

**PERMIT ISSUED**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0739	Issue Date: <b>JUN 13 2005</b>	CEL: 89 D002001
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<b>Location of Construction:</b> 89 Crestview Dr	<b>Owner Name:</b> Pozzy Jennifer J &	<b>Owner Address:</b> 89 Crestview Dr	<b>Phone:</b> 878-6919
<b>Business Name:</b>	<b>Contractor Name:</b> Alan Vigue	<b>Contractor Address:</b> Portland	<b>City of Portland</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	<b>Zone:</b> R2

<b>Past Use:</b> Single Family	<b>Proposed Use:</b> Single Family w/removal of existing roof to add a new higher pitched roof & stairs to new 2nd floor	<b>Permit Fee:</b> \$696.00	<b>Cost of Work:</b> \$75,000.00	<b>CEO District:</b> 5
<b>Proposed Project Description:</b> Remove existing roof and install a higher pitched roof & stairs to new 2nd		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: SB IRC-2003 Signature: JMB 6/13/05	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

<b>Permit Taken By:</b> jmb	<b>Date Applied For:</b> 06113/2005	<b>Zoning Approval</b>	
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<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 6/13/05	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0739	Date Applied For: 06/13/2005	CBL: 389 D002001
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Location of Construction: 89 Crestview Dr	Owner Name: Pozzy Jennifer J &	Owner Address: 89 Crestview Dr	Phone: ( ) 878-6919
Business Name:	Contractor Name: Alan Vigue	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family w/removal of existing roof to add a new higher pitched roof & stairs to new 2nd floor	Proposed Project Description: Remove existing roof and install a higher pitched roof & stairs to new 2nd floor
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/13/2005  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/13/2005  
**Note:**      **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate **permits** are required for any electrical, plumbing, or heating.

**Dept:** Fire      **Status:**      **Reviewer:**      **Approval Date:**      **Ok to Issue:**



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Crestview Dr,

Total Square Footage of Proposed Structure \_\_\_\_\_ Square Footage of Lot 15,000 sq ft.

Tax Assessor's Chart, Block & Lot  
 Chart# 389 Block# D 002 - 001 Lot# \_\_\_\_\_  
 Owner: Alex + Jennifer Pocz Telephone: 878-6919

Lessee/Buyer's Name (If Applicable) \_\_\_\_\_ Applicant: Alex Pocz & telephone: \_\_\_\_\_ Cost Of Work: \$ 75,000  
89 Crestview Dr, Fee: \$ 696  
Portland, ME 04103

Current Specific use Primary Residence

Proposed Specific use: same

Project description: New roof and attic rooms.

Contractor's name, address & telephone: self

Who should we contact when the permit is ready: \_\_\_\_\_

Mailing address: \_\_\_\_\_

Phone: 878-6919

**Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit or work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 6/12/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$2.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

6/13  
1030  
Alex  
R2

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 389 D002001  
 Location 89 CRESTVIEW DR  
 Land Use SINGLE FAMILY  
 Owner Address POZZY JENNIFER J & ALEXANDER F POZZY JTS  
 89 CRESTVIEW DR  
 PORTLAND NE 04103  
 Book/Page 17537/177  
 Legal 389-D-2  
 CRESTVIEW DR 89-95  
 15000 SF

**Current Valuation Information**

Land Building Total  
 \$33,810 \$122,330 \$156,140

#739

**New Estimated Valuation Information**

Land Building Total Phase-In Value  
 \$90,300 \$162,600 \$272,900 \$214,520

**Property Information**

Year Built 1978 Style Raised Ranch Story Height 1 Sq. Ft. 2550 Total Acres 0.344  
 Bedrooms 3 Pull Baths 2 Half Baths 1 Total Rooms 8 Attic None Basement Full

**Outbuildings**

Type SHED-FRAME Quantity 1 Year Built 1988 Size 8X12 Grade C Condition A

**Sales Information**

Date Type Price Book/Page  
 04/16/2002 LAND + BLDING \$210,000 17537-177  
 10/19/1999 LAND + BLDING \$163,000 15115-288  
 04/23/1999 LAND + BLDING 14701-116

**Picture and Sketch**

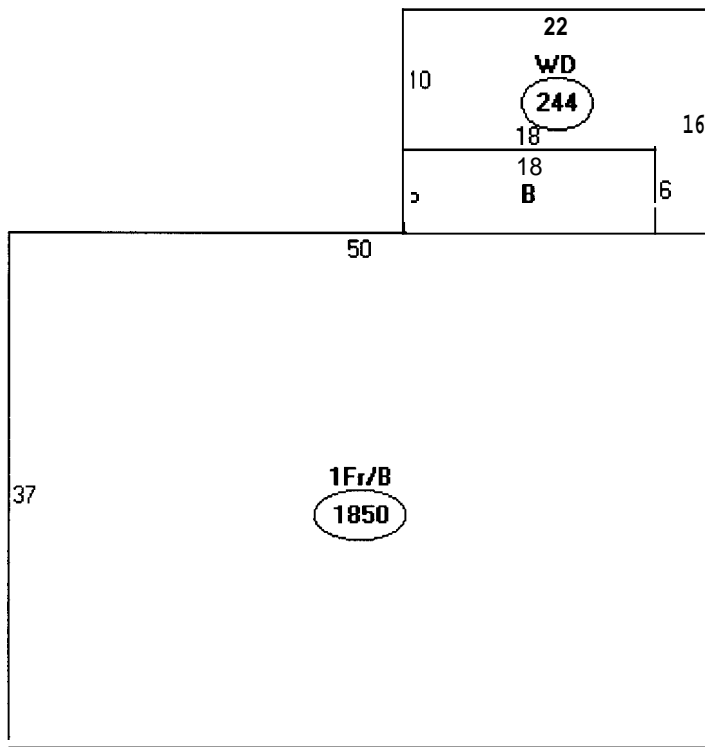
Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[Click here to view comparable sales or below to view by:](#)





Descriptor/Area

A: 1Fr/B  
1850 sqft

B: 2sWD  
108 sqft

C: WD  
244 sqft



# Residential Building Permit Application Checklist

**All of the following information is required and must be submitted in order to help insure an expeditious permitting process.**

1' cantilever (overhang) <sup>urgent</sup>  
weight change?

- Cross sections w/framing details
- Detail of **any** new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

What are the additional  
notes and instructions?



permitted to use

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown
- Boundary survey to scale showing north arrow, zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

See website for more information on the application process and the inspection process.

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10/18

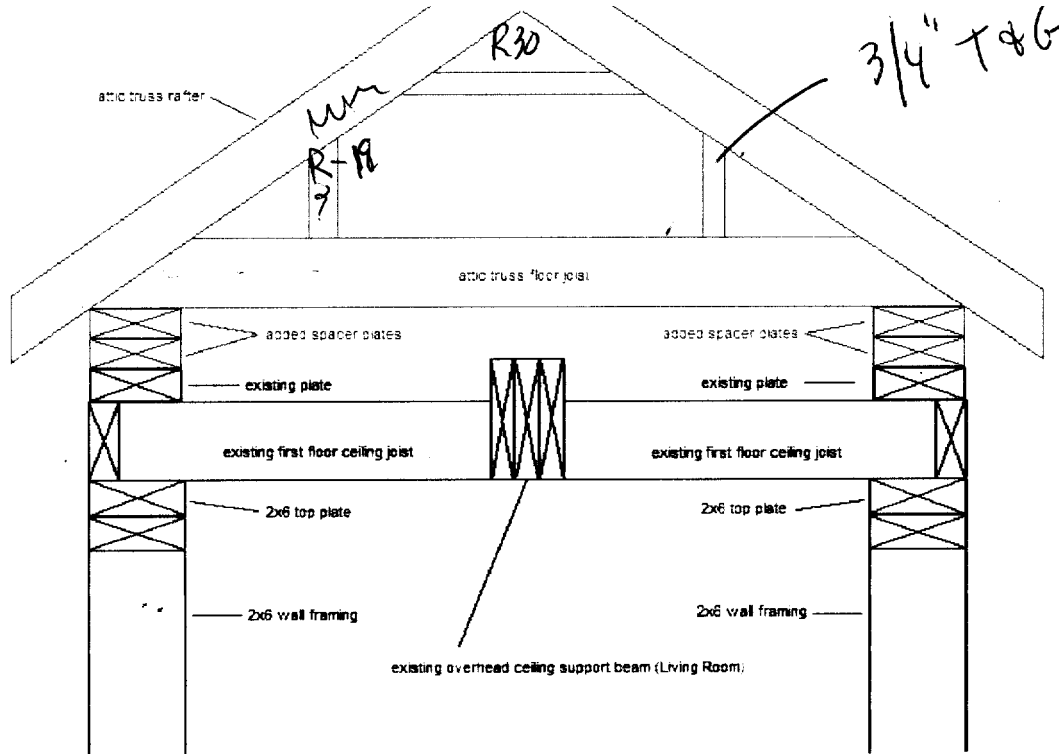
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**This is not a Permit: you may not commence any work until the Permit is issued.**

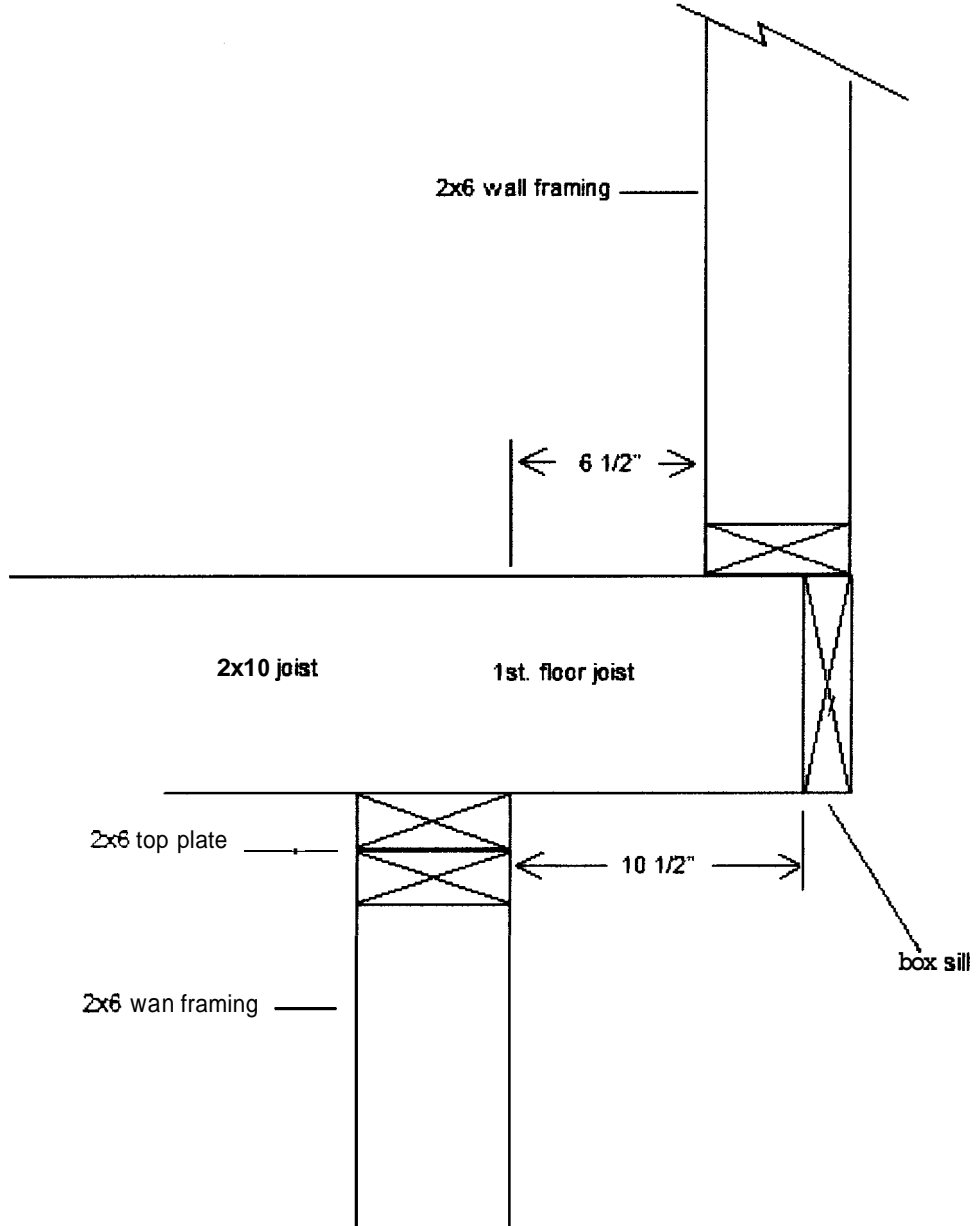
roof plate framing.jpg (837x659x24b jpeg)



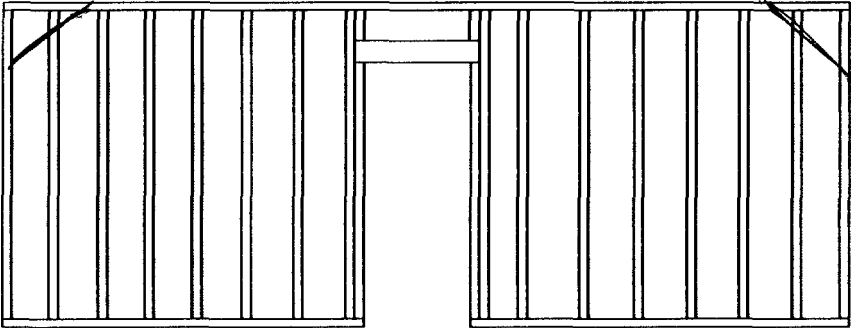
ATTIC TRUSS SUPPORT DETAIL



cantilever.jpg (528x608x24b jpeg)



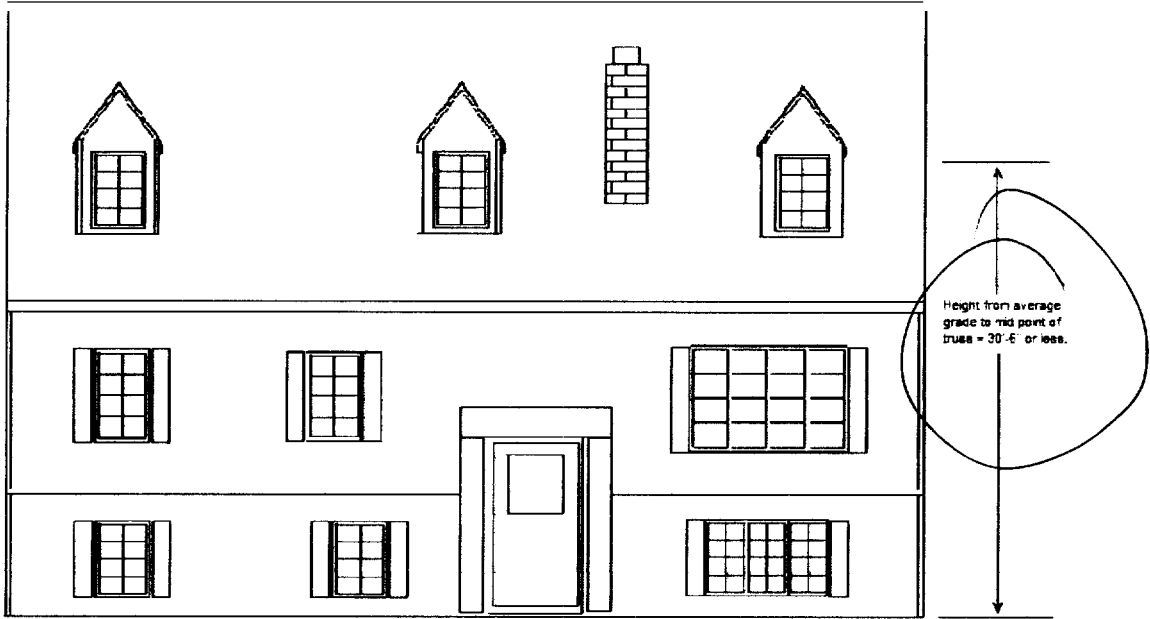
wall framing.jpg (868x654x24b jpeg)



2x4 framing - 16 O.C

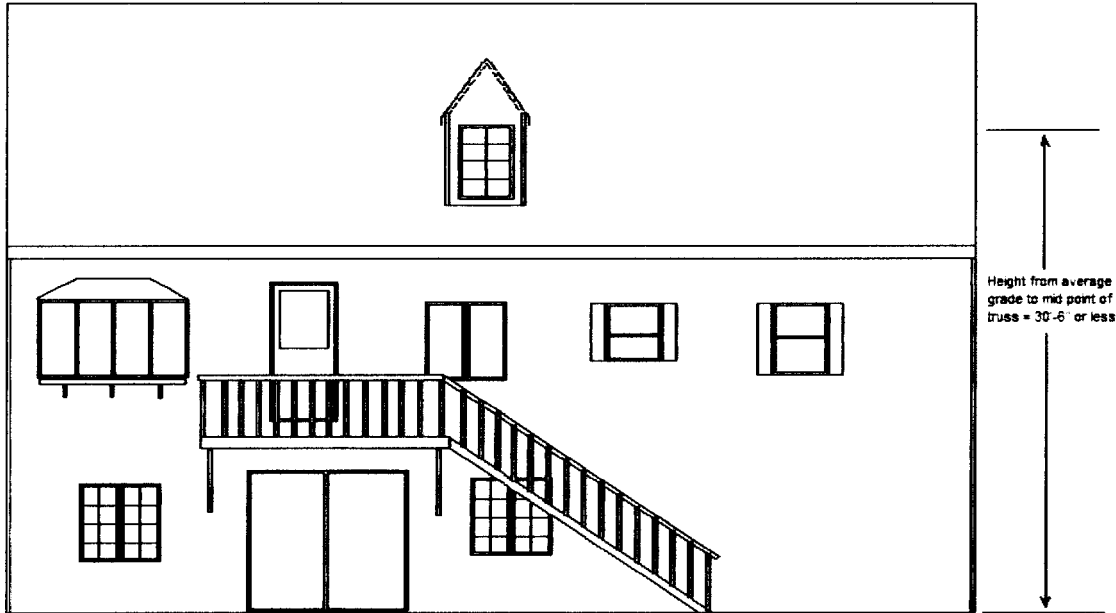
ATTIC ROOM PARTITION - (used in two places  
also typical of framing for bathroom and closet

elevationnorthwest.jpg (962x625x246 jpeg)



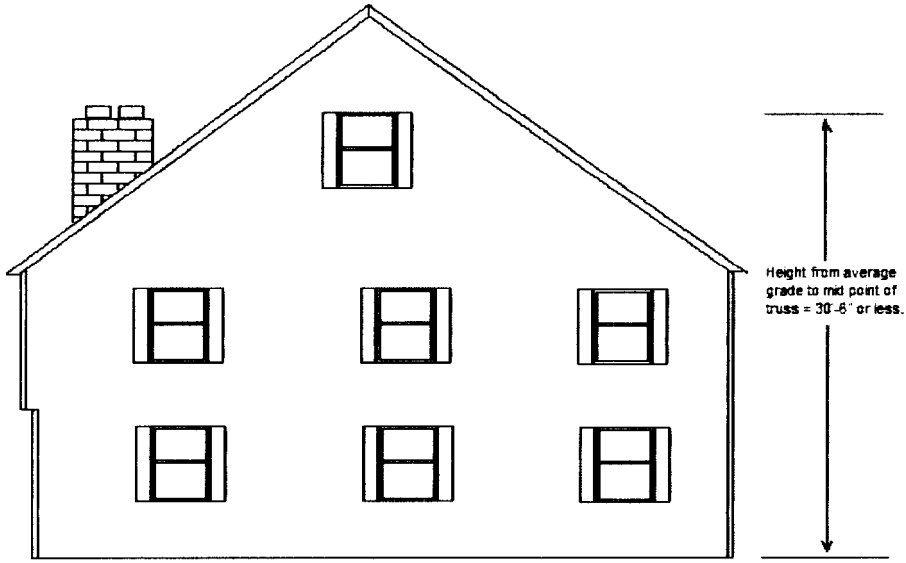
ELEVATION - Northwest exposure

elevationsoutheast.jpg (907x654x24b jpeg)



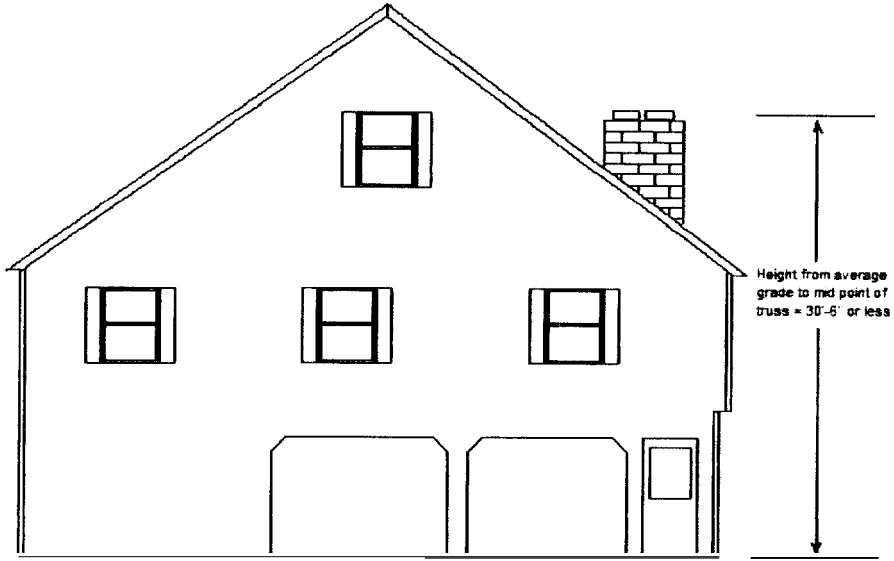
ELEVATION - Southeast Exposure

elevationsouthwest.jpg (868x654x24b jpeg)



ELEVATION - Southwest Exposure

elevationnortheast.jpg (868x654x24b .jpg)



ELEVATION - Northeast Exposure

staircase framing.bmp (771x589x24b bmp)

Attic Room

*min  
Landing  
36"*

*min 36" wall*

Finished half wall one side & full wall on opposite side.

new floor joist (part of attic truss)

existing ceiling joist

existing closet

*not to exceed*

Stairs 7 3/4" rise w/ 10" tread 3/4" overhang

Hand rails on both sides

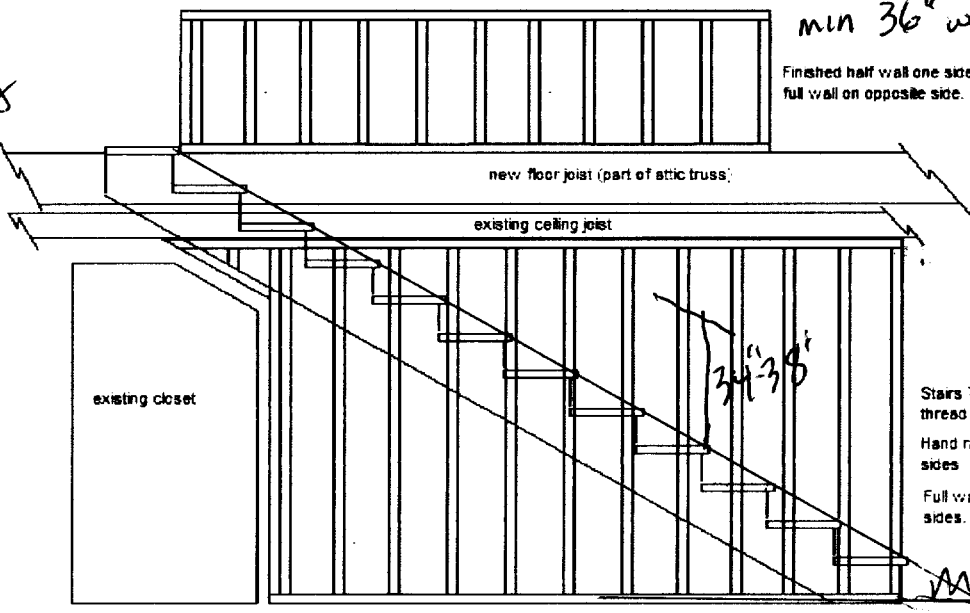
Full walls on both sides

*of one 34-38 w/ returns*

2x4 framing 16" O.C.

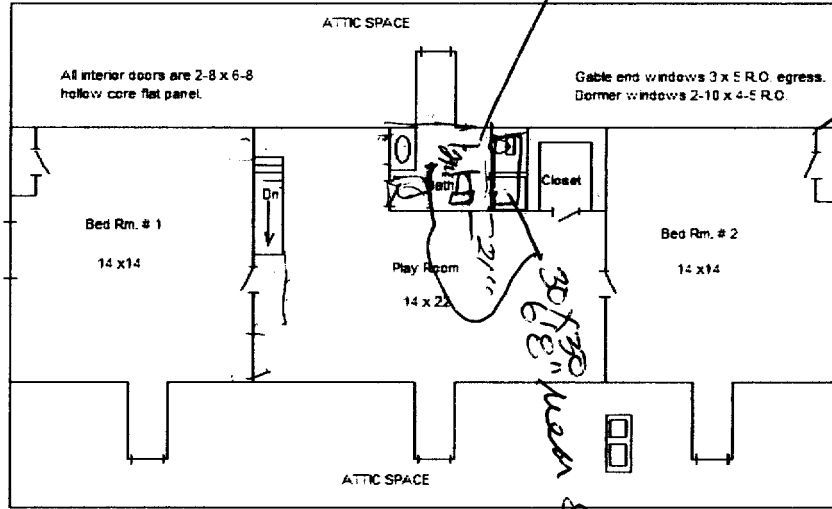
*min 36" Landing*

STAIR CASE FRAMING - Main floor to attic level



floorplan.jpg (868x654x24b jpeg)

ceiling Ht.  
6'8" Required at fixture  
& 21" in front of



6' wall

30' 6" main & lower level

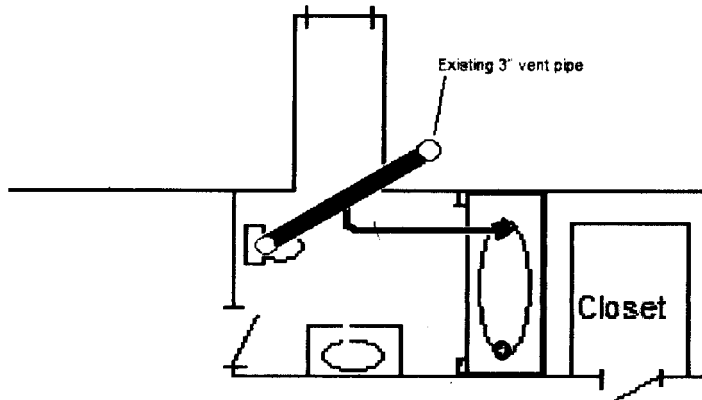
N



FLOOR PLAN  
Incl. Windows & Doors



### ATTIC SPACE

Drain pipes according to Chapter 13 code with fixtures placed max. 10' from vent pipe.

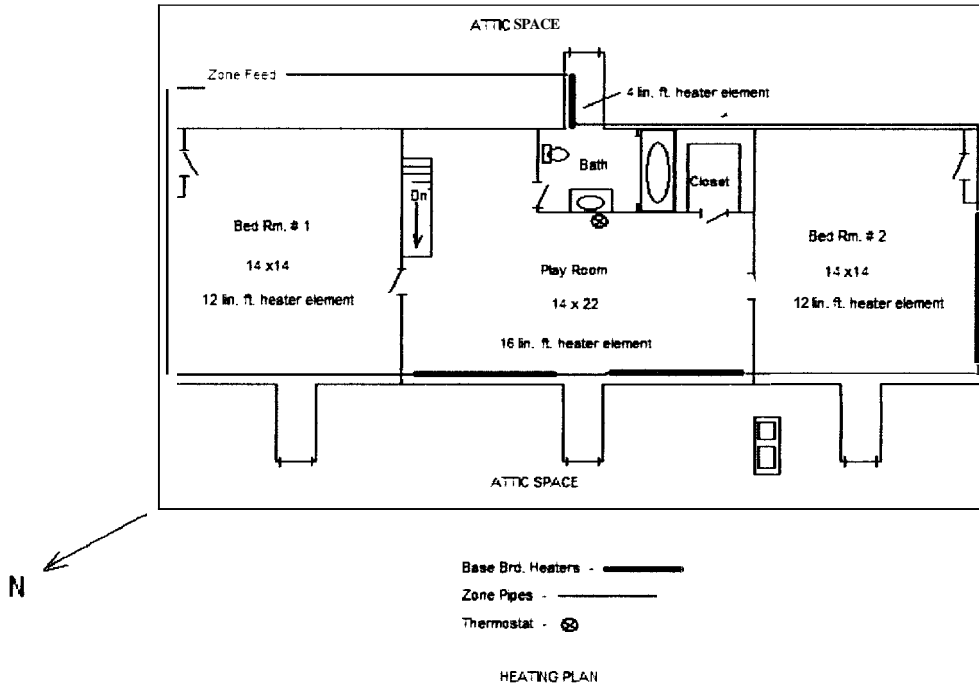


- 3" sch. 40 - 
- 2" sch. 40 -  with drum trap
- 1-1/2" sch. 40 -  with drum trap

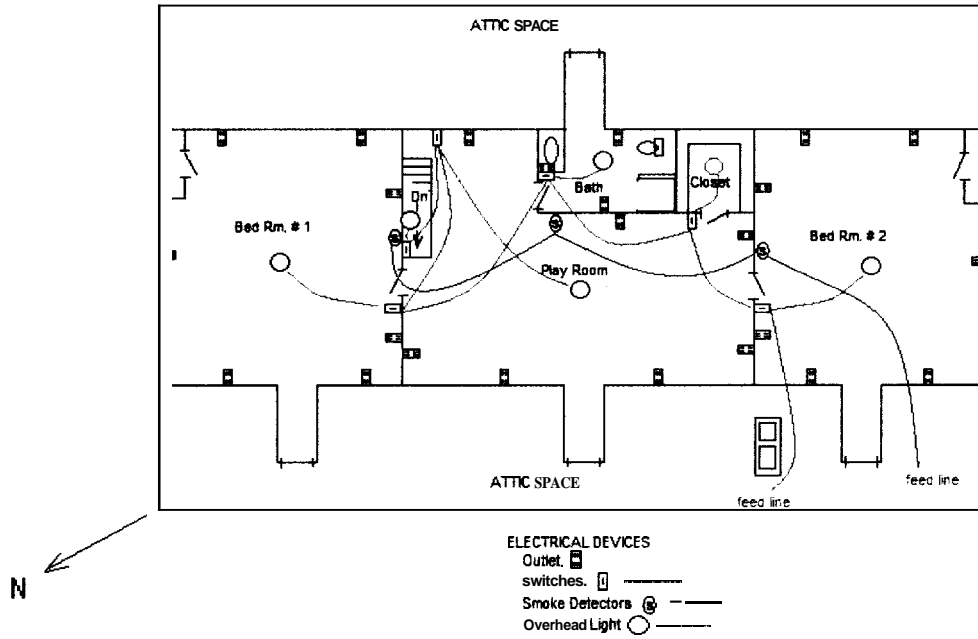
DRAIN PIPE PLAN



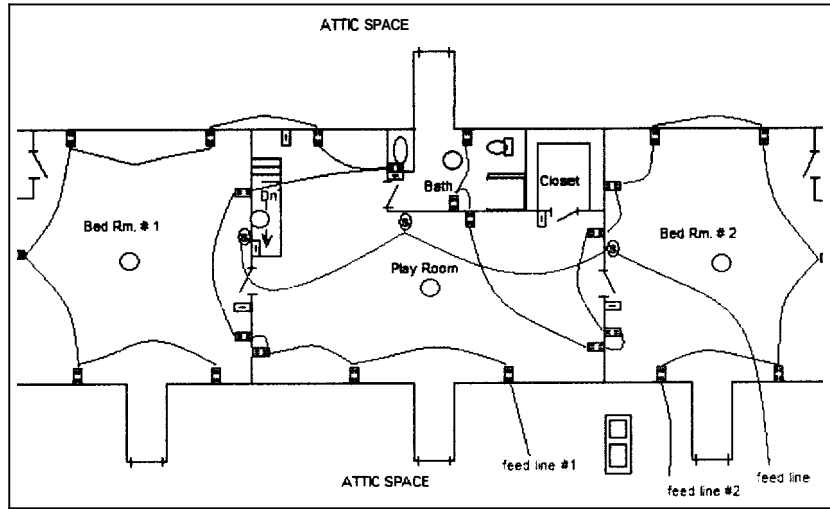
heatingplan.jpg (868x654x24b jpeg)






electrical1.jpg (868x654x24b jpeg)

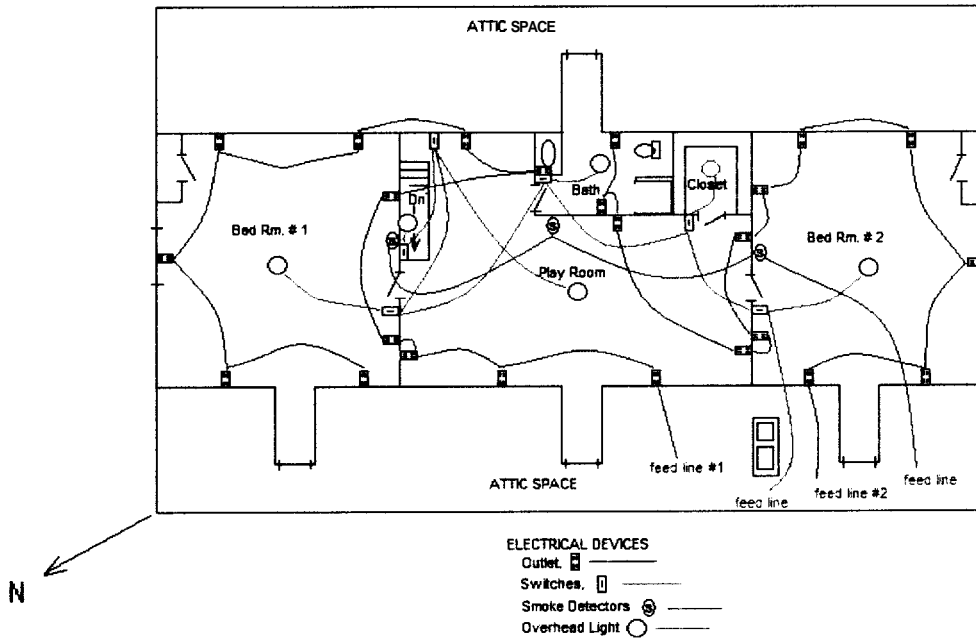


electrical2.jpg (868x654x24b jpeg)



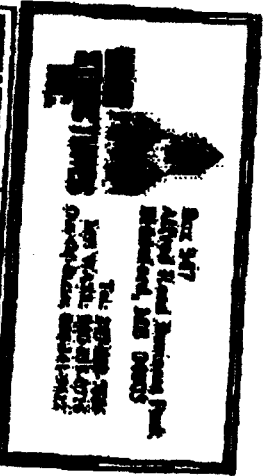
- ELECTRICAL DEVICES
- Outlet. 
  - Switches. 
  - Smoke Detectors 
  - Overhead Light 

electrical3.jpg (868x654x24b jpeg)



RightFAX

5/18/2005 7:32 PAGE 1/1 RightFAX



Box 347  
 Alfred Road, Newburg, Pa  
 17250-0347  
 Tel: 717-838-2828  
 Fax: 717-838-2828  
 MSJ QUOTE  
 1000 York Rd  
 North Conway, NH 03860

**MSJ QUOTE**

**CUSTOMER:** NINCO1  
 CHECK LUMBER LISC STRUS  
 PO BOX 3888  
 NORTH CONWAY, NH03860

**JOB NAME:** ALLEN VIGLE  
**SHIP TO:**

**QUOTE #** 410269  
**QUOTE DATE:** 5/18/2005

Page 1 of 1

**PREPARED BY:** JOHN EXTOL  
**CHECKED BY:**  
**DATE ORDERED:**  
**ORDER TAKEN:**  
**DELIVERY DATE:** 05/23/2005

**ROOF TRUSS**

DESIGNED PER BOCA/NIBS CODE

PROFIS	LAW	QTY	OVERALL LENGTH	NET SPAN	PITCH		TYPE	OVERHANG		G U T	LOADING	CARTILINER		SPEC	SHEATHING		UNIT PRICE	TOTAL PRICE	
					TOP	BOT		LEFT	RIGHT			LEFT	RIGHT		LEFT	RIGHT			
001	SD	24-00-00	24-00-00	24-00-00	2:6	0	ATTIC	0'-00-00	0'-00-00	P	42-7-0-10	00-00-00	00-00-00	24					

ROOF TRUSS SUB-TOTAL:

**JOB NOTES TO CUSTOMER:**  
 14' X 7' ROOM  
 400 FLOORLOAD FOR LIVING SPACE  
 FLOT APPROVAL REQUIRED  
 VERIFY QTY.  
 DOUBLE TRUSSES EACH SIDE OF DORMERS & STAR  
 OPENING  
 USING 2X10 BOTTOM CHORD SHOULD HAVE FULL 14' X  
 7' ROOM ( SQUARE ROOM )

**INFO FROM:**  
 PLAN DATE:  
**SPECIAL INSTRUCTIONS FOR DESIGNER:**  
 USING 2X10 BOTTOM CHORD SHOULD HAVE  
 FULL 14' X 7' ROOM ( SQUARE ROOM )

**QUANTITY QUOTES WILL BE BEST PRICE AVAILABLE UNLESSING TIME IS 1 HOUR**  
**TRUSS STRUCTURE CONCEPTUAL ONLY NOT FOR DESIGN**

CUSTOM TRUSS LEAD TIMES 7-10 WORKING DAYS!

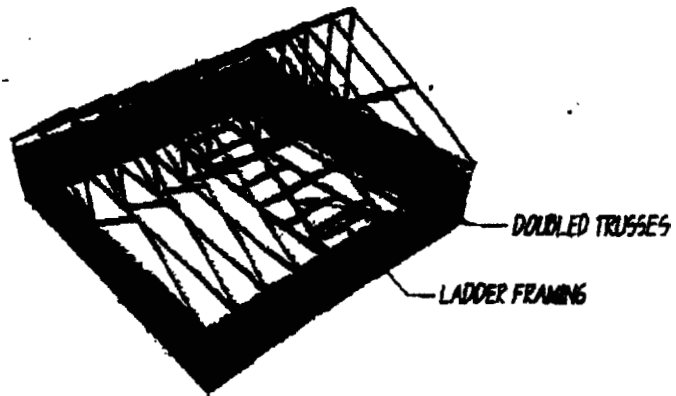
SUB-TOTAL	
DISCOUNTS	
<b>GRAND TOTAL</b>	

*Pitch* 8.6  
*height* 14' 3 3/4"  
 7.4  
 13' 3 3/4"  
 Quote # 410269  
 #410845

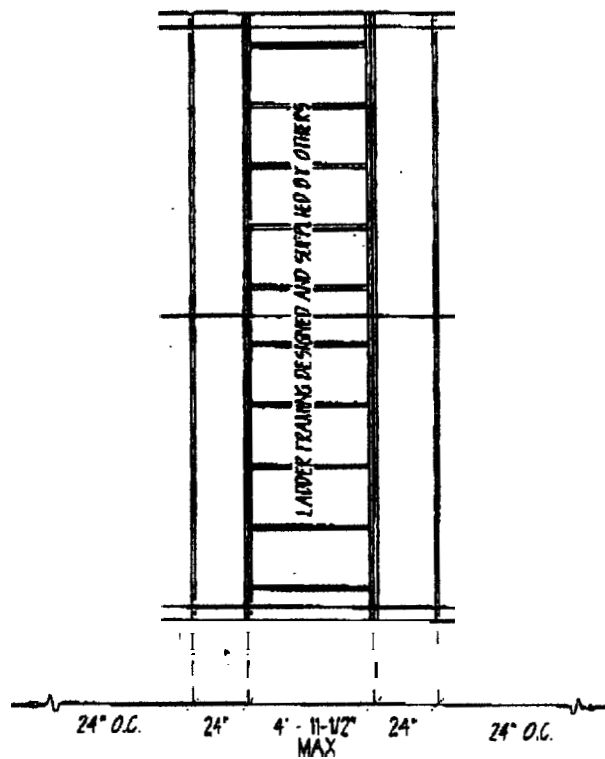
Report Date/Time: 5/18/2005 2:31:04 AM

# CHIMNEY DETAILS

Framing detail for chimneys and skylights



Ladder homing is designed, supplied and connected by others



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ~~NA~~ Footing/Building Location Inspection: Prior to pouring concrete
- ~~NA~~ Re-Bar Schedule Inspection: Prior to pouring concrete
- ~~NA~~ Foundation Inspection: Prior to placing ANY backfill
- ~~NA~~ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ~~NA~~ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature] Signature of Applicant/Designee Date 6/13/05  
[Signature] Signature of Inspections Official Date 6/13/05

CBL: 389-D-2 Building Permit #: 05-0739



# DISPLAY THIS CARD ON PRINCIPAL FRONT FACER PERMIT

## CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Pozzy Jennifer J &/Alan Vie

has permission to Remove existing roof and ins

At 89 Crestview Dr

**PERMIT SECTION**

**JUN 13 2005**

Permit Number: 050739

**CITY OF PORTLAND**

Remove existing roof and ins

At 89 Crestview Dr

provided that the person or persons, of the provisions of the Statutes of the construction, maintenance and use of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given in writing to the owner of the building and of the structures, and of the application on file in the Department of Building & Inspection Services. A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

### PENALTY FOR REMOVING THIS CARD

*Shane Bonte 6/13/05*  
Director - Building & Inspection Services