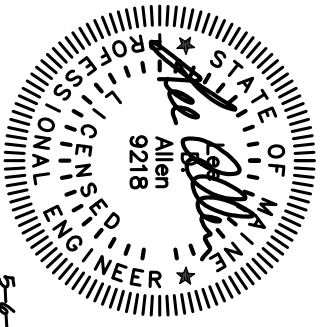
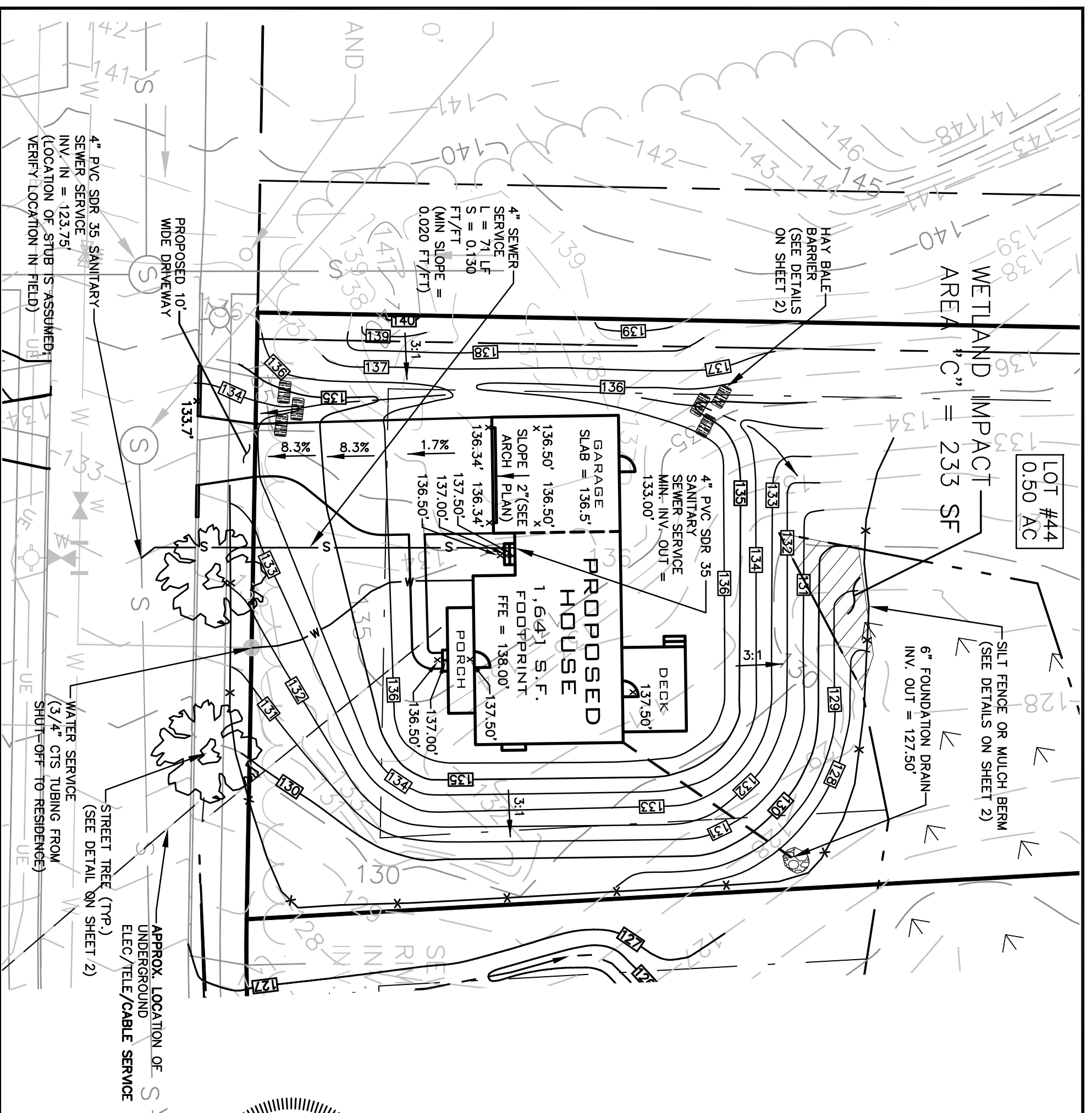


SOILS LEGEND		
SYMBOL	SOIL TYPE	HSG
Sn	SCANTIC SILT LOAM, 0%-3% SLOPES	D

THE SOURCE OF THE SOIL TYPES AND BOUNDARIES IS THE NATIONAL COOPERATIVE SOIL SURVEY (NCSS).

**NOTES:**

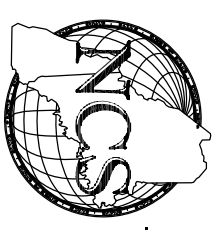
- THE PARCEL SHOWN IS LOCATED IN THE R2 ZONE/DISTRICT. PORTIONS OF BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:  
 MINIMUM LOT AREA = 10,000 S.F.  
 MINIMUM STREET FRONTAGE = 50'  
 MINIMUM LOT WIDTH = 80'  
 SETBACKS:  
 FRONT YARD.....25'  
 REAR YARD.....25'  
 SIDE YARD.....14\* (2 STORY)  
 \*SIDE YARD DEPENDENT ON HEIGHT OF BUILDING.  
 \*\*VERIFY ALL BUILDING SETBACKS PRIOR TO CONSTRUCTION
- THE INTENT OF THIS PLAN IS TO SHOW LOT IMPROVEMENTS ON LOT #44, INCLUDING GRADING, EROSION CONTROL MEASURES, HOUSE & DRIVEWAY LOCATIONS, AND UTILITIES.



Drawing Name:  
**LOT #44 THE VESTA CORPORATION  
 GRADING PLAN - SHEET 1 OF 2**

Project Name and Location:  
**PAMELA ROAD EXTENSION  
 PAMELA ROAD, PORTLAND, MAINE 04101**

DATE: MAY 6, 2016      SHEET: 1 OF 2



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