

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 26 Quiet Lane (lot 5)		Owner: Nan Sawyer		Phone: 892-2700		Permit No: 001159
Owner Address:		Lessee/Buyer's Name:		Phone:		
Contractor Name: *** Chase Custom Homes		Address: 1 Percy Rd. Windham		Phone: 892-2700		Zone: R-2 CBL: 388 AA056
Past Use: Vacant		Proposed Use: New Single Family		COST OF WORK: \$ 265,000.00		
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group A-3 Type 5B <i>BOCA 99</i> Signature: <i>[Signature]</i>
Proposed Project Description: New single Family				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		
Permit Taken By: Gayle		Date Applied For: October 3, 2000 GG		Signature: _____ Date: _____		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

October 3, 2000

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS
CBO DISTRICT

2

- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- 27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *All requirements a condition on the attached Site Development review shall be met*
- 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 33. Bridging shall comply with Section 2305.16.
- 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- 36. All flashing shall comply with Section 1406.3.10.

[Signature]
 P. Samuel Hayes, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 10/100

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

BUILDING PERMIT REPORT #26

DATE: 03 OCT. 2000 ADDRESS: LOT #5 Quiet Lane CBL: 388-B A-056
REASON FOR PERMIT: Single Family dwelling dwelling/attached private garage
BUILDING OWNER: Nan Sawyer
PERMIT APPLICANT: CONTRACTOR Chase Custom Homes
USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 265,000 PERMIT FEES: 1,914.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *8, *9, *11, *13, *14, *15, *19, *22, *29, *30, *32, *33, *34, *35, #31

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000180

I. D. Number

Quiet Lane Lot #5

Applicant

1 Percy Hawkes Rd, Windham, ME 04092

Applicant's Mailing Address

Chase Custom Homes

Consultant/Agent

892-2700

Applicant or Agent Daytime Telephone, Fax

9/22/00

Application Date

26 Quiet Lane Lot #5

Project Name/Description

26 Quiet Ln, Portland, ME 04103

Address of Proposed Site

388-AA-056

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 26 Quite Lane (Lot #5), the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall coordinate with development owner Nan Sawyer and shall complete all construction in compliance with the approved subdivision plans.

Applicant shall be responsible for installation and maintenance of all necessary erosion control devices. Also applicant shall keep Quiet Lane and Summit Street clean and free of mud or other debris tracked from site.

Applicant shall identify the limits of the wetlands by means of placing orange construction fencing along the wetlands to remain undistributed. This shall be completed prior to clearing and foundation preparation.

Planning Conditions of Approval

Inspections Conditions of Approval

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Application Date

26 Quiet Lane Lot #5

Project Name/Description

26 Quiet Ln, Portland, ME 04103

Address of Proposed Site

388-AA-056

Assessor's Reference: Chart-Block-Lot

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. It is noted that on 7/24/00 Joe Gray 's letter approves a revised bldg envelope on this lot that allows an extra 260 sq. ft. of extra fill.
3. No construction or filling of wetlands other than that shown on the plan are allowed. This information shall be passed on to any potential buyer.
4. There shall be minimal disturbance to the area within the 25 feet buffer area as shown. The developer shall preserve (or replant to the specifications of the City Arborist) no less than 50% of the existing tree growth and other vegetation. No structures are permitted in this buffer.
5. **NO REAR DECK IS APPROVED UNDER THIS PERMIT** because none is shown on the plot plan and no structural plans are given. Any proposed rear deck shall have a separate permit with the required plot plan and structural plans submitted.
6. Separate permits shall be required for future decks, sheds, pools, and/or garage.

Fire Conditions of Approval

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$265,000.00 Plan Review # 1520/2K

Fee: \$1,914.00 Date: 03 OCT. 2K

Building Location: Lot #5 Quiet Lane CBL: 388A A-056

Building Description: Single Family dwelling/attached garage

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building Code requirements shall be completed before a Certificate of Occupancy can or will be issued	111.0 118.0
2.	Foundation drains shall comply with section 1813.5.2	1813.5.2
3.	Foundation anchors shall comply with section 2305.17	2305.17
4.	Waterproofing & dampproofing shall comply with section 1813.0	1813.0
5.	Private garages shall comply with section 407.0	407.0
6.	Chimneys and vents shall comply with NFPA 211 / BOCA mech / 93	see
7.	Handrails and guardrails shall comply with sections 1021.0 - 1022.0	1021.0 1022.0
8.	Stair Construction shall comply with section 1014.0	1014.0
9.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
10.	Boring, cutting and notching shall comply with sections 2305.3 Thru 2305.5.1	see section
11.	Floor Trusses shall comply with AFPA 5.	see
12.	All Fastening shall comply with Table 2305.2	2305.2

REV: FSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
~~X~~ Soil bearing value (table 1804.3)
~~X~~ Footing width
~~X~~ Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

~~X~~ Design (1812.1)
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~NA~~ Water proofing and damp proofing Section 1813
~~X~~ Sill plate (2305.17)
~~SA~~ Anchorage bolting in concrete (2305.17)
~~X~~ Columns (1912)
~~X~~ Crawl space (1210.2) Ventilation
~~X~~ Crawl opening size (1210.2.1)
~~SA~~ Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
~~X~~ Grade
~~X~~ Spacing
~~X~~ Span
~~X~~ Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~X~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~SR~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~X~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~MP~~ Metal construction
- ~~MP~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~MP~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- Roof rafters - Design (2305.15) spans
- Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- Masonry (1206.0)
- Factory - built (1205.0)
- Masonry fireplaces (1404)
- Factory - built fireplace (1403)
- NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- MA Louvered window or jalousies (2402.5)
- SA Human impact loads (2405.0)
- SA Specific hazardous locations (2405.2)
- MA Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- SA General (407)
- SA Beneath rooms (407.3)
- SA Attached to rooms (407.4)
- SA Door sills (407.5)
- SA Means of egress (407.8)
- SA Floor surface (407.9)

Egress (Chapter 10)

- X One exit from dwelling unit (1010.2)
- SA Sleeping room window (1010.4)
- EXIT DOOR (1017.3) 32" W 80" H
- Landings (1014.3.2) stairway
- Ramp slope (1016.0)
- SA Stairways (1014.3) 36" W
- SA Treads (1014.6) 10" min.
- SA Riser (1014.6) 7 3/4" max.
- SA Solid riser (1014.6.1)
- Winders (1014.6.3)
- Spiral and Circular (1014.6.4)
- SA Handrails (1022.2.2.) Ht.
- SA Handrail grip size (1022.2.4) 1 1/4" to 2"
- SA Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- SA Location and interconnection
- SA Power source

**Dwelling Unit Separation
Table 602**

NA

Electrical
NFPA # 70

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Consultant/Agent

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892-2700

388-AA-056

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
 New Building Building Addition Change Of Use Residential

3,312sf 19,355

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$200.00 Subdivision \$0.00 Engineer Review \$100.00 Date: 9/22/00

DRC Approval Status:

Reviewer Chris Earle

- Approved Approved w/Conditions see attached Denied

Approval Date 9/26/00 Approval Expiration 9/26/01 Extension to _____ Additional Sheets Attached

Condition Compliance Chris Earle 9/26/00
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate Of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

Inspection

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 26 Quite Lane (Lot #5), the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall coordinate with development owner Nan Sawyer and shall complete all construction in compliance with the approved subdivision plans.

Applicant shall be responsible for installation and maintenance of all necessary erosion control devices. Also applicant shall keep Quiet Lane and Summit Street clean and free of mud or other debris tracked from site.

Applicant shall identify the limits of the wetlands by means of placing orange construction fencing along the wetlands to remain undistributed. This shall be completed prior to clearing and foundation preparation.

Planning Conditions of Approval

Inspections Conditions of Approval

Applicant: Chase Custom Homes

Date: 10/12/00

Address: 26 Quiet Lane Lt #5

C-B-L: 380-AA-56

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

36 x 32

Proposed Use/Work - New Single family with attached garage

24 x 24

Sevage Disposal - City

Lot Street Frontage - 50' req - 103' shown

Front Yard - 25' req - 39' scaled

Rear Yard - 25' req - 100' scaled

Side Yard - ~~14' req~~ 15' req - 30' scaled

Projections - No rear Deck shown (NOT) approved - front stairs ok

Width of Lot - 80' req x 103' shown

Height - 35' max - 2 story shown - 28' scaled

Lot Area - 10,000 sq ft min - 19,355 sq ft

Lot Coverage/Impervious Surface - 28% max = 3871 sq ft max

Area per Family - 10,000 sq ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - Minor/Minor #2000180

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

36 x 32 = 1152 sq ft
 24 x 24 = 576 sq ft
 1728 sq ft

Joe Gray's letter approves a revised bldg envelope will 260 sq ft extra fill 7/24/00

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

New SIF

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>Lot 5 Quiet Lane</i>		
Total Square Footage of Proposed Structure <i>3312</i>	Square Footage of Lot <i>19.355 S.F.</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>388</i> Block# <i>AA</i> Lot# <i>056</i>	Owner: <i>Nan Sawyer</i>	Telephone#: <i>892-2700</i>
Lessee/Buyer's Name (if Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>\$26,500.00</i> Fee: <i>\$1,914.00</i>
Proposed Project Description: (Please be as specific as possible) <i>new single family home.</i>		
Contractor's Name, Address & Telephone <i>* Chase Custom Homes, 1 Percy Herbert Rd, 892-2700</i>		Rec'd By: <i>Gayle</i>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

9/19

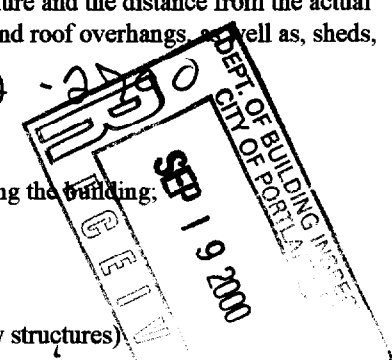
You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum); ** Brent*
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

Call 892-2700



4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Minor Minor

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <i>9/19/00</i>
--	----------------------

Site Review Fee: \$300.00/Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

30.00

6.00

NF
DANA MILES

25

FRAN

LOT 6
19,195 SF.
0.44 AC.

LOT 5
19,355 SF

SEE NOTE 30

TOP wall
177'

4' well
1/2 daylight

624'53"
1852

000'

552°06'45"W

552°06'45"W

N47°32'19"E

QUIET
LANE

24'

35.00'

4538'

31.48

5296'45"

537'53"

4"
DIA

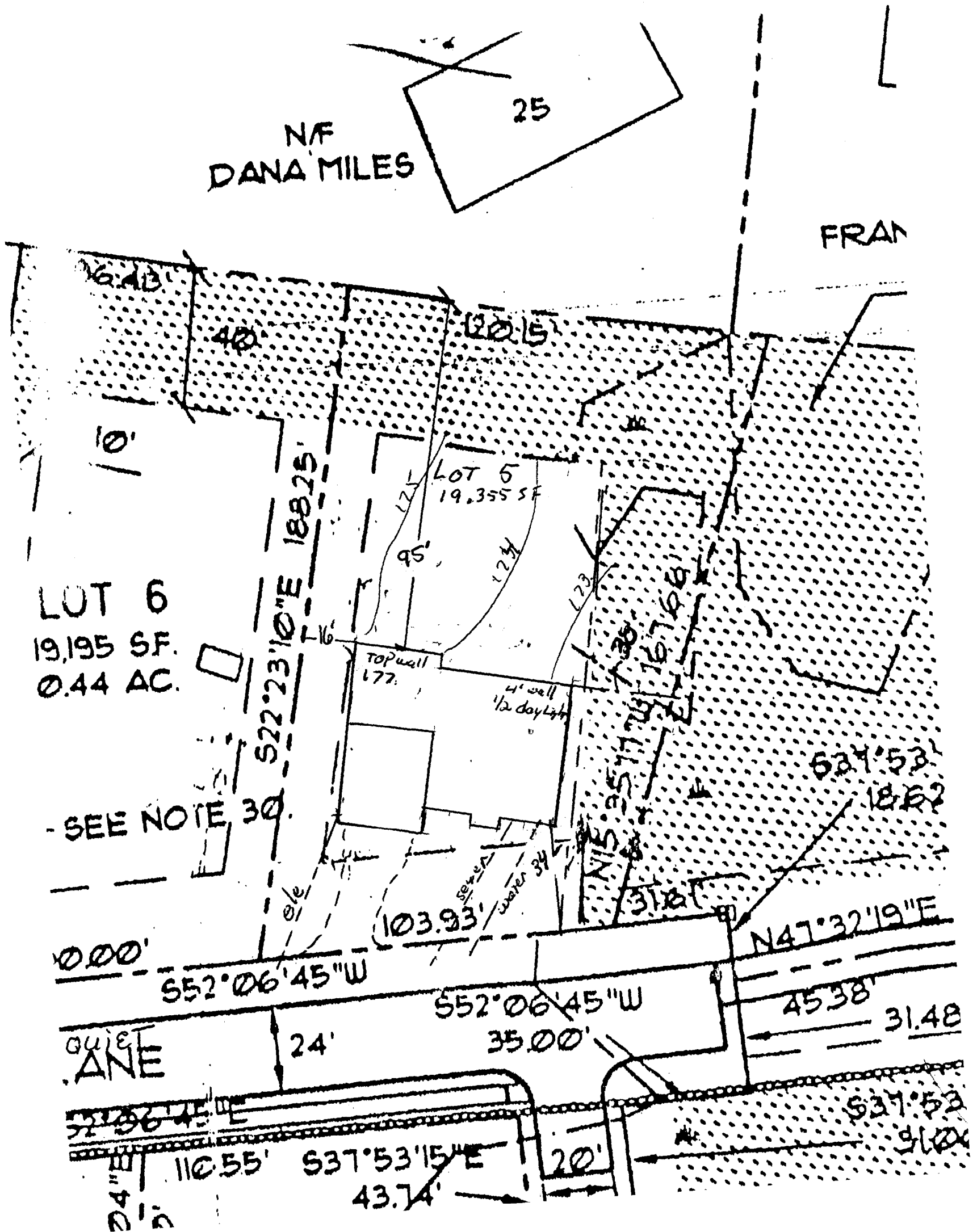
110.55'

S37°53'15"E

20'

43.74'

31.02





STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION

ANGUS S. KING, JR.
GOVERNOR

MARTHA MCKENNA
COMMISSIONER

July 13, 2000

Mark Bergeron
Finham & Greer
170 US Route One
Falmouth ME 04105-2154

RE: Hidden Acres Tier 1 modification, 99-044-S

Dear Mark:

I have reviewed the packet you submitted regarding the proposed wetland fill on Lot #5 of Hidden Acres subdivision. The plans indicated that an additional 200 square feet of freshwater wetland fill is needed in order to construct a house on Lot #5. The original subdivision plans were revised December 8, 1999 to reduce the wetland impact from the approved 11,318 square feet to 10,509 square feet. Including the changes to Lot #5 the proposed fill for this subdivision will now total 10,859 square feet.

I am attaching a copy of your submittal to the original file to serve as a modification to the plans. If you have any questions, feel free to call me at 622-6324.

Sincerely,

Dawn E. Hallowell
Division of Land Resource Regulation
Bureau of Land & Water Quality

AUGUSTA
17 STATE HOUSE STATION
AUGUSTA, MAINE 04103-0017
(207) 287-6000
RAY BLDG., HOSPITAL ST.

BANGOR
100 MCGAN ROAD
BANGOR, MAINE 04401
(207) 641-6670 FAX: (207) 641-4566

PORTLAND
713 BANGOR ROAD
PORTLAND, MAINE 04103
(207) 833-2800 FAX: (207) 833-4343

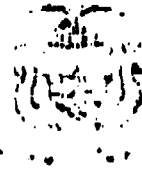
PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2004
(207) 764-0477 FAX: (207) 764-1107

web site: www.maine.gov/dwr

TOTAL P.01

Planning & Urban Development

Joseph E. Gray Jr.
Director



CITY OF PORTLAND

July 24, 2000

Nan Sawyer
40 Belmont Street
Portland, ME 04102

RE: Hidden Acres Lot 5 Revision

Dear Ms. Sawyer:

This letter is to confirm the revision to the approved site plan of the Hidden Acres Subdivision project located at off Summit Street. The approved revision includes expanding the building envelope of Lot #5 which will include the filling of approximately 260 feet of wetlands. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments, as well as the Maine Department of Environmental Protection.

If you have any questions regarding the revision please contact the planning staff at 874-8720.

Sincerely,

Joseph Gray

Joseph E. Gray, Jr.
Director of Planning and Urban Development

- cc: Alexander Jaegerman, Chief Planner
- Sarah Hopkins, Senior Planner
- P. Samuel Hoffes, Building Inspector
- Jeff Tarling, City Arborist
- William Bray, Director of Public Works
- Tony Lombardo, Project Engineer
- Lt. Gaylen McDougal, Fire Prevention
- Penny Littell, Associate Corporation Counsel
- Inspection Department
- Development Review Coordinator
- Lee Urban, Director of Economic Development
- Susan Doughty, Assessor's Office
- Approval Letter File

Q:\PLAN\CORRESP\SECRETAR\FORMS\PREVIS.WPD

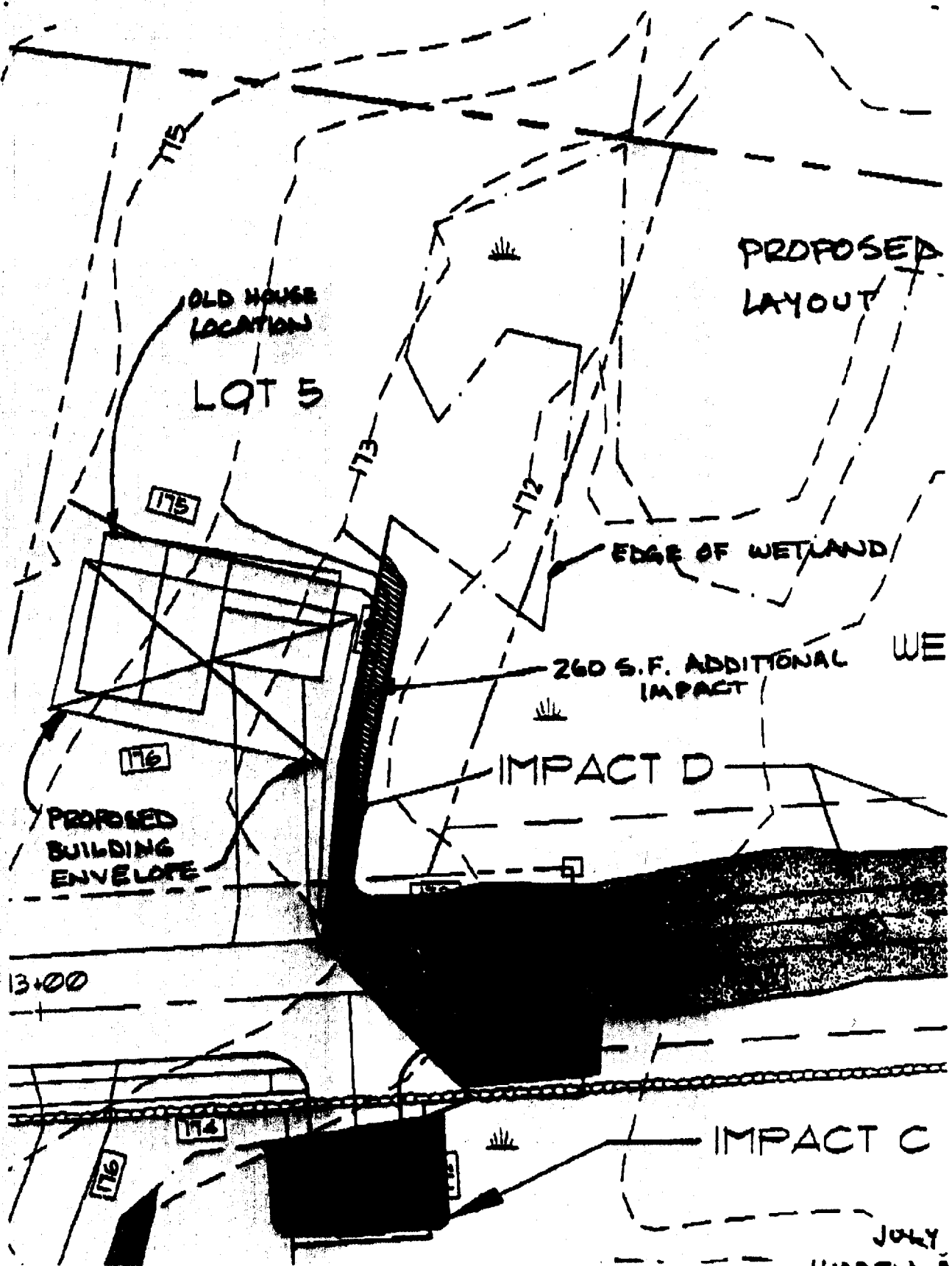
From: "Steve Bushey" <srbushey@maine.rr.com>
To: "Sarah Hopkins" <SH@ci.portland.me.us>
Date: Wed, Jul 19, 2000 12:13 PM
Subject: Lot 5 Hidden acres

Sarah,

I have reviewed the materials faxed to me on 7/17/2000 and find that the developer's request to modify their SFR layout is acceptable, therefore I recommend a Building Permit be issued for the lot. If you have any questions please call.

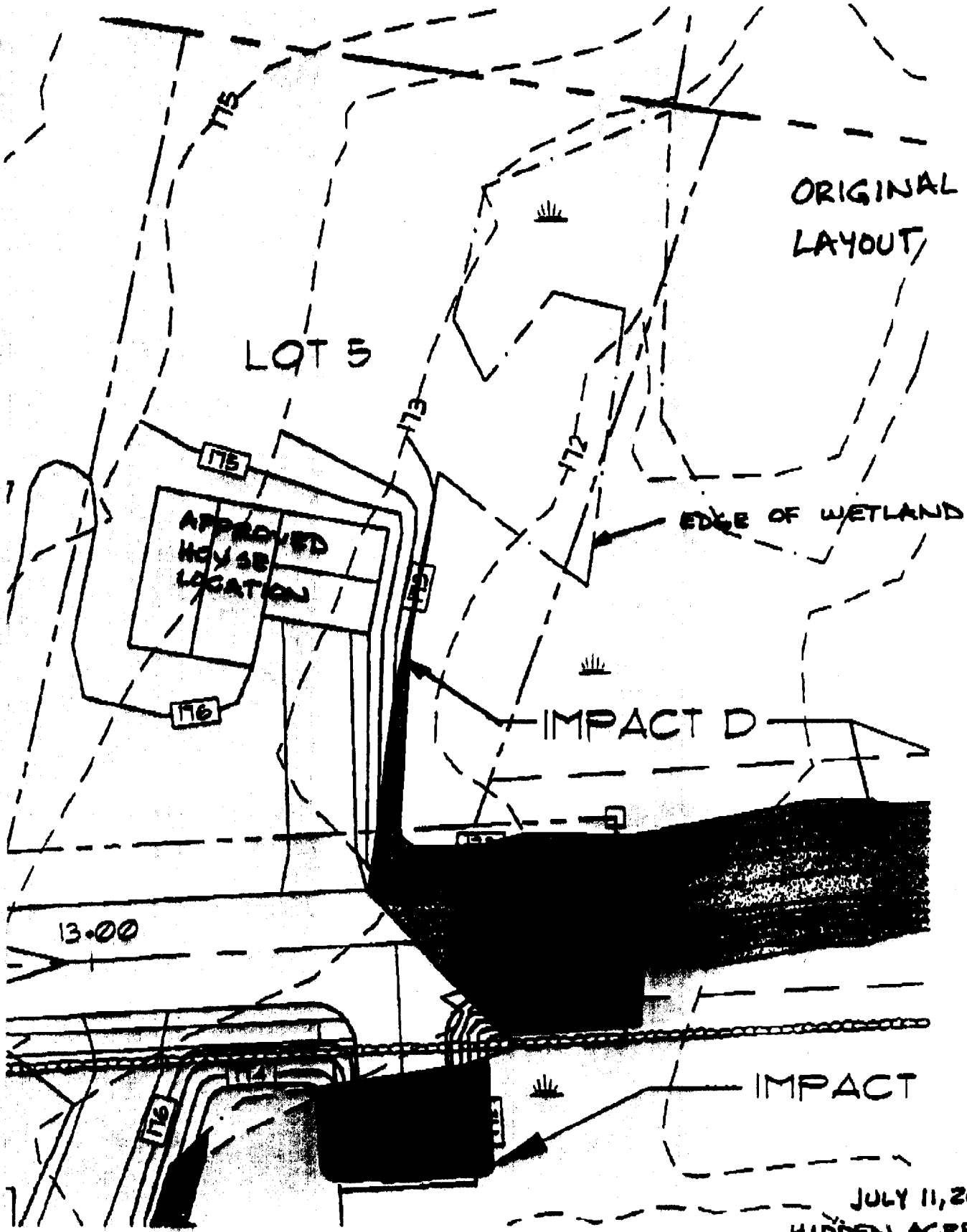
Steve Bushey Acting development Review coordinator

CC: "mike augent" <MAJ@ci.portland.me.us>, "alex jasse..."



JULY 11, 2000
 HIDDEN ACRES
 SUBDIVISION,
 DISTRICT 17

SKETCH B



ORIGINAL LAYOUT

LOT 5

APPROVED HOUSE LOCATION

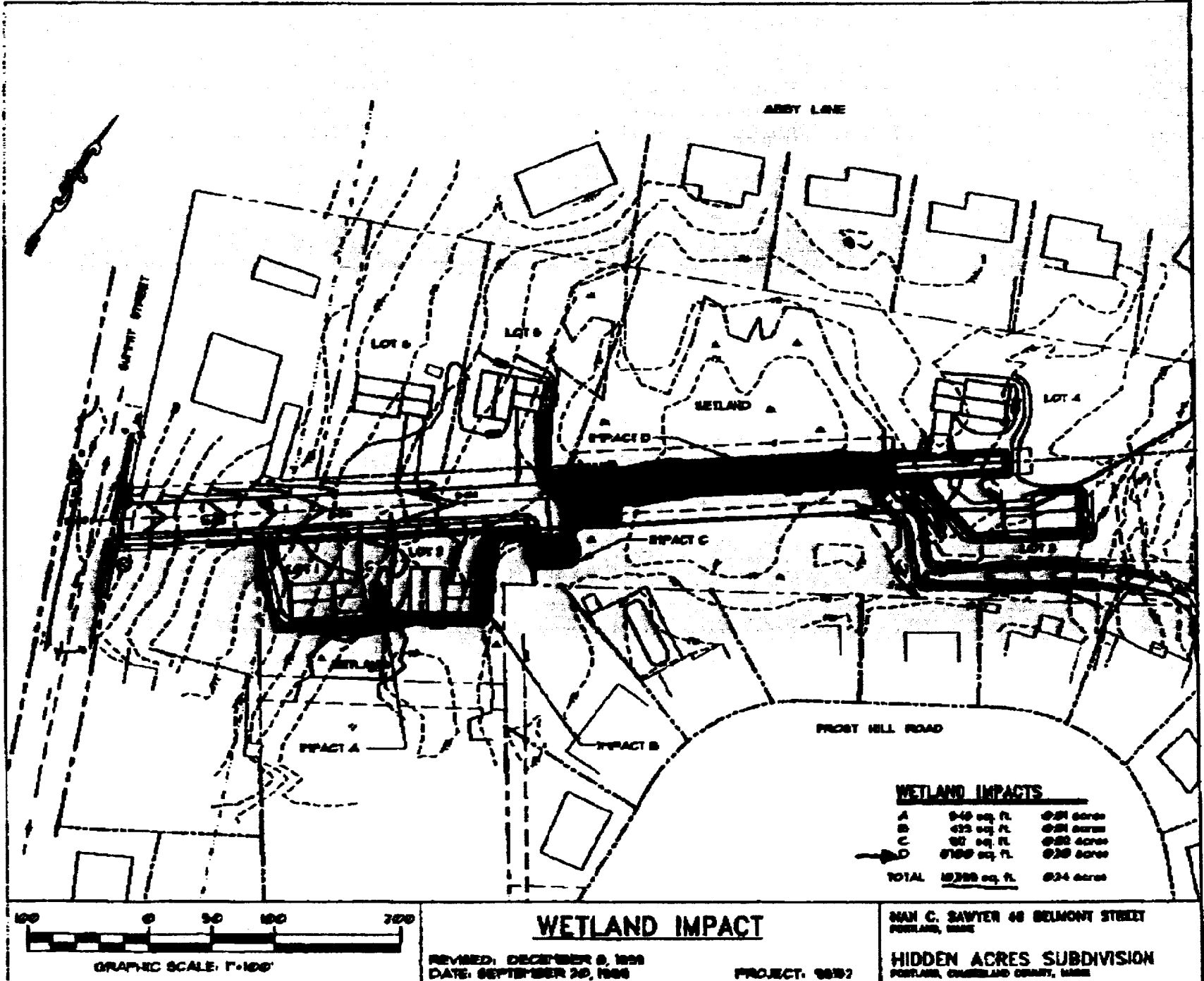
EDGE OF WETLAND

IMPACT D

13.00

IMPACT

JULY 11, 2000
HIDDEN ACRES
SUBDIVISION,
MARIETTA, GA



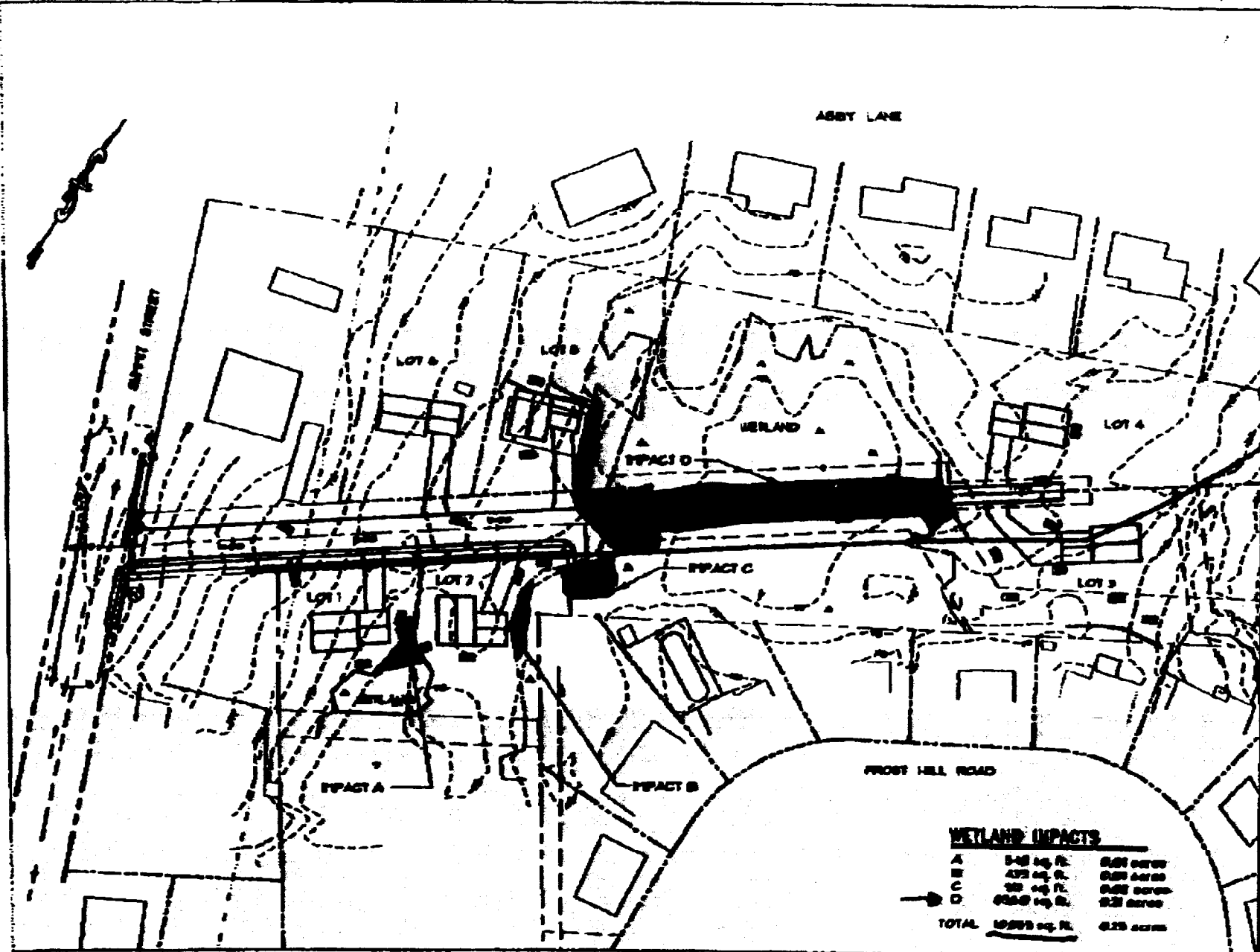
WETLAND IMPACT

REVISED: DECEMBER 8, 1999
DATE: SEPTEMBER 20, 1999

PROJECT: 9902

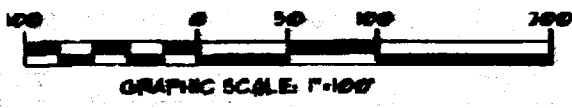
NAN C. SAWYER 48 BELMONT STREET
PORTLAND, MAINE

HIDDEN ACRES SUBDIVISION
PORTLAND, CUMBERLAND COUNTY, MAINE



WETLAND IMPACTS

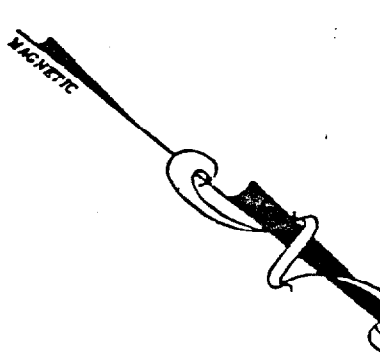
A	548 sq. ft.	0.01 acres
B	479 sq. ft.	0.01 acres
C	98 sq. ft.	0.00 acres
D	6767 sq. ft.	0.15 acres
TOTAL	8292 sq. ft.	0.20 acres



WETLAND IMPACT
 REVISION: DECEMBER 6, 1999; JANUARY 1, 2000
 DATE: SEPTEMBER 26, 1999 PROJECT: 9301

MAN C. SAWYER 40 BELMONT STREET
 PORTLAND, MAINE
HIDDEN ACRES SUBDIVISION
 PORTLAND, CLAKBAND COUNTY, MAINE

**AutoCAD digital format Final plans depicting
the as-built condition must be filed with this
office prior to closure.**



HILLSIDE STREET

EXIST. FIRE HYDRANT

EX. SMH
RIM = 18134
10" IN = 17315
10" OUT = 17297

SIGHT DISTANCE - MORE THAN 370 FT

INSTALL HANDICAP RAMP
EACH SIDE OF QUIET LANE

PROP. SMH #1, RIM 1812
STA. 10+03.44' LT
10" IN = 17278
8" IN = 17278
10" OUT = 17268

WATER LINE CONNECTION
WATER DISTRICT
SECTION

RIM = 17900
EX. DMH
RIM = 18049
12" IN = 17548
2" IN = 17546
2" IN = 17369
BOTTOM = 17369

SUMMIT STREET

TERMINATE 3 1-1/4" PE FORCE MAINS
FROM LOTS 3, 4 & 5 IN CLEANOUT
STRUCTURE. USE CITY OF PORTLAND
TYPE "A" MANHOLE. STA. 12+10.190' LT
RIM = 17704
8" OUT = 17389

DMH #1, RIM 17744
STA. 12+24.30' RT

PROP. SMH #2, RIM 17713
STA. 12+00.30' LT
8" IN = 17382
8" OUT = 17372

ZONE RESIDENTIAL R-3

ZONE RESIDENTIAL R-2

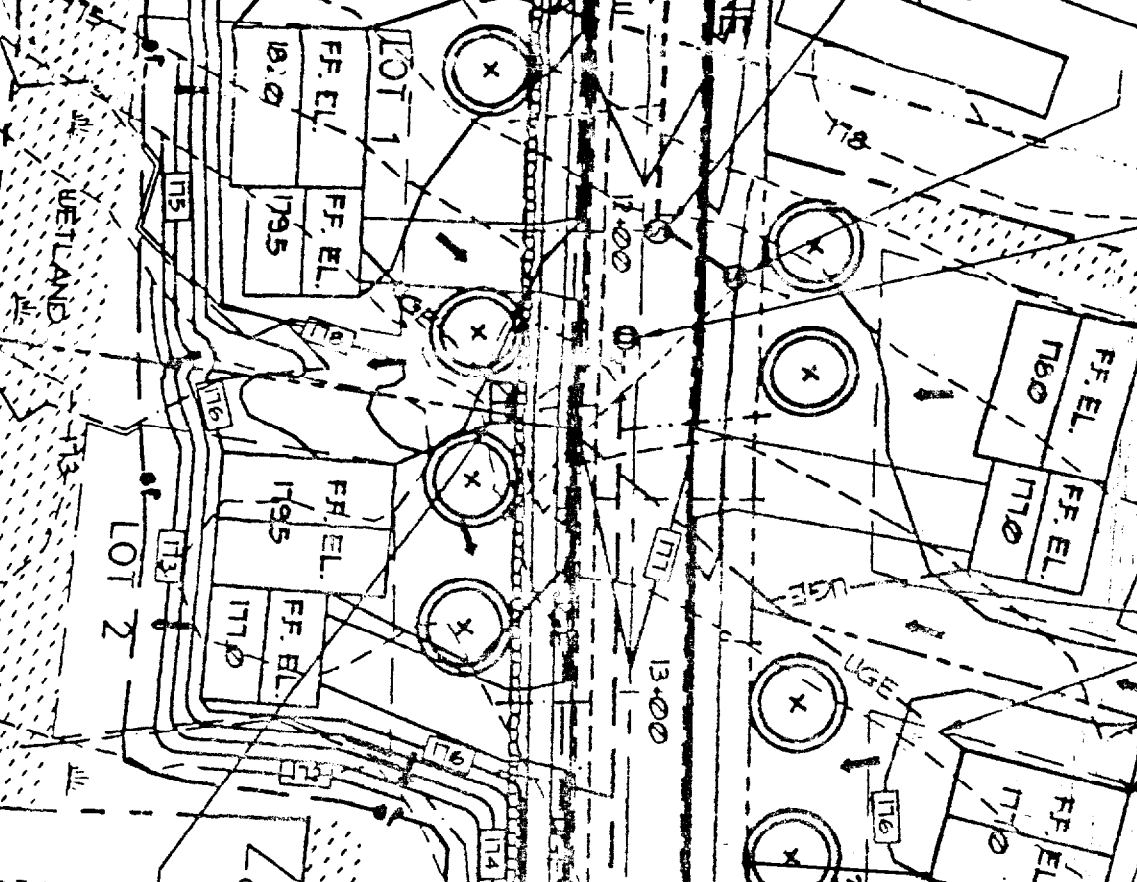
1-6" UNDERDRAINS
STABILIZED CONSTRUCTION
ENTRANCE
INSTALL NEW ELECTRIC
POLE PER CMP
DIRECTION
OLD FROST
BURIAL GROUND

INSTALL 2-4" ELECTRIC
CONDUITS

LOT 6

LOT 5

SILT FENCE



INSTALL ELECTRICAL
TRANSFORMER FOR
LOTS 1, 2, 5 & 6

END OF QUIET LANE AND
PUBLIC WAY. STA. 14+29.8
DIA. 2' RIM 17675
STA. 14+12.20' RT
DIA. 2' RIM 17674
STA. 14+10.30' ST
DIA. 2' RIM 17674
STA. 13+67.6
4 HAMMERHEAD
STA. 13+67.6

CAST RIM 17675
STA. 14+12.20' RT
SEE NOTE B
ON DIGGING
WETLAND

POOL

GUARD RAIL

WETLAND

SIGHT DISTANCE - MORE

Ø 10" PVC

EX. SMH
RIM=18159
10" IN=17141
10" OUT=17121

EASEMENT BK 4432/PG 108

PORTLAND WATER DISTRICT
N/E

EX. 30' PORTLAND WATER
DISTRICT EASEMENT
BK 6202/PG 337

6" PVC

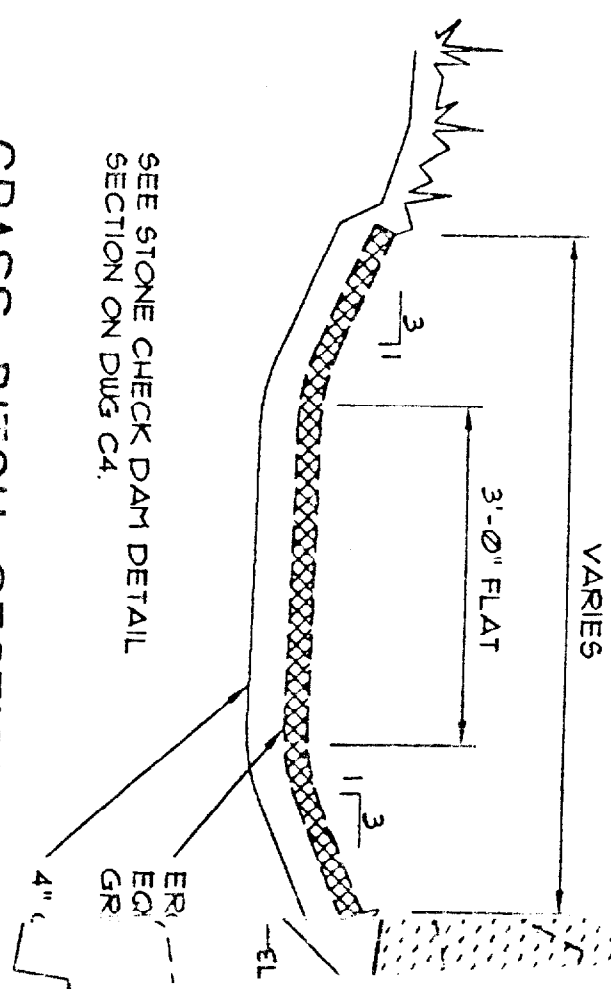
RIM=17027
6" IN=16177
6" OUT=16112

NOTES

1. HOMES ALONG THIS BOUNDARY HAVE BUILT-UP BERMS OF VARIOUS MATERIALS TO DIVERT RUNOFF TO EXISTING SWALE AT THE SOUTHEAST CORNER OF THE SITE.

GRASS DITCH SECTION

SEE STONE CHECK DAM DETAIL
SECTION ON DWG C4.



UTILITY REVISIONS

- (C1) N52°06'45"E 412.58'
- (C2) N47°32'19"E 50.16'
- (C3) N52°06'45"E 270.00'

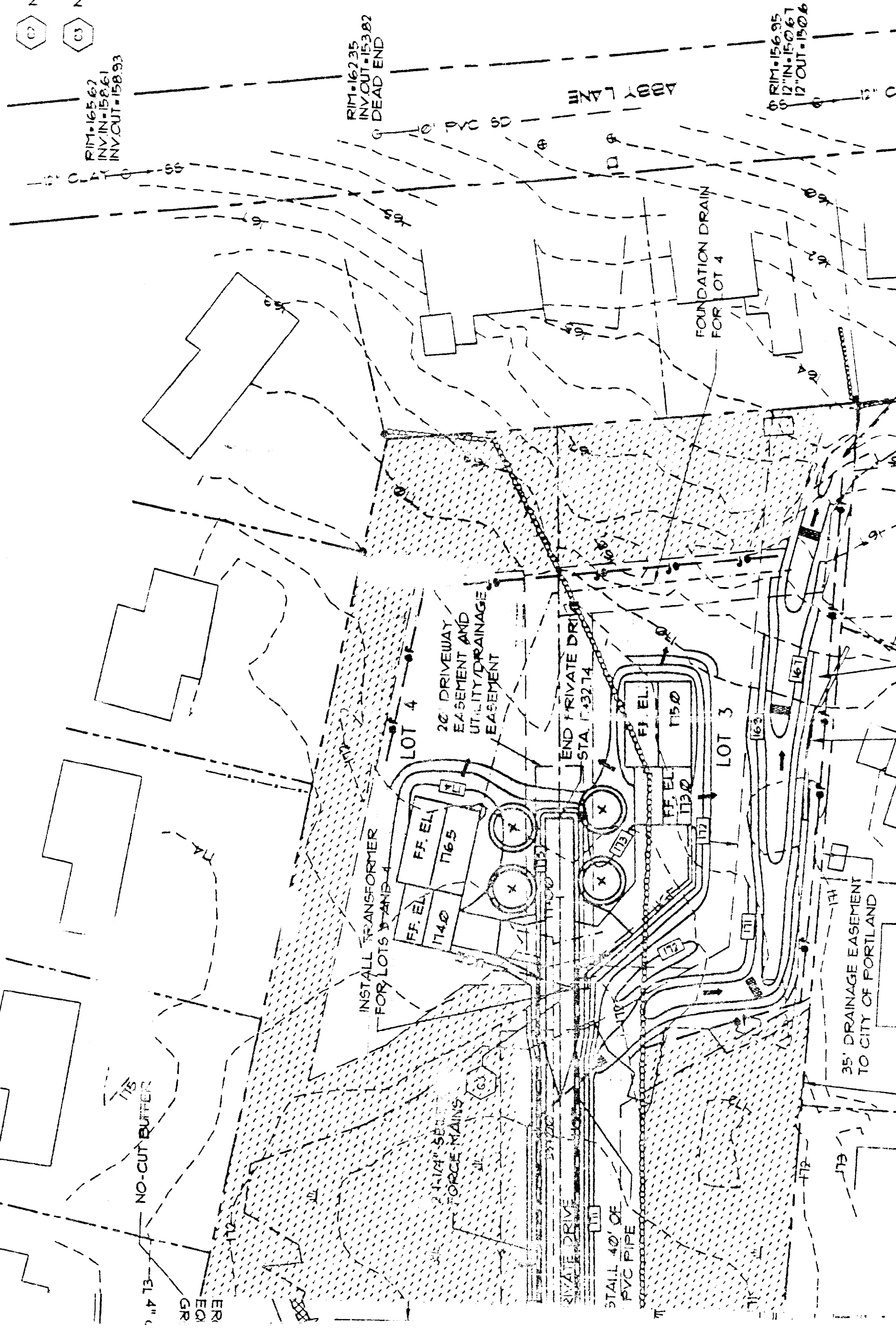
STATION EQUATION: QUIET LANE STA
PRIVATE DRIVE STA. 14+12.58, 6.00' L

ABBY LANE

ILLUSTRATIVE BUILDING

GARAGE
24'X24'

PRINCIPAL
STRUCTURE
28'X36'



RIM=156.95
12" IN=150.67
12" OUT=150.6

RIM=162.35
INV. OUT=153.82
DEAD END

RIM=165.67
INV. IN=158.61
INV. OUT=158.93

ABBY LANE

FOUNDATION DRAIN
FOR LOT 4

20' DRIVEWAY
EASEMENT AND
UTILITY/DRAINAGE
EASEMENT

END PRIVATE DRIVE
STA. 14+32.74

INSTALL TRANSFORMER
FOR LOTS 3 AND 4

35' DRAINAGE EASEMENT
TO CITY OF PORTLAND

NO-CUT BUFFER

24" INCH SEWER
FORCE MAINS

PRIVATE DRIVE
INSTALL 40' OF
PVC PIPE

FROST HILL ROAD

MAINTAIN TREES WHERE POSSIBLE

LEGEND

- EXISTING**
- PROPERTY LINES
 - - - EASEMENT
 - ==== EXISTING CURB
 - 100- CONTOURS
 - ⊙ SEWER & MANHOLE
 - ⊕ WATER VALVE
 - ⊙ HYDRANT
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - - - WETLAND
 - IRON PIN FOUND
 - SURFACE DRAINAGE
 - MANHOLE

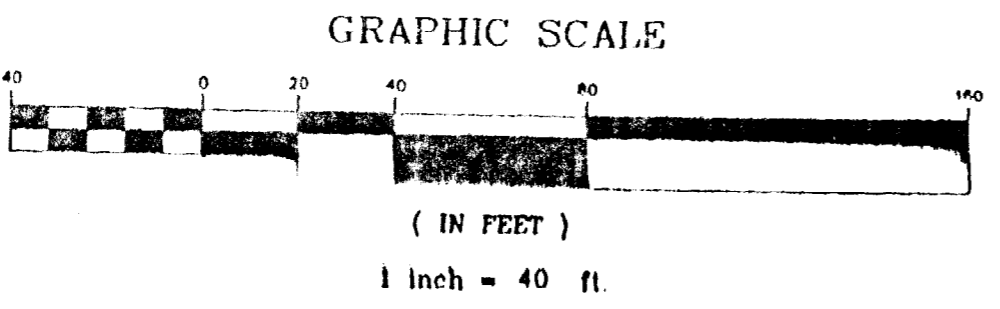
PROPOSED

- ==== EDGE OF PAVEMENT
- ▬ GRANITE CURB
- PROFILE CENTERLINE
- 100- CONTOURS
- ⊙ SEWER & MANHOLE
- O— OVERHEAD UTILITIES
- U— UNDERGROUND UTILITIES
- W— WATER LINE
- STORM DRAIN
- GUARDRAIL
- S-HS SEWER HOUSE SERVICE
- W-HS WATER HOUSE SERVICE
- ⊙ CATCH BASIN
- ⊙ UTILITY POLE
- ▨ RIPRAP
- x 36.9 SPOT GRADE
- ⊙ STORM DRAIN MANHOLE
- ⊕ STREET TREES: A MIX OF NORWAY MAPLES & HONEY LOCUST 2 1/2" CALIFER, SUBJECT TO APPROVAL BY THE CITY ARBORIST, 2 TREES MIN. PER LOT. EXISTING TREES MAY BE USED UPON APPROVAL BY THE CITY.
- ⊙ STREET LIGHT: 14' TALL x 4" BLACK ALUM. TOWN & COUNTRY POLE W/ CITY OF PORTLAND STANDARD FIXTURE, FIXTURES AT STA. 10+25±, 14' RT, STA. 11+45±, 14' RT, STA. 12+65±, 14' RT, AND STA. 13+85±, 14' RT.
- 1-1/4" SEWER FORCE MAINS
- ▨ NO-CUT BUFFER

EROSION CONTROL MESH
 ACCORDING TO NORTH AMERICAN
 STANDARD MS1025.

SOIL: LOAM & SEED

NOT TO SCALE



STATE OF MAINE
 MARK R. BERGERON
 9424
 REGISTERED PROFESSIONAL ENGINEER

Mark Bergeron
 4-21-00

EX. DRAINAGE SWALE

EXIST. 30' UTILITY EASEMENT

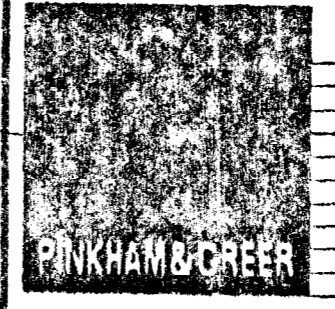
EX. CATCH BASIN IN GASS DRIVE

EXIST. 40' UTILITY EASEMENT

EX. MAN HOLE IN ABBY LANE

CLAPBOARD ROAD

REV.	DATE	DESCRIPTION
6	4/13/00	REV'D LOT 1 ENVELOPE, NOTES
5	1/21/00	REV'D STORM DRAIN LINE PER PLANNING STAFF
4	12/08/99	REV'D SWALES, SEWER LAYOUT PER PLANNING STAFF
3	11/19/99	REV'D PER PLANNING STAFF REVIEW
2	11/08/99	REV'D PER PLANNING STAFF REVIEW
7	4/21/00	REMOVED NOTE.



NAN C. SAWYER
 40 BELMONT STREET, PORTLAND ME

HIDDEN ACRES
 SUMMIT STREET, PORTLAND ME

CONSULTING ENGINEERS, INC.
 FAIRBANKS, MAINE

SITE PLAN

SCALE: 1" = 40'

DATE: 10/13/99

PROJECT: 99152

DRN BY: MRR

DESG BY: MRB

CHK BY: TSG

C2

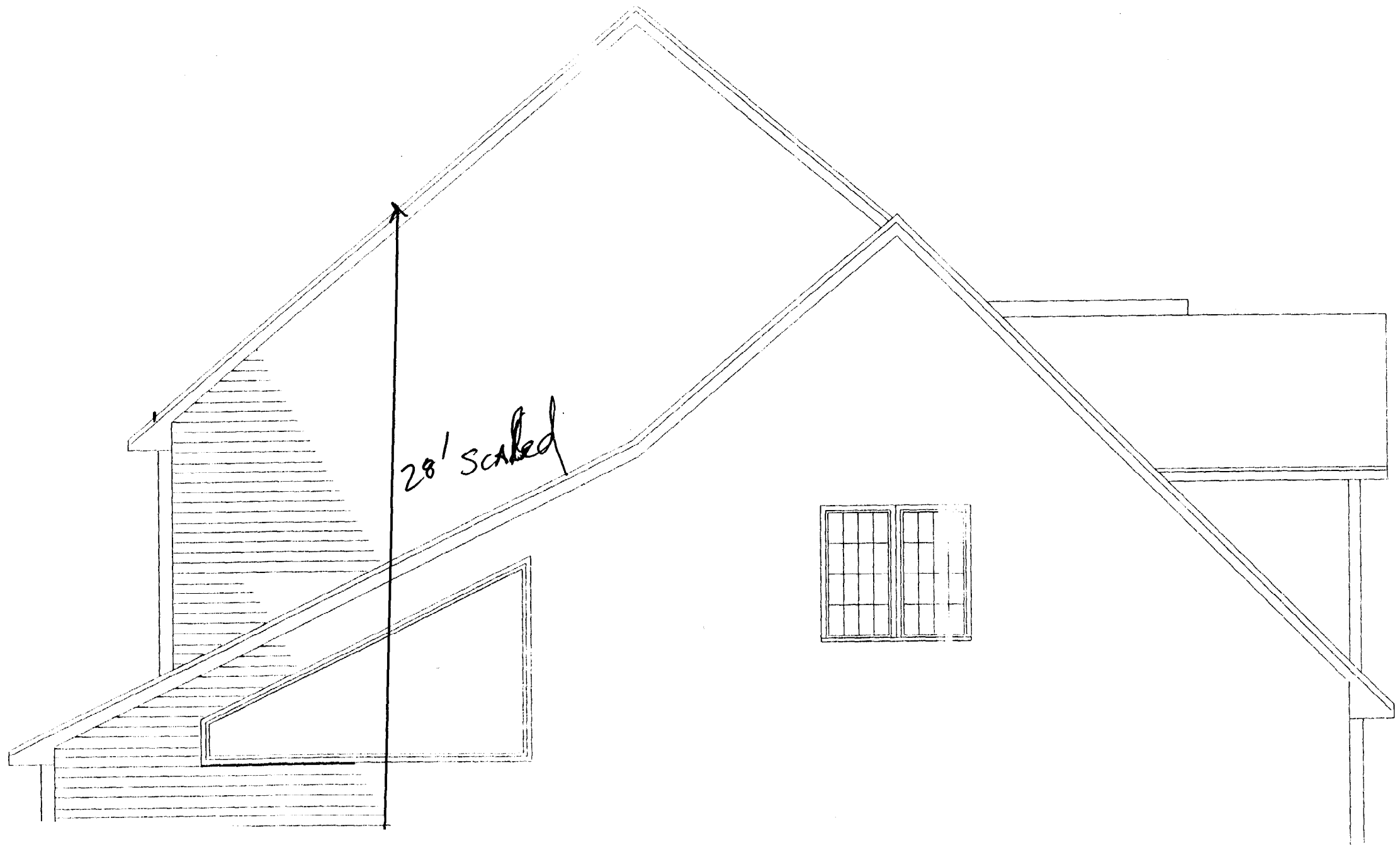
REAR ELEVATION



Not Approved
with the ~~plans~~ permit
-1 more a day

LEFT ELEVATION

Not Approved
with the ~~plans~~ permit
No specifies shown
flat plan or structural plans



RIGHT ELEVATION



IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY, THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER AGREE THAT IT IS THE SOLE RESPONSIBILITY OF THE BUILDER OR GENERAL CONTRACTOR TO SEE THAT A HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GOVERN THESE DRAWING BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE CORRECT. IF ERRORS ARE FOUND, HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION.

DENCE	SCALE	1/4" = 1'	DRAWN BY	J. CALL
	DATE	9/00	PAGE	1 OF 4

FRONT ELEVATION

House is reversed from plot plan



Flashings
sec. 1406.3.10

Private
Garage
sec. 1407.0

Get 1 Glazing
sec. 2406.

Errors
resale window
sec. 1010.4.

Handrails
sec. 1021.0

NAME

FLAHERTY RE

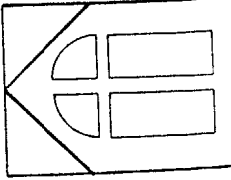
DRAWING

ELEVATION

HOUSE CALLS INC.

HOME PLANNING & DESIGN

151 ROOSEVELT TRAIL, WINDHAM, ME



MIN 20 YR ASPHALT COMPOSITION SHINGLES

R 38 INSULATION

ICE SHIELD

PROPER VENT

8" DRIP EDGE AROUND FULL PERIMETER

FULL LENGTH VENTED SOFFITS

2X6 EXTERIOR WALLS 16" O.C.
R19 INSULATION
1/2" SHEATHING
CLAPBOARD OR VINYL SIDING

2X4 INT NON-BRG WALLS 16" O.C.

SOLID BUILT-UP HEADERS

3/4" T & G SUBFLOOR GLUED & NAILED
FACTORY FLOOR JOISTS 16" OR 19.25"
ON CTR AS PER FACTORY SPECKS.

ICE SHIELD OR LEAD FLASHING AT
DOOR BOTTOMS

2X6 P.T. SILL

8" OR 10" CONCRETE WALL AS NEEDED
FOUNDATION COATING ON OUTSIDE

BUILT-UP BEAM OR STEEL "I" BEAM
LALLY CLMS AS NEEDED DEPENDING
ON BEAM

4" CONCRETE FLOOR
6" CRUSHED ROCK
INT & EXT DRAINS

KEYED FOOTINGS

RECOMMENDED RADON PIPING

MIN 6'8" OR TOWN
CODE IF DIFFERENT

MIN 6'8" OR TOWN
CODE IF DIFFERENT

MIN 6'8" OR TOWN
CODE IF DIFFERENT
1014.0
STATE
CONST.

NAME

HOUSE CALLS INC.

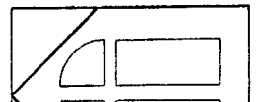
FLAHERTY RESID

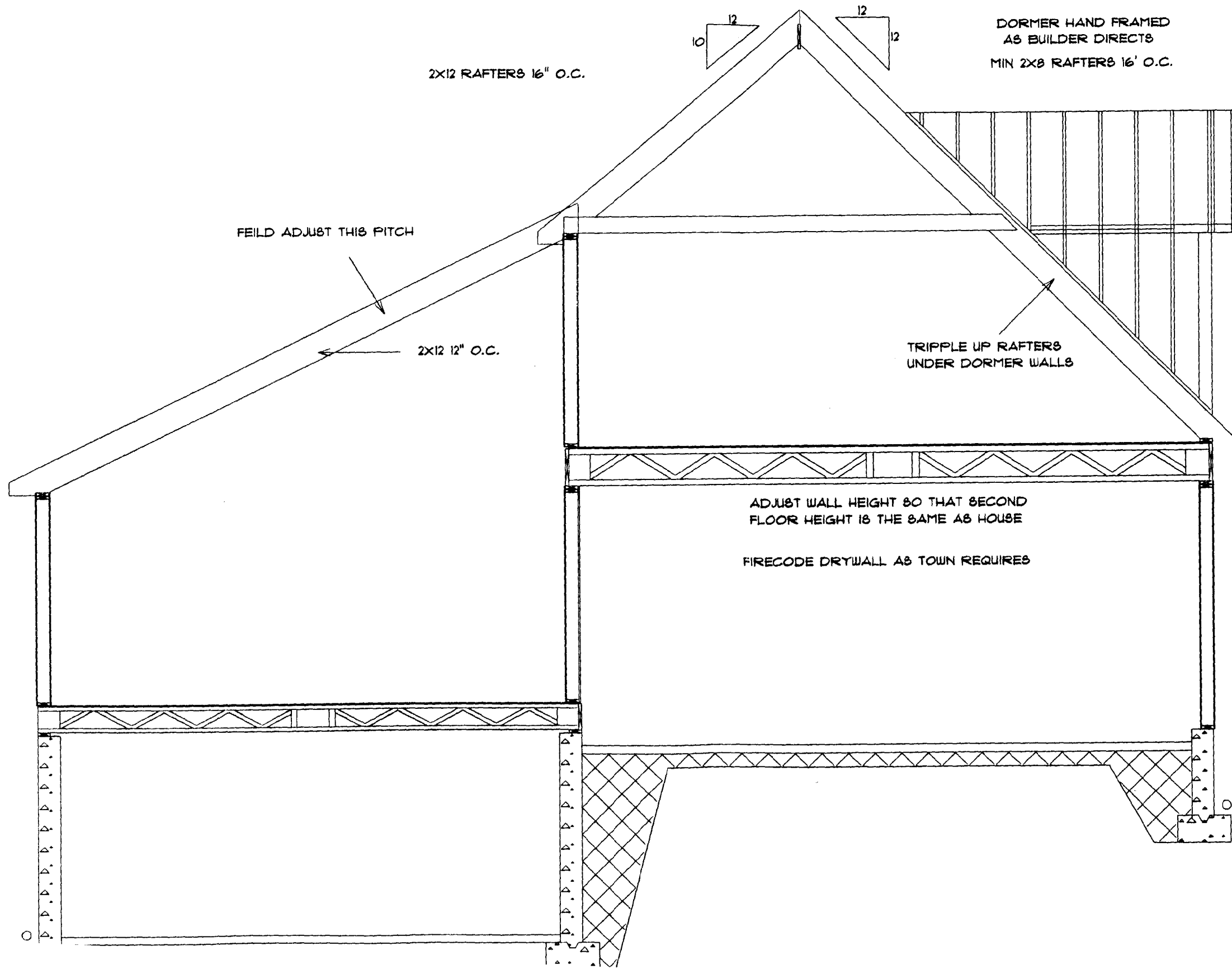
DRAWING

FOUNDATION & STRUC

HOME PLANNING & DESIGN

151 ROOSEVELT TRAIL, WINDHAM, ME





24'-0"

IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY, THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER AGREE THAT IT IS THE SOLE RESPONSIBILITY OF THE BUILDER OR GENERAL CONTRACTOR TO SEE THAT THIS HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GO OVER THESE DRAWING BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE CORRECT. IF ANY ERRORS ARE FOUND, HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.

SCALE	1/4" = 1'	DRAWN BY	J. CALL
DATE	8/00	PAGE	4 OF 4



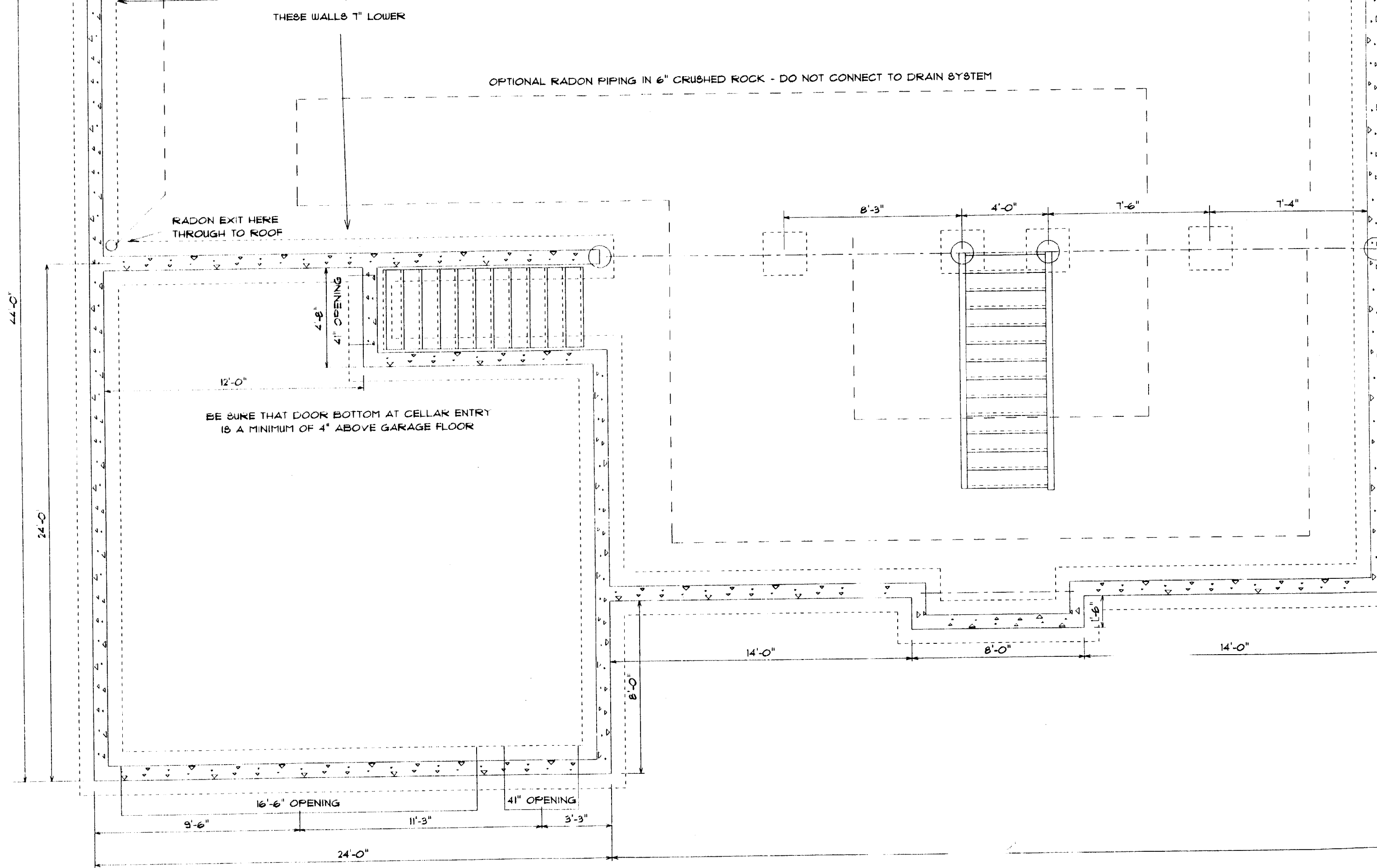
S.

THESE WALLS 7" LOWER

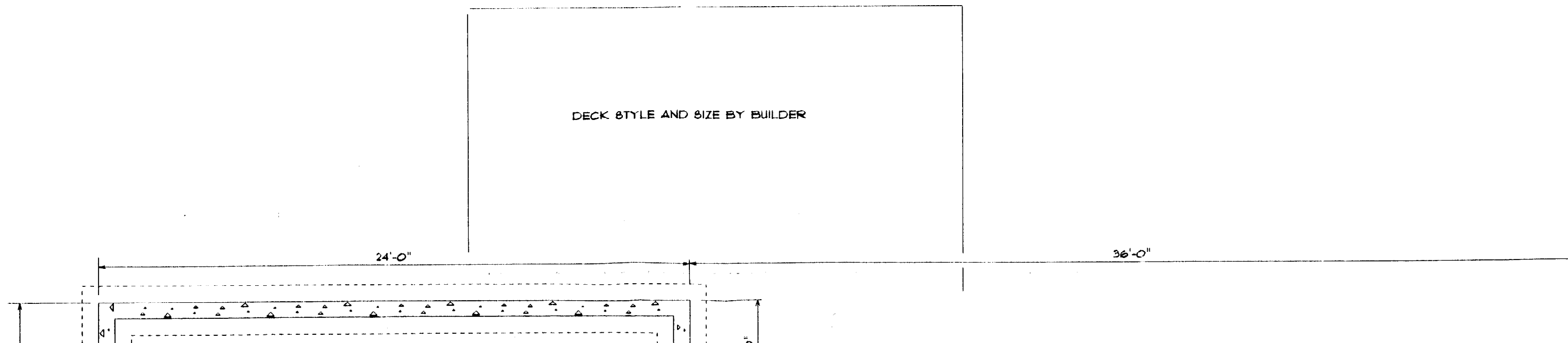
OPTIONAL RADON PIPING IN 6" CRUSHED ROCK - DO NOT CONNECT TO DRAIN SYSTEM

RADON EXIT HERE THROUGH TO ROOF

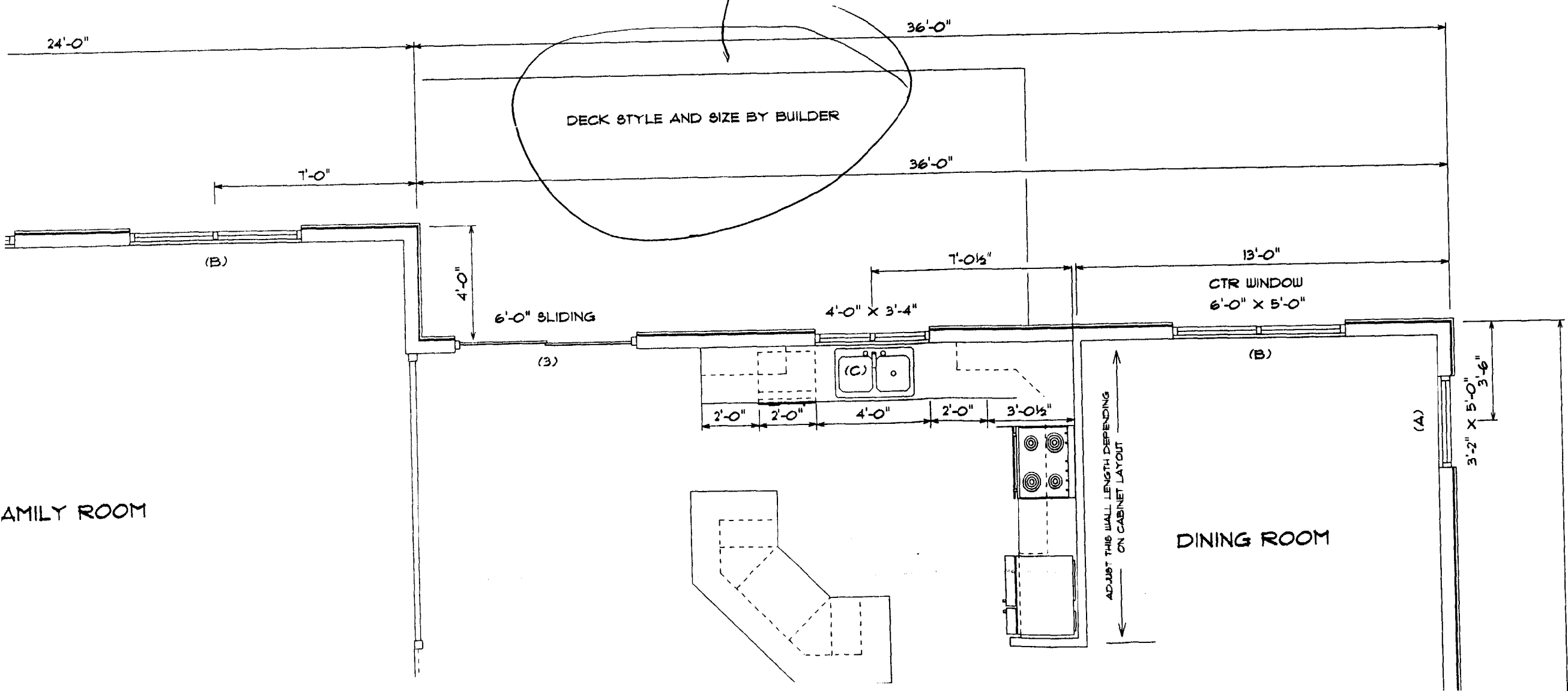
BE SURE THAT DOOR BOTTOM AT CELLAR ENTRY IS A MINIMUM OF 4" ABOVE GARAGE FLOOR



VERIFY ALL FOUNDATION MEASUREMENTS AGAINST FLOOR PLAN MEASUREMENTS BEFORE CONSTRUCTION
ALL CELLAR WINDOW LOCATIONS ARE TO BE VERIFIED BY THE BUILDER OR THE OWNER
FULL HEIGHT 8" OR 10" WALL AS NEEDED IN HOUSE - 8" FROST WALL IN GARAGE
RECOMMEND RADON PIPING IN 6" CRUSHED ROCK - DO NOT CONNECT TO DRAIN SYSTEM
GARAGE OH AND ENTRY DOOR CUTS TO BE VERIFIED BY THE BUILDER
INTERIOR AND EXTERIOR POSITIVE DRAINS OR DRAINS TO A SUMP HOLE
ALL ELECTRICAL, PLUMBING, SEWERAGE, OR OTHER FOUNDATION CUTOUTS VERIFIED BY BUILDER
ALL FOUNDATION TOPS TO BE THE SAME HEIGHT UNLESS OTHERWISE NOTED

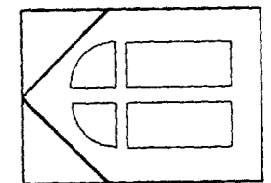
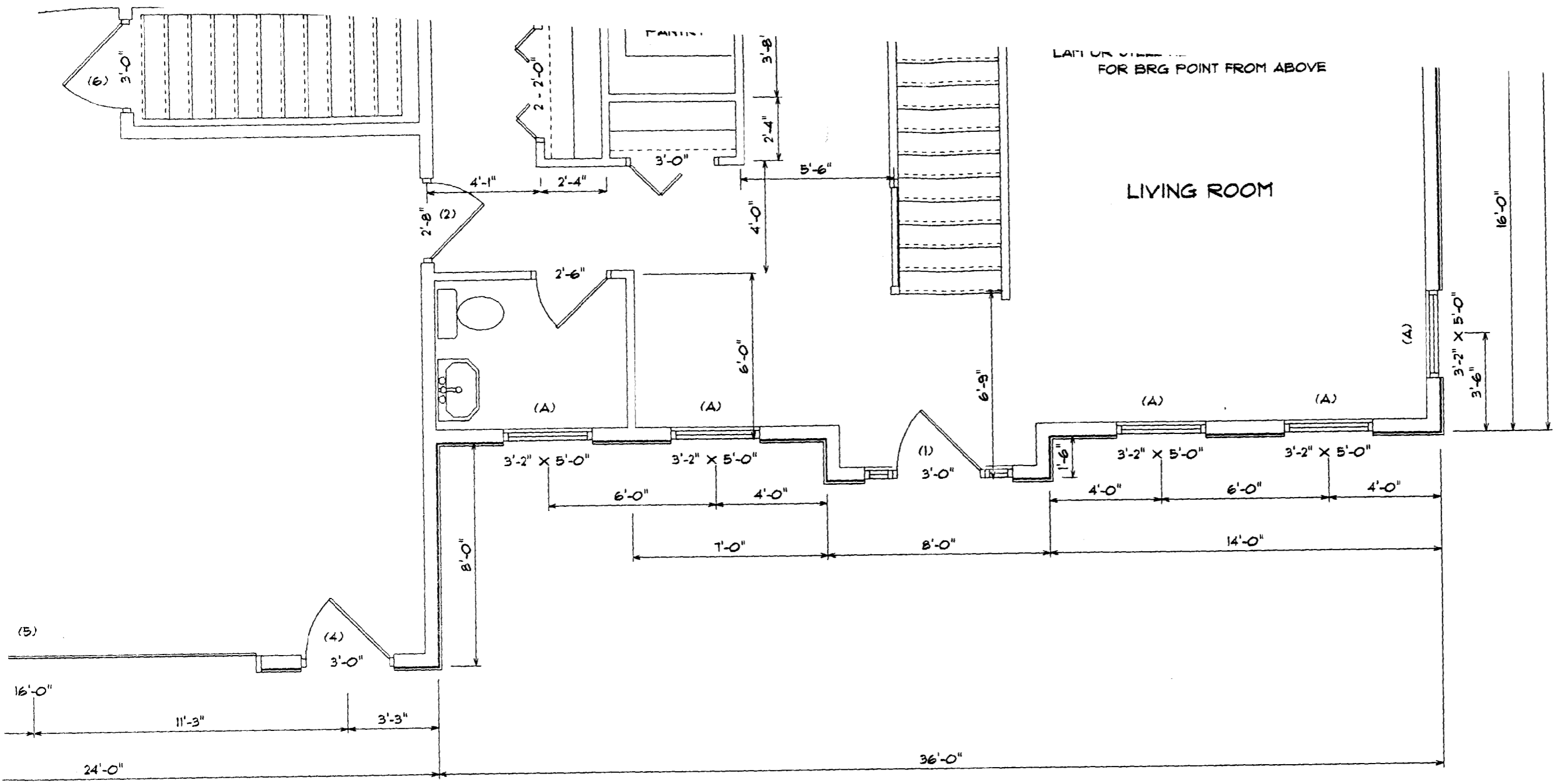


*None shown
so none permitted*



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SCALE ENCE 1/4" = 1'	DRAWN BY J. CALL	PAGE 2 OF 4
	DATE 8/00	
N		



HOUSE CALLS INC.
HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, ME

NAME

FLAHERTY

DRAWING

1ST FLOOR

WINDOW NOTES :

ALL DOOR AND WINDOW SIZES, BRAND, STYLE, AND EXACT LOCATIONS ARE TO BE DICTATED BY THE OWNER.
 ANY DOOR OR WINDOW SIZES, STYLES OR LOCATIONS SHOWN ON PLAN ARE RECOMMENDATIONS ONLY.
 THE ACTUAL LOCATION OF THE KITCHEN WINDOW WILL BE DICTATED BY THE FINAL CABINET LAYOUT.
 RECOMMEND AN AWNING WINDOW IN THE KITCHEN.
 ALL BEDROOMS ARE TO HAVE AT LEAST ONE EGRESS WINDOW.
 WHIRLPOOL WINDOW IS TO BE SAFETY GLASS.
 VERIFY ALL WINDOW AND DOOR LOCATIONS WITH BUILDER BEFORE CONSTRUCTION.

MISC. STRUCTURAL :

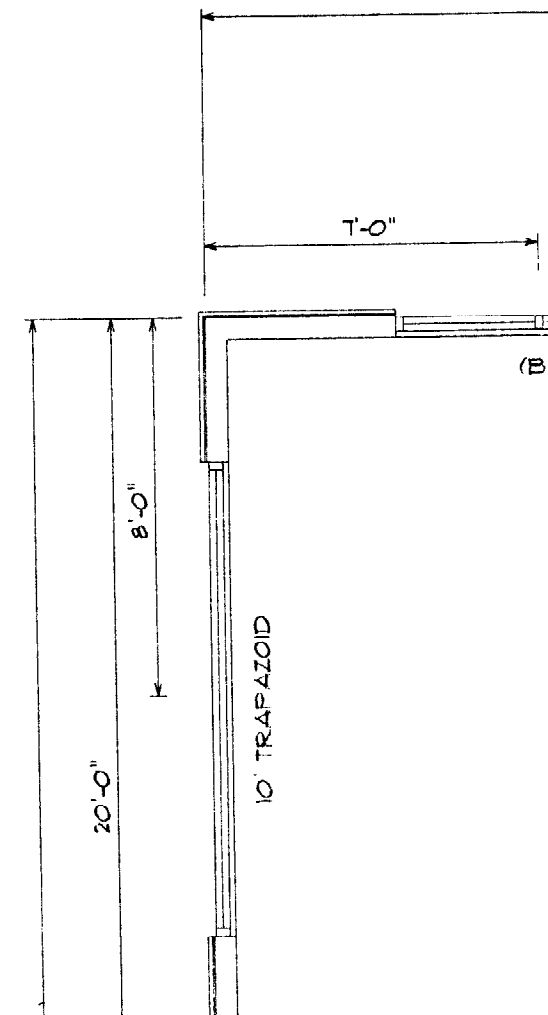
ALL BEARING POINTS (CIRCLES) ARE TO BE SOLIDLY BLOCKED TO THE FOUNDATION OR CARRING TIMBER.
 ALL OPENINGS OVER 8' ARE TO HAVE DOUBLE JACKS AND DOUBLE STUDS ON EACH SIDE.
 ALL HEADERS ARE TO BE "BUILT-UP" 6X8, 6X10, OR 6X12 AS NEEDED.
 ALL PARTITION STUDS AND CORNER STUDS ARE TO BE INSULATED.

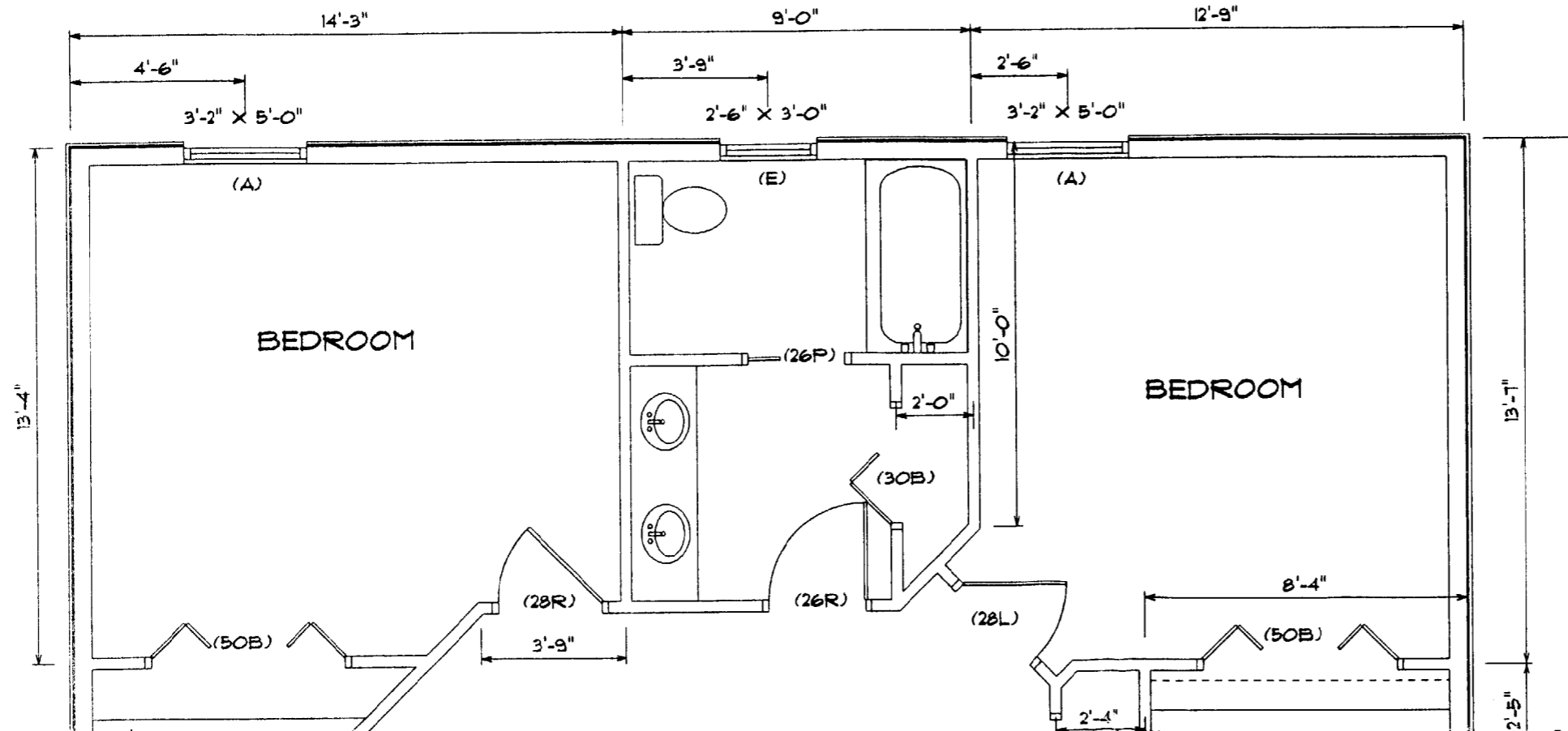
FINAL KITCHEN DESIGN TO BE DONE BY OTHERS.

PLEASE GO OVER ALL MEASUREMENTS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE CORRECT.

WINDOW SCHEDULE :

	SIZE AND STYLE	ROUGH OPENING	QUANTITY
(A)			
(B)			
(C)			
(D)			
(E)			
(F)			
(G)			





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DRAWN BY
J. CALL

PAGE
3 OF 4

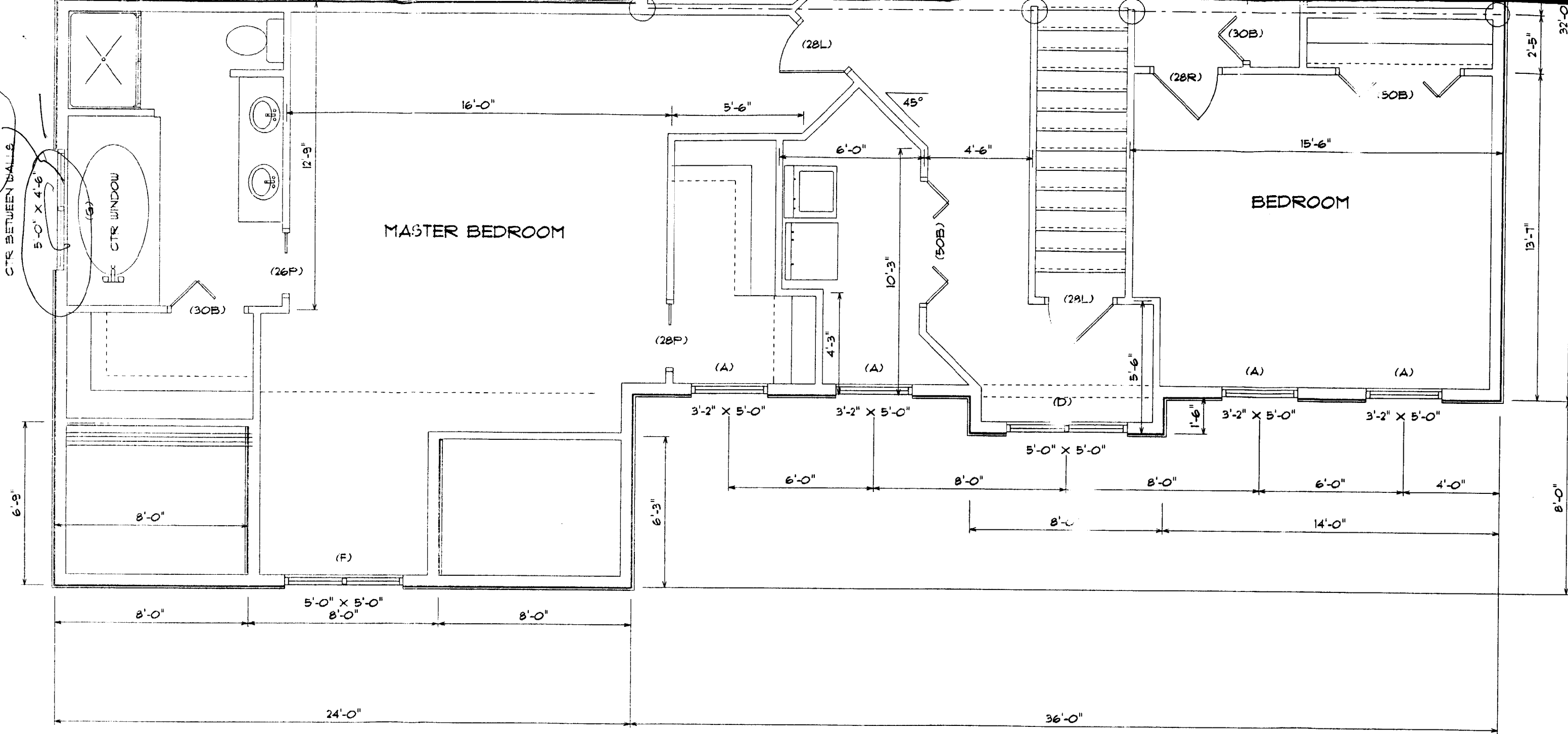
SCALE
1/4" = 1'

DATE
8/00

DENCE

LAN

THIS WINDOW MUST BE SAFETY GLASS
CTR BETWEEN BALLS



MASTER BEDROOM

BEDROOM

24'-0"

36'-0"

6'-9"

8'-0"

13'-1"

32'-0"

2'-5"

8'-0"

5'-0" X 5'-0"
8'-0"

8'-0"

6'-3"

3'-2" X 5'-0"

6'-0"

3'-2" X 5'-0"

8'-0"

5'-0" X 5'-0"

8'-0"

3'-2" X 5'-0"

14'-0"

3'-2" X 5'-0"

4'-0"

16'-0"

5'-6"

6'-0"

4'-6"

15'-6"

CTR WINDOW

5'-0" X 4'-6"

8'-0"

(F)

(28P)

(A)

(A)

(D)

(A)

(A)

(28L)

(28R)

(30B)

(50B)

(28L)

(50B)

(30B)

(26P)

X

X

X

