

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0314	Issue Date: APR 19 2002	CBL: 389 E016001
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Location of Construction: 21 Pamela St	Owner Name: Menario Jay M	Owner Address: 21 Pamela Rd	Phone: 207-797-2585
Business Name: n/a	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: 2077973381
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family / Kitchen renovation, including moving 1 wall.	Permit Fee: \$149.00	Cost of Work: \$18,000.00	CEO District: 2
Proposed Project Description: Renovating kitchen, including moving a wall.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>2-3</i> Type: <i>5B</i> <i>BOCA 1999</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 04/08/2002	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/10/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/10/02</i>
		<i>OK</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

0 to 0 314

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

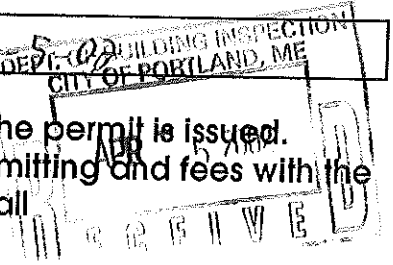
Location/Address of Construction: <u>21 Pamela Road</u>		
Total Square Footage of Proposed Structure <u>19,377 sq. ft.</u>	Square Footage of Lot <u>19,377</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>389</u> Block# <u>E</u> Lot# <u>016</u>	Owner: <u>Jay + Diane Menario</u>	Telephone: <u>797-2585</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>18,000</u> Fee: \$ <u>149-</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Single Family</u>		
Project description: <u>Kitchen Renovation, including moving 1 load bearing wall</u>		
Contractor's name, address & telephone: <u>Papi + Romano Bldgs. Inc.</u>		
Who should we contact when the permit is ready: <u>Rick Romano</u>		
Mailing address: <u>P.O. Box 1079 Portland, Me. 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-3381</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kenneth S. Booth</u>	Date: <u>4-5-00</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



L & L STRUCTURAL

ENGINEERING SERVICES, INC.

Six Q Street

South Portland, ME 04106

Phone: (207) 767-4830

Fax: (207) 799-5432

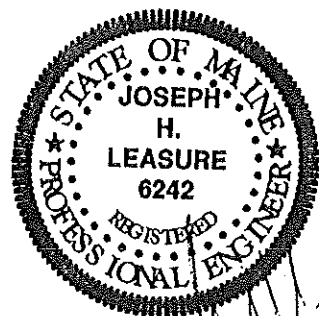
MENARIO RESIDENCE

21 PAMELA ROAD
PORTLAND, MAINE

STRUCTURAL DRAWINGS
GENERAL NOTES

Prepared for: Papi & Romano Builders, Inc.
P.O. Box 1079
Portland, Me. 04104

Submission Date: April 2, 2002
Drawings: S1 thru S3



5/13/02 Rugh fromy & Elec ok
No tests on Plumbing Supply & Waste
lines

5/13/02 Plumbing tests Done - OK (D)
ok to Close (P)

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

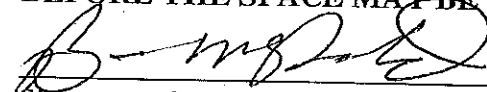
Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of applicant/designee

4-19-02
Date

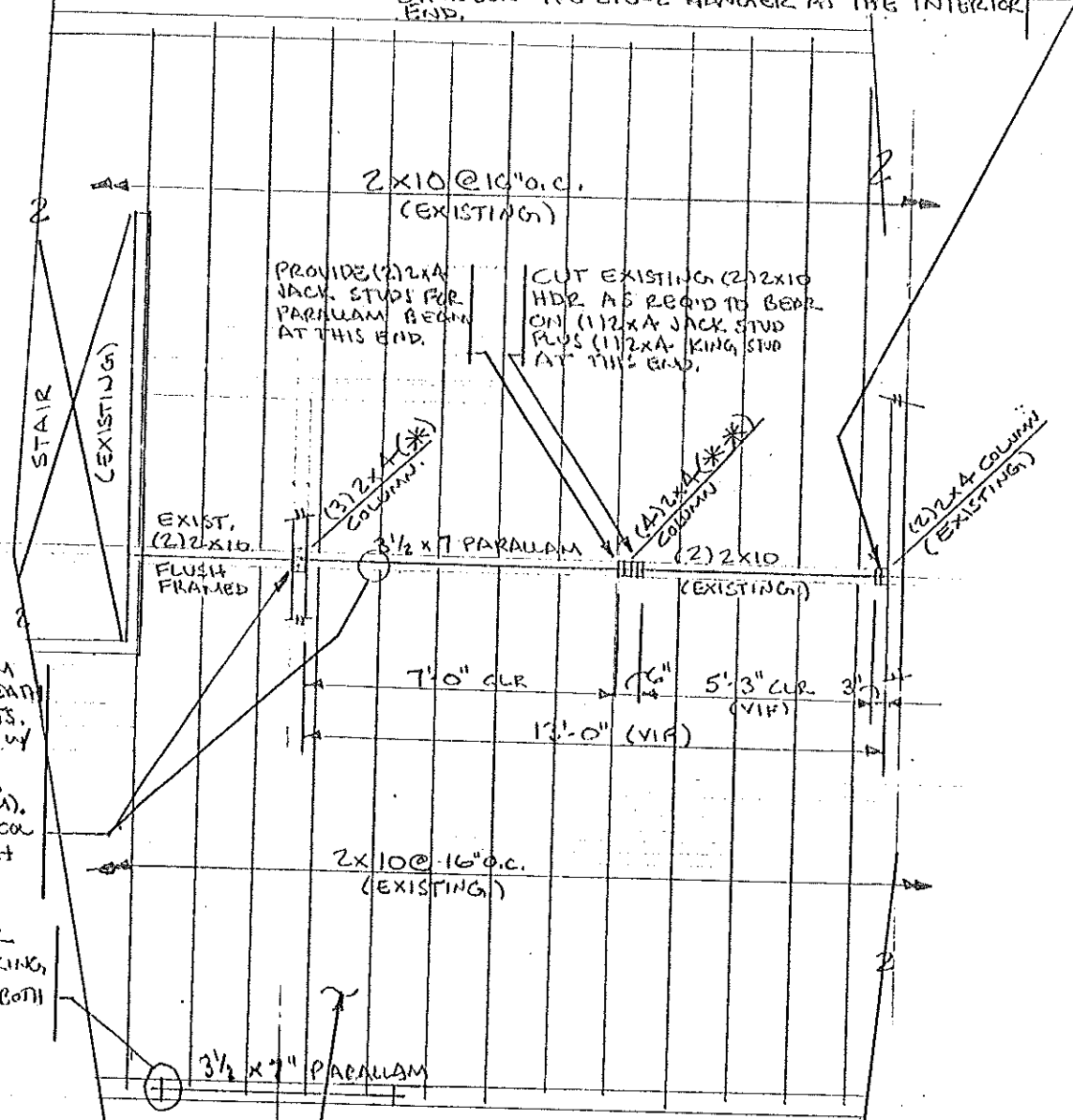

Signature of Inspections Official

4-19-02
Date

CBL: 389 F 016 Building Permit #: 02 0314

FRONT

BENEATH COLUMN IN FIRST FLOOR. PROVIDE AN ADD'L (2) 2X10 BEAM (PARALLEL W/ EXIST. FIRST FLOOR JOISTS), SUPPORT ON NEW 2X PT. PLATE ON TOP OF THE CORNER OF THE EXIST. FOUNDATION WALL AT THE EXTERIOR END. SUPPORT FROM THE EXISTING BEAM W/ A SIMPSON HU 210-2 HANGER AT THE INTERIOR END.



INSTALL NEW PARALLEL BEAM DIRECTLY BEHIND EXISTING FLOOR JOISTS. FASTEN JOISTS TO BM W/ (2) 16D TOE NAILS AND PROVIDE SOLID BLOCKING BETWEEN JOISTS (ADV. CM). BEAR CM ON (3) 2X4 COL AT THIS END BENEATH EXIST. (2) 2X10 HDR.

PROVIDE (2) 2X4 JACK STUDS PLUS (2) 2X4 KING STUDS AT JAMBS AT BOTH ENDS OF HDR.

REAR

KITCHEN BELOW

- NOTES:
- 1) SEE GENERAL NOTES ON DWG. S1 & S2.
 - 2) "*" INDICATES: TO INSTALL NEW 3/2" DIA LAMN COLUMN IN BASEMENT ALIGNED W/ TIMBER COL. ABOVE, SUPPORT COL. ON 1'-0" SQ X 10" THICK CONCRETE FOOTING.
 - 3) "***" INDICATES: TO INSTALL NEW (3) 2X6 COLUMN IN BASEMENT ALIGNED W/ TIMBER COL. ABOVE SUPPORT ON EXIST. FOUND. WALL IN BASEMENT.
 - 4) PROVIDE SOLID 2X4 VERTICAL BLOCKING IN FIRST FLOOR SYSTEM BENEATH TIMBER COLUMNS (ADV. NEW COL. IN BASEMENT (M)).
 - 5) PROVIDE TEMP. SUPPORT OF SECOND FLOOR AS REQUIRED PRIOR TO REMOVING WALLS AND INSTALLING BEAMS. (TMP.).

PARTIAL 2nd FLOOR FRAMING PLAN
1/4" = 1'-0"

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	4/2/02

MENARIO RESIDENCE
 PORTLAND, MAINE
 KITCHEN RENOVATION
 PART. 2ND FLOOR FRAMING PLAN

L & L STRUCTURAL
 ENGINEERING SERVICES, LLC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 700-5432
 EMAIL: LLENGO@L.COM



CITY OF PORTLAND, MAINE
Department of Building Inspections

415
20 02

Received from Papir Panno Builders

Location of Work at Panno

Cost of Construction \$ 18,000
Permit Fee \$ 149-

Building (II) Plumbing (15) Electrical (12) Site Plan (U2)

Other _____
CBL: 389-E-016

Check #: 3067
Total Collected \$ 149-

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

GENERAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
3. The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads shall be as follows:
Floor40 PSF

FOUNDATION NOTES:

1. Foundations have been designed utilizing a presumptive bearing capacity of 2000 PSF to be verified in the field.
2. Footings shall be founded on undisturbed native soil or compacted structural fill.
3. Structural fill shall be used at all locations below footings. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318--Latest Edition.
2. Concrete strength at 28 days shall be 3000 PSI.
3. All concrete shall be air entrained per the specifications.
4. Concrete shall not be placed in water or on frozen ground.
5. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315--Latest edition.
6. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.

designed by: JHL	MENARIO RESIDENCE PORTLAND, MAINE KITCHEN RENOVATION GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 788-6432 EMAIL: LLEN@AOL.COM	SI
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: APRIL 2, 2002			

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. All lumber in contact with concrete shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWWA C-18.
4. Provide solid 2x timber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.

designed by:	JHL	MENARIO RESIDENCE PORTLAND, MAINE KITCHEN RENOVATION GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 798-6432 EMAIL: LLENG@AOL.COM	S2
drawn by:	JHL			
checked by:	MFL			
scale:	NOTED			
date:	APRIL 2, 2002			

DRAWING NUMBER: **A**
 DATE: **4/3/02**
 SCALE: **1/4" = 1'-0"**
 APPROVED BY: **RR**
 DRAWN BY: **RR**
MEMARIO RESIDENCE, 21 PARKER RD. PORTLAND

APPLIANCES

GE PCL 23 NGN REFRIGERATOR WHITE ON WHITE
GE JEM 25 W/F MICROWAVE WHITE ON WHITE
GE DISHWASHER
GE RANGE/OVEN

SPECIAL HARDWARES

1 REVASHELF RV-15PB-25 2/27 QT TRASH CAN
2 PMA SHELF 688-32-570 BLINDCORNER SHELVES
3 PMA SHELF 5273-14 PULLOUT PANTRY

WINDOW & DOOR SCHEDULES

① ANDERSEN CN-135-3 CASHEM WHITE SCREEN - WHITE HARDWARE
② ANDERSEN FLEXIFRAME - FIXED
③ MORRAN PINE PANELED DOOR
④ MATCH EXISTING DOORS
⑤ 2'-0" X 6'-0"
⑥ MORRAN M-3912 2'-6" X 6'-0" FRENCH DOOR
⑦ MORRAN M-3912-2 2'-4" X 6'-0" FRENCH DOOR

