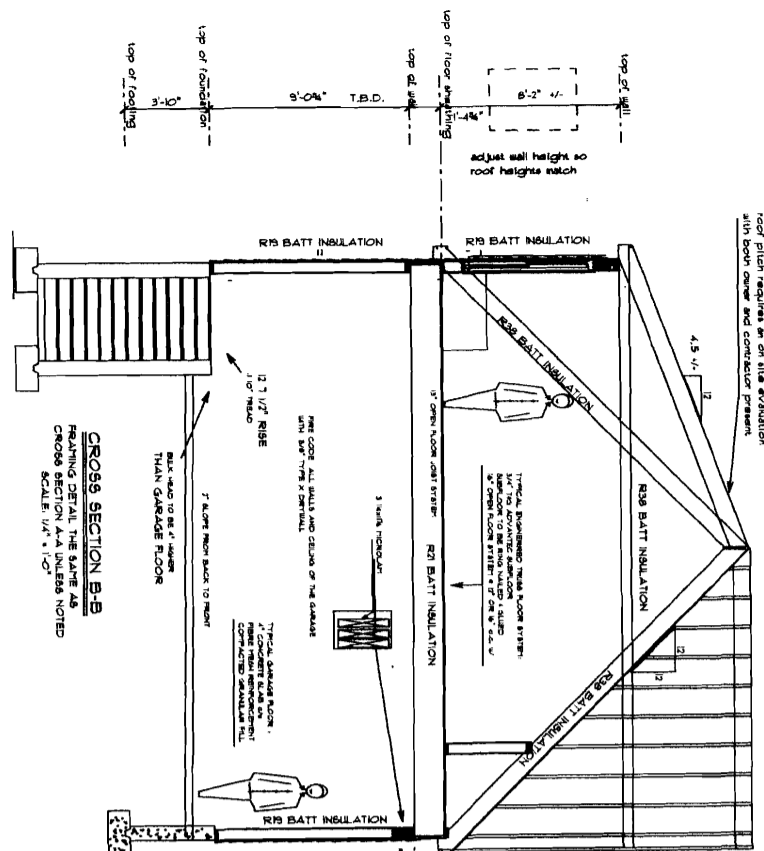
NOTE: ALL WINDOWS  
U-FACTOR = .31

HEATING SYSTEM;  
FORCED HOT WATER  
WITH POWER VENT,  
POSITIONING BY  
PLUMBING CONTRACTOR

PROJECT NAME:  
GALI  
RESIDENCE

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. A PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

DATE: 1/4/2009	AS NOTED
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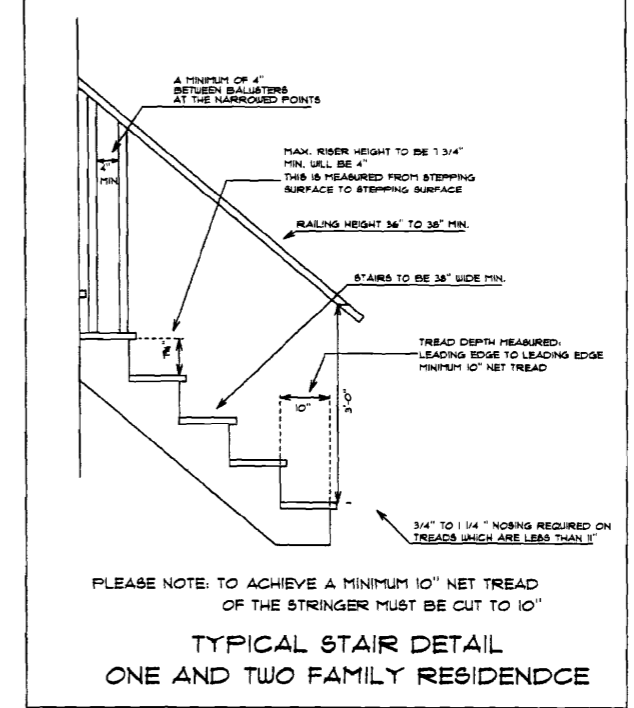
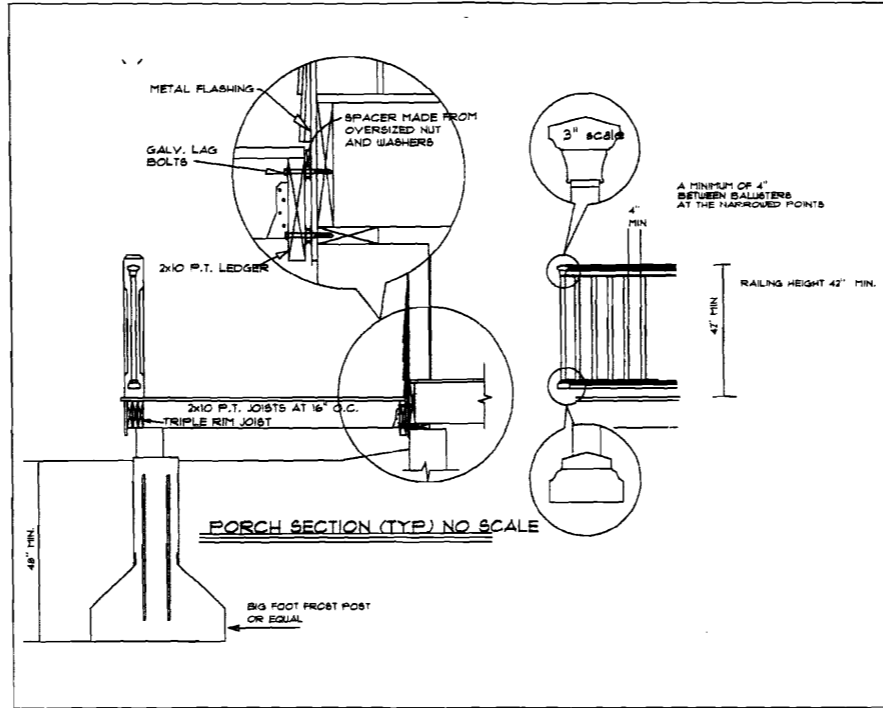
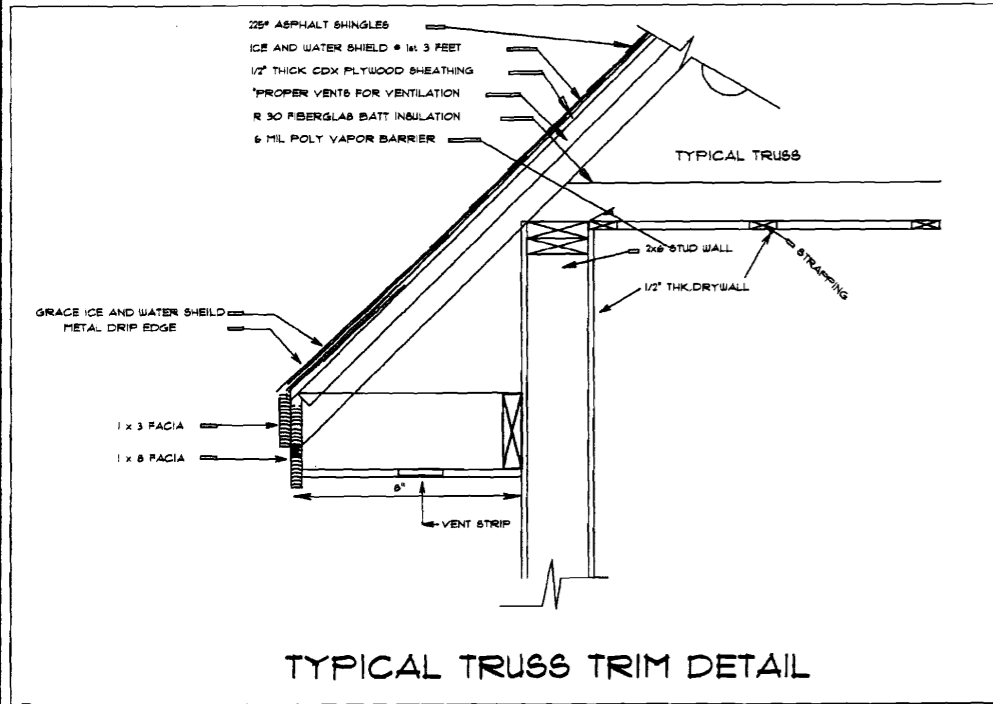


**NOTE: ALL WINDOWS  
U-FACTOR = .31**

**PROJECT NAME:  
GALI  
RESIDENCE**

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. & PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

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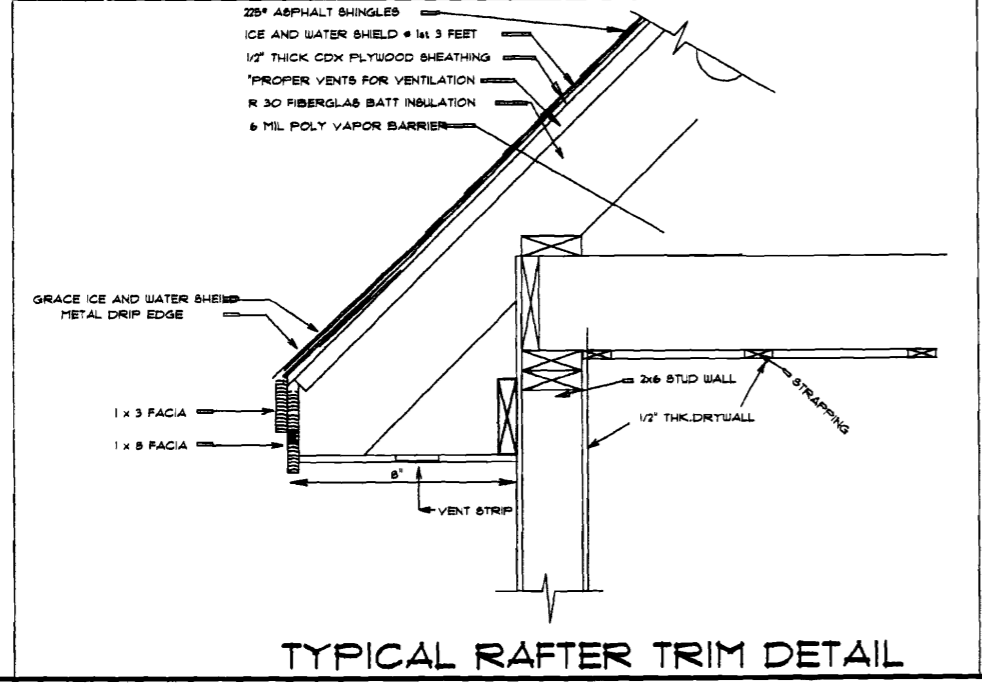


THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. # PALANZA DRAFTING, INC. DO THEY HOLD THEMSELVES OUT AS SUCH, THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND DURABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

PROJECT NAME:  
**GALI  
RESIDENCE**

FOUNDATION NOTES:

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" DIA. HOOKED OR EQUIVALENT, 4'-0" MAX. OC. 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (E. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING & FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTING SIZES TO SOIL BEARING CAPACITIES AS REQUIRED.
9. DO NOT BACKFILL MORE THAN 5'-0" BEFORE 1ST FLR. FRAMING JOIST & SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.



FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

NOTES	LOCATION	FASTENING CONNECTION	NOTES	LOCATION	FASTENING CONNECTION
SEE NOTE F	6d	PANEL SIDING (TO FRAMING) 5/8"	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	4 - 3" x 14 GAGE STAPLE 4 - 3/8" x 131" NAIL
SEE NOTE F	6d	PANEL SIDING (TO FRAMING) 1/2" OR LESS (TO FRAMING)	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	4 - 3" x 14 GAGE STAPLE 4 - 3/8" x 131" NAIL
SEE NOTE C	6d	SUBFLOOR-UNDERLAYMENT SINGLE FLOOR COMBINATION 3/4" OR LESS		TOENAIL	3 - 1 1/2" COMMON MIN 3 - 1 1/2" COMMON
SEE NOTE P SEE NOTE H 6d. SEE NOTE D. 6d. SEE NOTE C	2" 18 GAGE 2-3/8"x1.131" NAIL 96 CR 56	& PARTICLE BOARD WOOD STRUCTURAL PANELS 1/2" OR LESS		TOE NAIL	6 - 3" x 14 GAGE STAPLE 6 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON
SEE NOTE G SEE NOTE N SEE NOTE C, J	1-3/4" 18 GAGE 2-3/8"x1.131" NAIL 96	& PARTICLE BOARD WOOD STRUCTURAL PANELS 1/2" OR LESS		FACE NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON
	FACE NAIL	4 - 3" x 14 GAGE STAPLE 4 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON		TOE NAIL	3" x 14 GAGE STAPLE @ 8" OC 3/8" x 131" NAIL @ 8" OC 86 @ 18" OC
	FACE NAIL	5 - 3" x 14 GAGE STAPLE 5 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON		TOE NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON
	FACE NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON		LAP BRUCE	12 - 3" x 14 GAGE STAPLE TYP. FACE NAIL 12 - 3/8" x 131" NAIL 8 - 1 1/2" COMMON
	TOENAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON		TYPICAL FACE NAIL	3" x 14 GAGE STAPLE @ 12" OC 3/8" x 131" NAIL @ 12" OC 186 @ 18" OC
	FACE NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON		FACE NAIL	3" x 14 GAGE STAPLE @ 8" OC 3/8" x 131" NAIL @ 8" OC 86 @ 18" OC
	TOE NAIL	4 - 3" x 14 GAGE STAPLE 4 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON		END NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON
	FACE NAIL	4 - 3" x 14 GAGE STAPLE 4 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON		TOE NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 4 - 1 1/2" COMMON
	AT EACH BRUCE FACE NAIL AT ENDS	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON		END NAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON
	STAGGERED ON OPPOSITE SIDES FACE NAIL AT TOP & BOTTOM	3" x 14 GAGE STAPLE @ 24" OC 3/8" x 131" NAIL @ 24" OC 200 COMMON 12" OC		BRACED WALL PANEL	3" x 14 GAGE STAPLE @ 12" OC 3/8" x 131" NAIL @ 12" OC 186 @ 18" OC
	18" OC 18" OC 24" OC	3" x 14 GAGE STAPLE 3/8" x 131" NAIL 186 COMMON		TYPICAL FACE NAIL	3" x 14 GAGE STAPLE @ 12" OC 3/8" x 131" NAIL @ 12" OC 186 @ 18" OC
	FACE NAIL	2 - 3" x 14 GAGE STAPLE 2 - 3/8" x 131" NAIL 2 - 1 1/2" COMMON		TOENAIL EACH END	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON
	TOENAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON	(SEE SECT. 2308.10.1, TABLE 2308.10.1)	TOENAIL	3 - 3" x 14 GAGE STAPLE 3 - 3/8" x 131" NAIL 3 - 1 1/2" COMMON

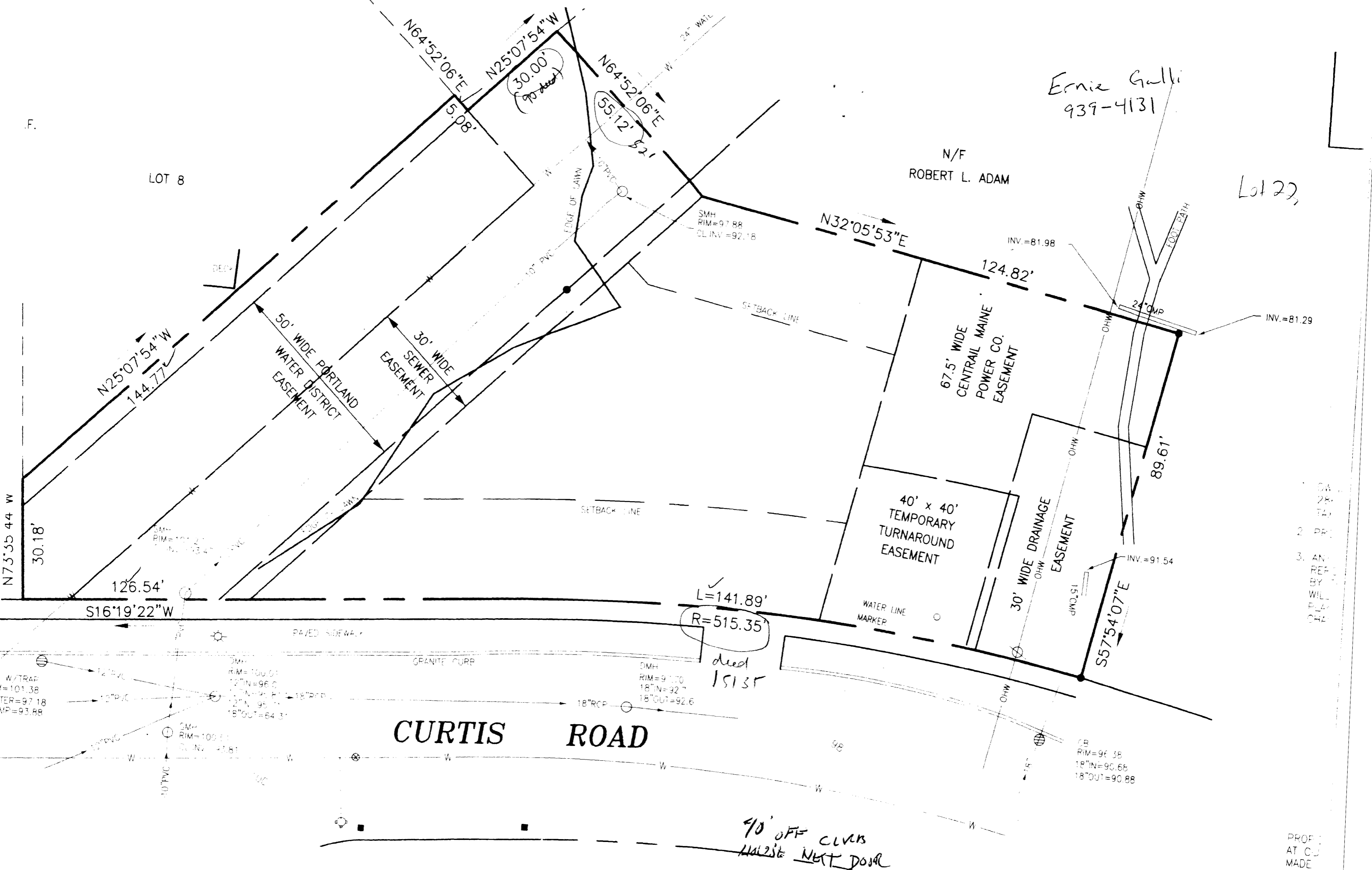
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Ernie Galli  
939-4131

N/F  
ROBERT L. ADAM

Lot 22

LOT 8



F.

N73°55'44\"/>

30.18'

N25°07'54\"/>

144.77'

50' WIDE PORTLAND  
WATER DISTRICT  
EASEMENT

30' WIDE  
SEWER  
EASEMENT

SETBACK LINE

SETBACK LINE

67.5' WIDE  
CENTRAL MAINE  
POWER CO.  
EASEMENT

40' x 40'  
TEMPORARY  
TURNAROUND  
EASEMENT

30' WIDE DRAINAGE  
EASEMENT

89.61'

126.54'  
S16°19'22\"/>

PAVED SIDEWALK

GRANITE CURB

CURTIS ROAD

L=141.89'  
R=515.35'

deed  
15135

40' OFF CURB  
HALF NEXT DOOR

SMH  
RIM=97.88  
CL INV=92.18

SMH  
RIM=101.22  
CL INV=93.47

DMH  
RIM=91.10  
18\"/>

INV.=81.98

INV.=81.29

INV.=91.54

OB  
RIM=96.38  
18\"/>

1. DW  
2. 28'  
3. 74'  
4. 2. PR  
5. AN  
6. REFC  
7. BY  
8. WIL  
9. PL  
10. CH

PROF  
AT CU  
MADE