

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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|-----------------------|----------------------------|---------------------|
| Permit No: 02-0314 | Issue Date: APR 19 2002 | CBL: 389 E016001 |
|-----------------------|----------------------------|---------------------|

| | | | |
|---|---|---|------------------------|
| Location of Construction: 21 Pamela St | Owner Name: Menario Jay M | Owner Address: 21 Pamela Rd | Phone: 207-797-2585 |
| Business Name: n/a | Contractor Name: Papi & Romano Builders, Inc | Contractor Address: PO Box 1079 Portland | Phone: -2077973381 |
| Lessee/Buyer's Name n/a | Phone: n/a | Permit Type: Alterations - Dwellings | Zone: |

| | | | | |
|---|---|---|---|--------------------|
| Past Use: Single Family | Proposed Use: Single Family / Kitchen renovation, including moving 1 wall. | Permit Fee: \$149.00 | Cost of Work: \$18,000.00 | CEO District: 2 |
| Proposed Project Description: Renovating kitchen, including moving a wall. | | FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> | INSPECTION: Use Group: <i>2-3</i> Type: <i>SB</i> <i>BOLA 11/11</i> | |
| | | Signature: | Signature: <i>[Signature]</i> | |

| | | | |
|---|-----------------------------------|--|---------------------------------|
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | | |
| Action: | <input type="checkbox"/> Approved | <input type="checkbox"/> Approved w/Conditions | <input type="checkbox"/> Denied |
| Signature: | Date: | | |

| | | | |
|------------------------|---------------------------------|------------------------|--|
| Permit Taken By: gg | Date Applied For: 04/08/2002 | Zoning Approval | |
|------------------------|---------------------------------|------------------------|--|

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|--|---|--|--|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/10/02</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/10/02</i> |
| | <i>OK</i> | | |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

0 1 0 314

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

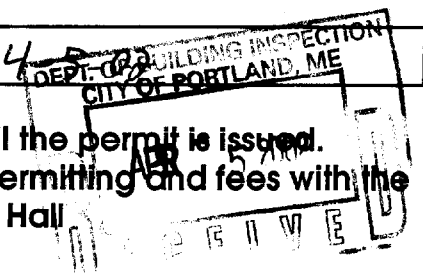
| | | |
|--|--|---|
| Location/Address of Construction: <u>21 Pamela Road</u> | | |
| Total Square Footage of Proposed Structure <u>19,377 2042 Sq. Ft.</u> | Square Footage of Lot <u>19,377</u> | |
| Tax Assessor's Chart, Block & Lot Chart# <u>389</u> Block# <u>E</u> Lot# <u>016</u> | Owner: <u>Jay + Diane Menario</u> | Telephone: <u>797-2585</u> |
| Lessee/Buyer's Name (if Applicable) | Applicant name, address & telephone: | Cost Of Work: \$ <u>18,000</u> Fee: \$ <u>149-</u> |
| Current use: <u>Single Family</u> | | |
| If the location is currently vacant, what was prior use: _____ | | |
| Approximately how long has it been vacant: _____ | | |
| Proposed use: <u>Single Family</u> | | |
| Project description: <u>Kitchen Renovation, including moving 1 load bearing wall</u> | | |
| Contractor's name, address & telephone: <u>Papi + Romano Bldrs. Inc.</u> | | |
| Who should we contact when the permit is ready: <u>Rick Romano</u> | | |
| Mailing address: <u>P.O. Box 1079 Portland, Me. 04104</u> | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-3381</u> | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|---------------------|
| Signature of applicant: <u>Kenneth S. Booth</u> | Date: <u>4-2-05</u> |
|---|---------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



L & L STRUCTURAL

ENGINEERING SERVICES, INC.

Six Q Street

South Portland, ME 04106

Phone: (207) 767-4830

Fax: (207) 799-5432

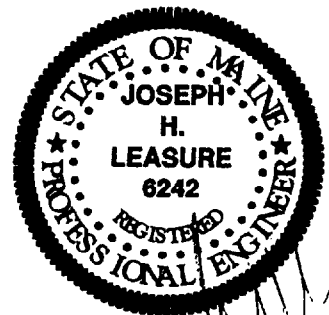
MENARIO RESIDENCE

21 PAMELA ROAD
PORTLAND, MAINE

STRUCTURAL DRAWINGS
GENERAL NOTES

Prepared for: Papi & Romano Builders, Inc.
P.O. Box 1079
Portland, Me. 04104

Submission Date: April 2, 2002
Drawings: S1 thru S3



GENERAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
3. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads shall be as follows:
Floor40 PSF

FOUNDATION NOTES:

1. Foundations have been designed utilizing a presumptive bearing capacity of 2000 PSF to be verified in the field.
2. Footings shall be founded on undisturbed native soil or compacted structural fill.
3. Structural fill shall be used at all locations below footings. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

| SCREEN OR SIEVE SIZE | PERCENT FINER BY WEIGHT |
|----------------------|-------------------------|
| 6 INCH | 100 |
| 3 INCH | 70-100 |
| NO. 4 | 35-70 |
| NO. 40 | 5-35 |
| NO. 200 | 0-5 |

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days shall be 3000 PSI.
3. All concrete shall be air entrained per the specifications.
4. Concrete shall not be placed in water or on frozen ground.
5. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
6. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.

| | | | |
|---------------------|--|---|-----------|
| designed by: JHL | MENARIO RESIDENCE PORTLAND, MAINE KITCHEN RENOVATION GENERAL NOTES | L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM | SI |
| drawn by: JHL | | | |
| checked by: MFL | | | |
| scale: NOTED | | | |
| date: APRIL 2, 2002 | | | |

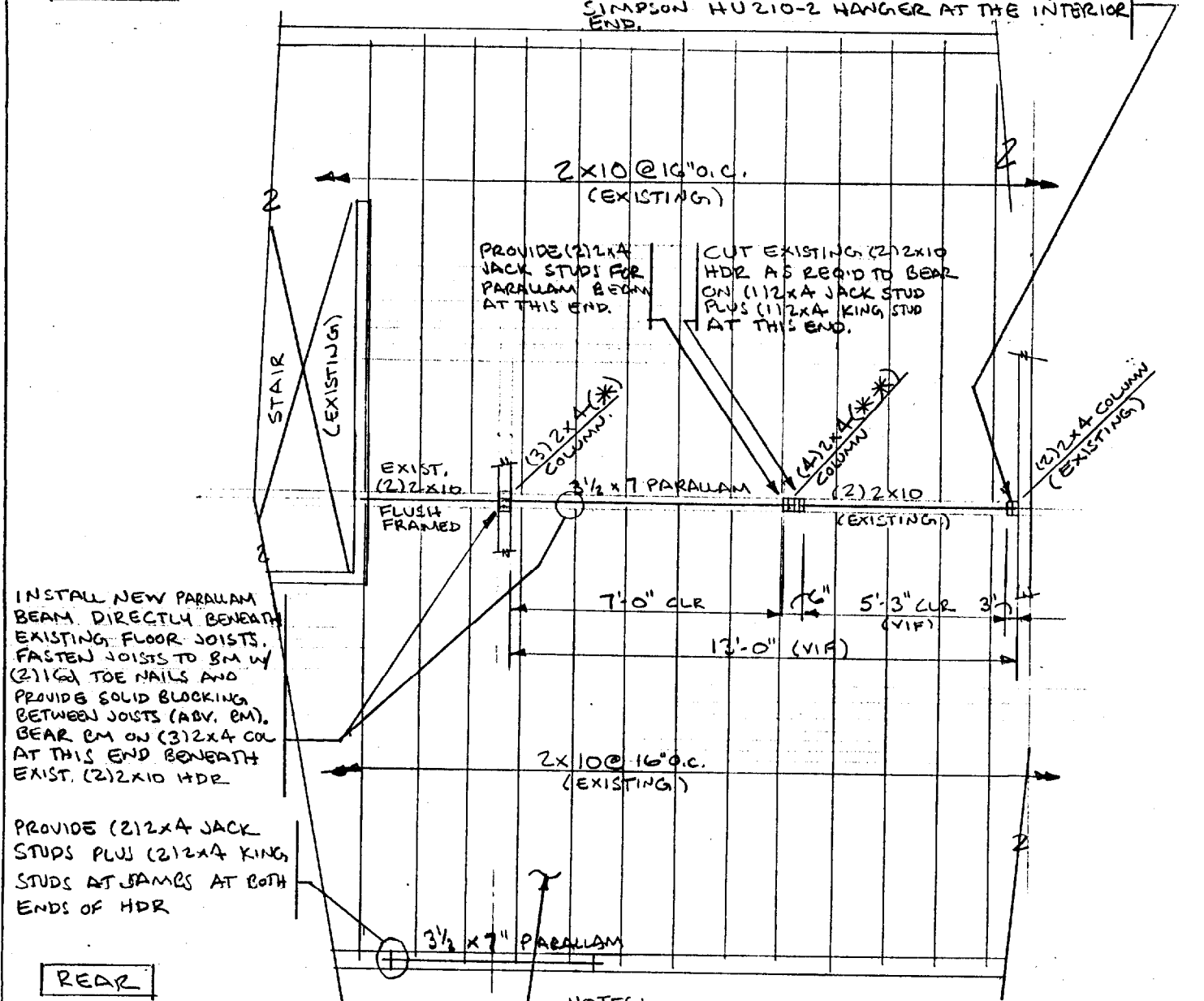
TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. All lumber in contact with concrete shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x timber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.

| | | | |
|---------------------|---|---|----|
| designed by: JHL | MENARIO RESIDENCE PORTLAND, MAINE KITCHEN RENOVATION GENERAL NOTES | L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 798-5432 EMAIL: LLENG@AOL.COM | S2 |
| drawn by: JHL | | | |
| checked by: MFL | | | |
| scale: NOTED | | | |
| date: APRIL 2, 2002 | | | |

FRONT

BENEATH COLUMN IN FIRST FLOOR PROVIDE AN ADD'L (2)2X10 BEAM (PARALLEL W/ EXIST. FIRST FLOOR JOISTS). SUPPORT ON NEW 2x P.T. PLATE ON TOP OF THE CORNER OF THE EXIST. FOUNDATION WALL AT THE EXTERIOR END. SUPPORT FROM THE EXISTING BEAM W/ A SIMPSON HU 210-2 HANGER AT THE INTERIOR END.



INSTALL NEW PARALLEL BEAM DIRECTLY BENEATH EXISTING FLOOR JOISTS. FASTEN JOISTS TO BM W/ (2)16D TOE NAILS AND PROVIDE SOLID BLOCKING BETWEEN JOISTS (ADV. CM). BEAR CM ON (3)2x4 COL AT THIS END BENEATH EXIST. (2)2x10 HDR

PROVIDE (2)2x4 JACK STUDS PLUS (2)2x4 KING STUDS AT JAMBS AT BOTH ENDS OF HDR

REAR

KITCHEN BELOW

NOTES:

- 1) SEE GENERAL NOTES ON DWG. S1 & S2.
- 2) "*" INDICATES: TO INSTALL NEW 3 1/2" DIA LAMB COLUMN IN BASEMENT ALIGNED W/ TIMBER COL. ABOVE. SUPPORT COL. ON 1'-6" SQ X 10" THICK CONCRETE FOOTING.
- 3) "**" INDICATES: TO INSTALL NEW (3)2x6 COLUMN IN BASEMENT ALIGN W/ TIMB COL. ABOVE SUPPORT ON EXIST. FOUND. WALL IN BASEMENT.
- 4) PROVIDE SOLID 2x4 VERTICAL BLOCKING IN FIRST FUR SYSTEM BENEATH TIMBER COLUMNS (ADV. NEW COL IN BASEMENT (TYP)).
- 5) PROVIDE TEMP. SUPPORT OF SECOND FUR AS REQ'D PRIOR TO REMOVING WALLS AND INSTALLING BEAMS. (TYP.)

PARTIAL 2nd FUR FRAMING PLAN
1/4" = 1'-0"

| | | | |
|--------------|--------|--|--|
| designed by: | JHL | MENARIO RESIDENCE PORTLAND, MAINE KITCHEN RENOVATION PART. 2ND FUR FRAMING PLAN | L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 790-5432 EMAIL: llleng@aol.com |
| drawn by: | JHL | | |
| checked by: | MFL | | |
| scale: | NOTED | | |
| date: | 4/2/02 | | |

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- _____ **Footing/Building Location Inspection:** Prior to pouring concrete
- _____ **Re-Bar Schedule Inspection:** Prior to pouring concrete
- _____ **Foundation Inspection:** Prior to placing ANY backfill
- _____ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- _____ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

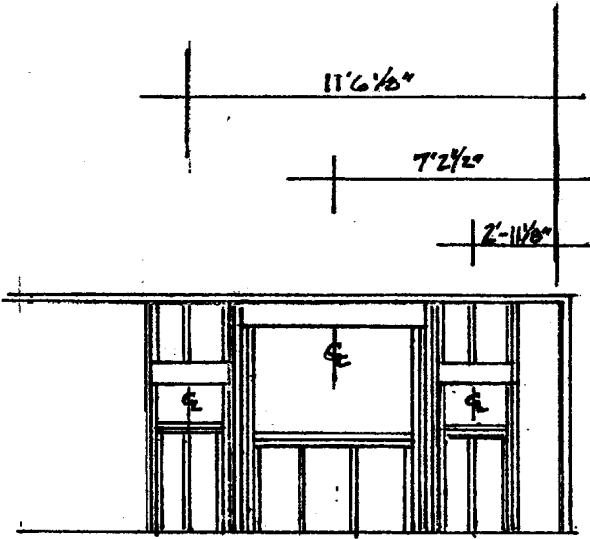
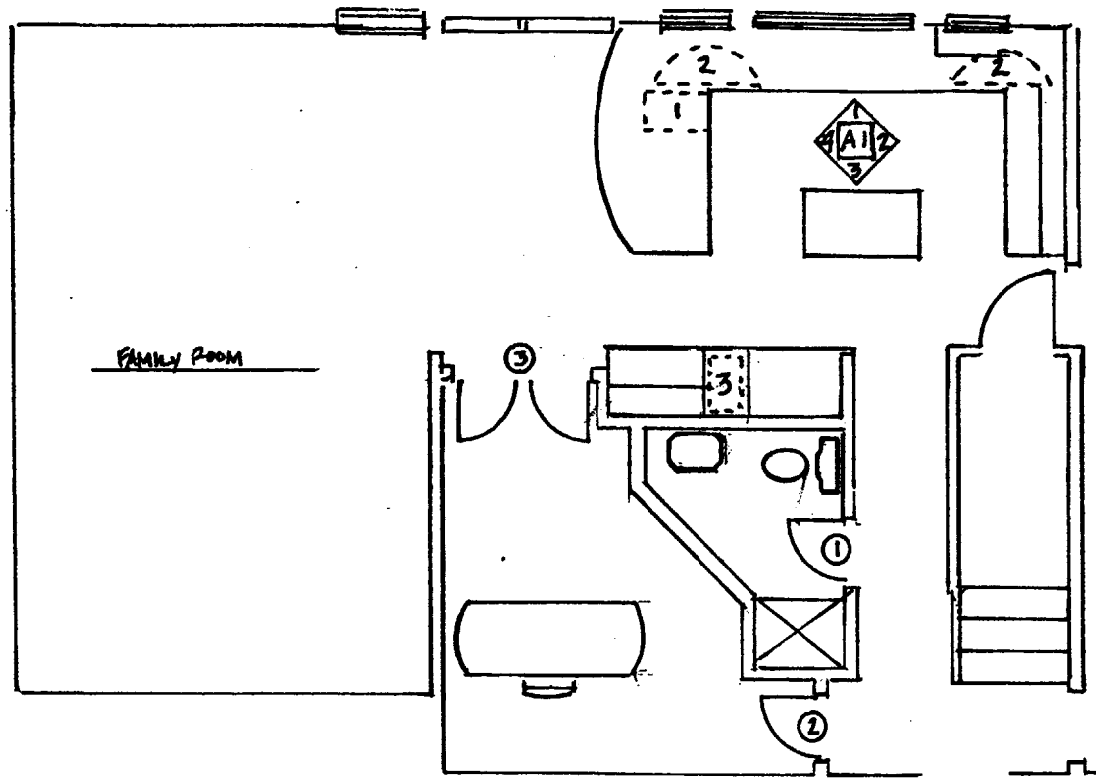
[Signature]
Signature of applicant/designee

4-19-02
Date

[Signature]
Signature of Inspections Official

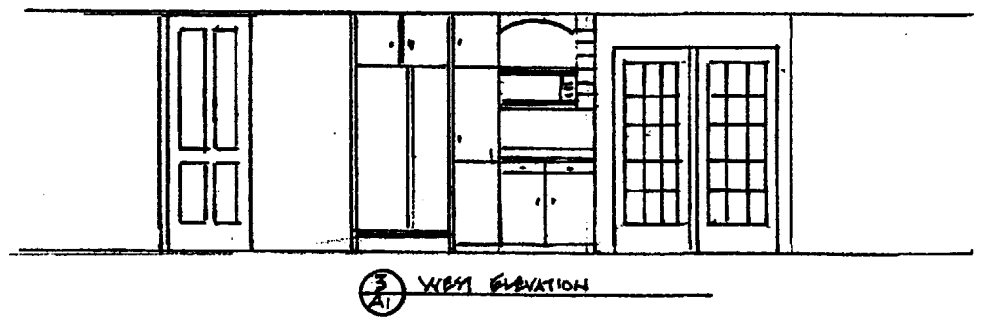
4-19-02
Date

CBL: 389 F 016 Building Permit #: 02 0314

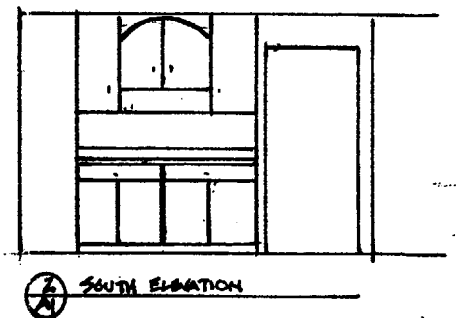


WINDOW & DOOR SCHEDULES

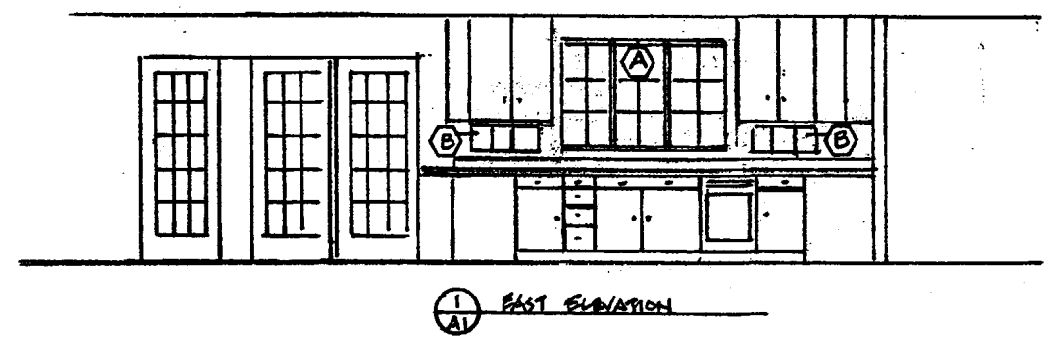
- Ⓐ ANDERSEN CN-135-3 CASHEM WHITE SCREEN - WHITE HARDWARE
- Ⓑ ANDERSEN FLEXIFRAME - FINED
- ① MORGAN PINE PANELED DOOR MATCH EXISTING DOORS 2'-0" x 6'-6"
- ② MORGAN M-3412 2'-6" x 6'-6" FRENCH DOOR
- ③ MORGAN M-3412-2 2'-4" x 6'-6" FRENCH DOOR



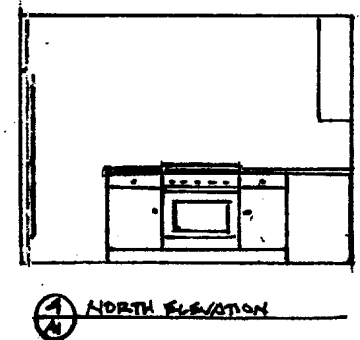
Ⓐ WEST ELEVATION



Ⓑ SOUTH ELEVATION



Ⓐ EAST ELEVATION



Ⓐ NORTH ELEVATION

SPECIAL HARDWARES

- 1 REVA SHELF RV-15PB-25 2/27 QT. TRASH CANS
- 2 REVA SHELF 608-32-570 BIND CORNER SHELVES
- 3 REVA SHELF 5273-M PULLOUT PANTRY

APPLIANCES

- GE PSC 23 NGLN REFRIGERATOR WHITE ON WHITE
- GE JEM 25 WF MICROWAVE WHITE ON WHITE
- GE DISHWASHER
- GE RANGE/OVEN

| | | | | |
|--|--|--------------------|--------------|-------------------|
| MENARIO RESIDENCE 21 BAMELA RD. PORTLAND | | SCALE 1/4" = 1'-0" | APPROVED BY: | DRAWN BY RR |
| DATE 4/3/02 | | | | REVISED |
| KITCHEN/BATH RENOVATION | | | | DRAWING NUMBER A1 |