





# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>57 Quiet Lane</u>		
Total Square Footage of Proposed Structure <u>192</u>	Square Footage of Lot <u>52,924</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>388A</u> Block# <u>A</u> Lot# <u>54</u>	Owner: <u>Peter and Elizabeth Rickett</u>	Telephone: <u>878-5555</u>
Lessee/Buyer's Name (If Applicable) <u>—</u>	Applicant name, address & telephone: <u>Peter Rickett</u> <u>57 Quiet Lane</u> <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>700</u> Fee: \$ <u>30-</u>
Current Specific use: <u>RIA</u>		
Proposed Specific use: _____		
Project description: <u>Utility shed</u> <u>12x16</u>		
Contractor's name, address & telephone: <u>self</u>		
Who should we contact when the permit is ready: <u>Peter Rickett</u>		
Mailing address: <u>57 Quiet Lane</u> <u>Portland, ME 04103</u>		Phone: <u>878-5555</u>

**Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4-7-03</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

DB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

James Bonte

Date

4/7/03

Signature of Inspections Official

Date

CBL: 388-AA-54 Building Permit #:

03-0294

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030294  
**APR 07 2003**

Please Read Application And Notes, If Any, Attached

This is to certify that Rickett Peter M & /self

has permission to Build 12' x 16' shed

AT 57 Quiet Ln

City 388A A054001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise disposed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

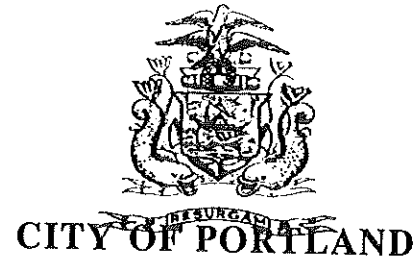
Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*James Bouke* 4/7/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Department of Planning & Development  
Lee D. Urban, Director  
Department of Planning & Development  
Lee D. Urban, Director



**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services  
Mark B. Adelson  
Housing & Neighborhood Services  
Alexander Q. Jaegerman, AICP  
John N. Lufkin  
Economic Development  
John N. Lufkin  
Economic Development

Peter Rickett  
57 Quiet Lane  
Portland, ME 04103

RE: 57 Quiet Lane  
CBL # 388A-A-054

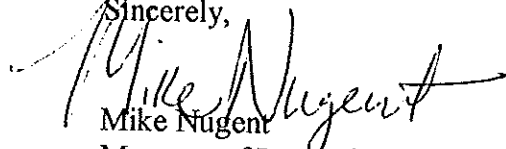
Dear Mr. Rickett ,

Our records indicate that the certificate of occupancy required pursuant to building permit # has not been issued. Please be advised that the occupancy of the portion of the premises covered by the permit without the Certificate of Occupancy is a violation of Section 108.1 of the City Building Code (1999 BOCA)

This is a notice of violation pursuant to Section 116.2 of the Code. All referenced violations shall be corrected within 30 days of the date of this notice. Our records will be reviewed again on Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. ss 4452.

This constitutes an appealable decision pursuant to Section 121 of the Code. Please feel free to contact me at 874-8700, if you wish to discuss the matter or have any questions.

Sincerely,

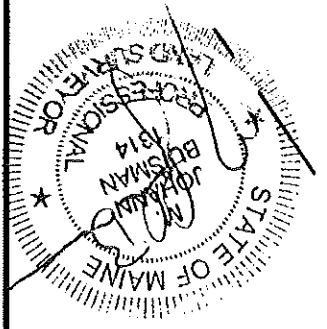
  
Mike Nugent  
Manager of Inspection Services



tel 207.883.1000  
 fax 207.883.1001  
 e-mail ncs@maine.rr.com

153 US ROUTE 1, SCARBOROUGH, MAINE 04074

**Northeast Civil Solutions**  
 SURVEYING ENGINEERING LAND PLANNING  
 INCORPORATED



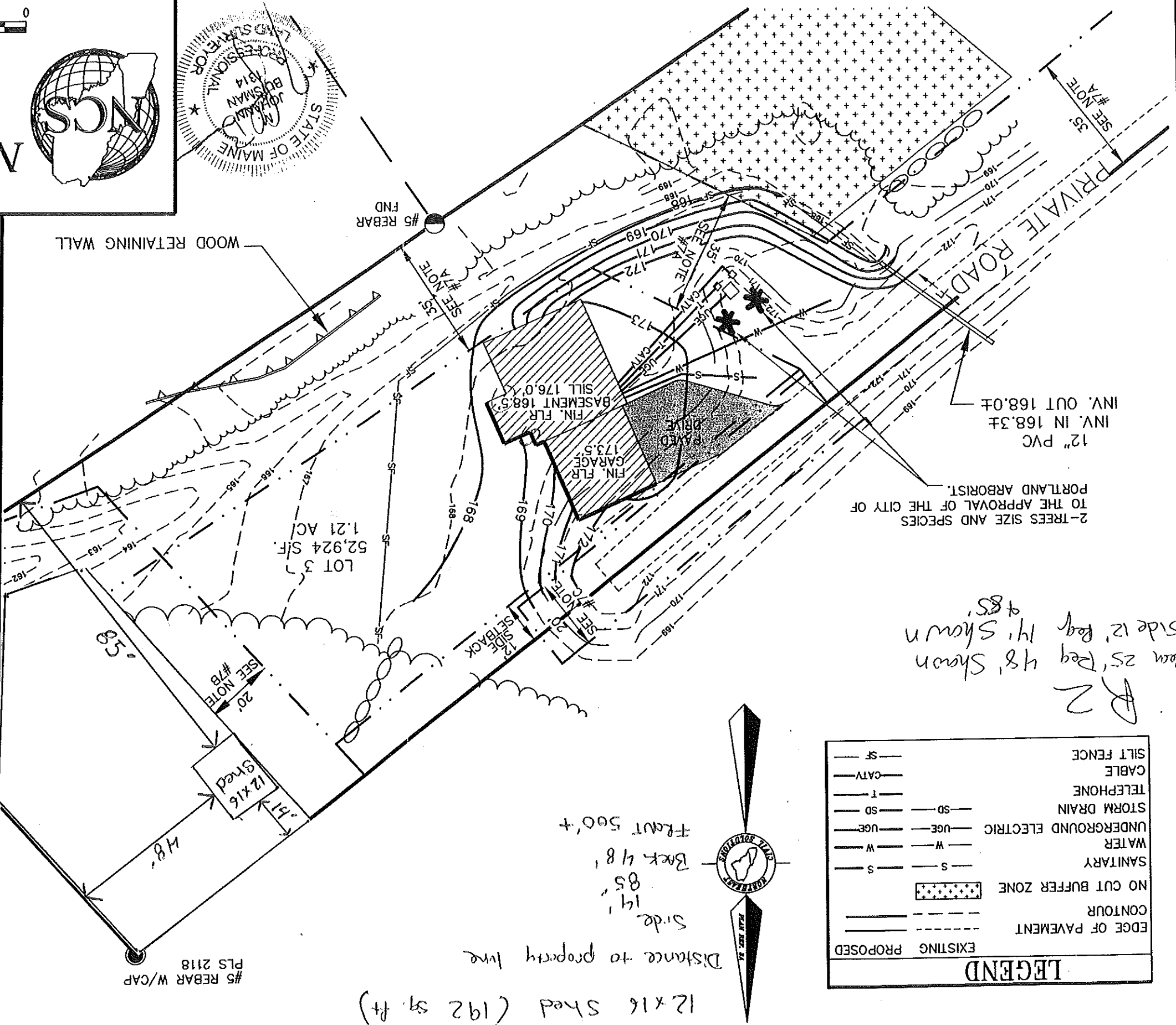
JOB NUMBER: 23282  
 ACAD FILE: 23282

PREPARED FOR: NAN C. SAWYER  
 40 BELMONT STREET  
 PORTLAND, MAINE 04101  
 SCALE: 1" = 30'  
 APRIL 24, 2002

**GRADING PLAN**  
 IN  
**PORTLAND**  
 MAINE

1. BOUNDARY LINES BASED UPON PLAN REFERENCE IN NOTE 3.A BELOW
2. DATUM:  
 HORIZONTAL-- BASED UPON PLAN REFERENCED IN NOTE 3.A BELOW  
 VERTICAL-- BASED UPON BONNET BOLT OF HYDRANT AT THE CORNER OF OF ABBEY LANE AND CURTIS ROAD, SAID ELEVATION IS 139.45', CITY OF PORTLAND DATUM.
3. PLAN REFERENCES:  
 A. PLAN ENTITLED "SUBDIVISION PLAN HIDDEN ACRES SUMMIT STREET, PORTLAND, MAINE" DATED 4/13/00, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 216.  
 4. NO STANDING TREES, TIMBER OR UNDERGROWTH SHALL BE REMOVED IN THE NO-CUT BUFFER ZONE AS SHOWN ON THE PLAN, EXCEPT IN THE EVENT ANY SUCH TREE OR TIMBER PRESENTS A DANGEROUS OR UNSAFE CONDITION.  
 5. CONTRACTOR SHALL INSTALL A WASTEWATER SOLIDS HANDLING PUMP. HOMEOWNER WILL OWN MAINTAIN AND REPAIR THEIR PUMP AND FORCE MAIN FROM THE HOUSE TO THE CLEAN OUT STRUCTURE. THE CITY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OR REPAIR OF PRIVATE SYSTEMS.  
 6. CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES.  
 7. PARCEL IS SUBJECT TO THE FOLLOWING EASEMENTS:  
 A. 35' DRAINAGE EASEMENT GIVEN TO THE CITY OF PORTLAND  
 B. 20' DRAINAGE EASEMENT GIVEN TO THE OWNER OF LOT 4.  
 C. 20' DRIVEWAY/UTILITY/DRAINAGE EASEMENT.  
 8. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:  
 MINIMUM LOT SIZE .....10,000 S.F.  
 SETBACKS: FRONT .....25'  
 REAR .....25'  
 SIDE .....12'  
 9. UTILITIES AS SHOWN ARE BASED UPON FIELD OBSERVATIONS. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO CONSTRUCTION.

**NOTES**



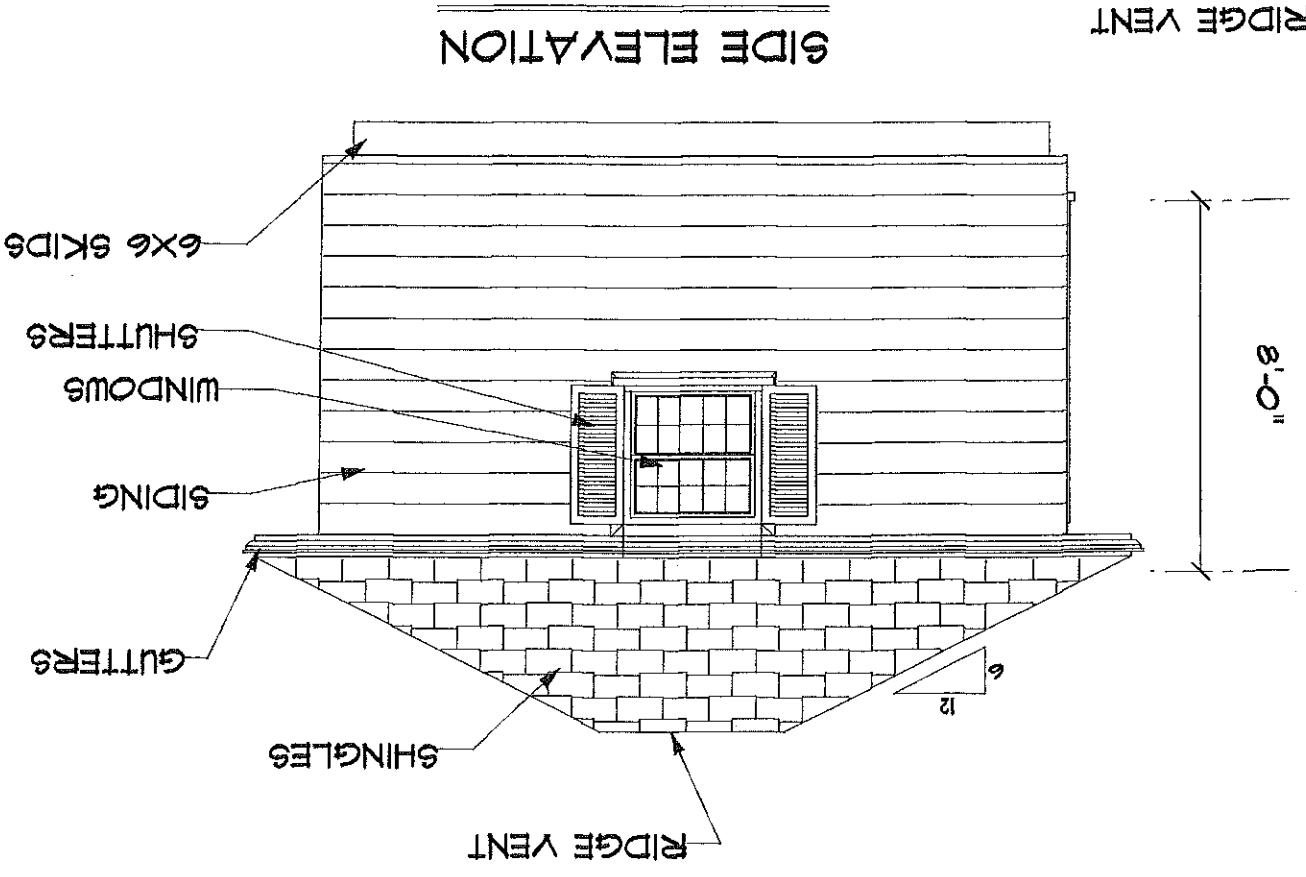
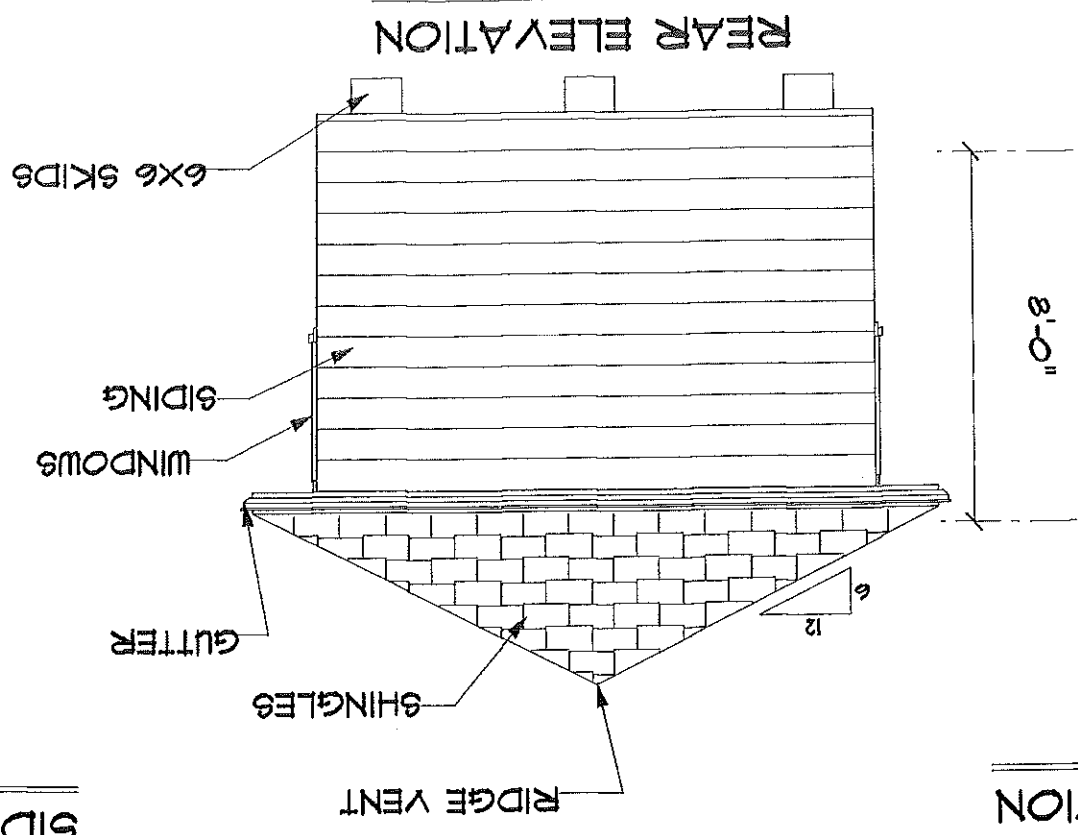
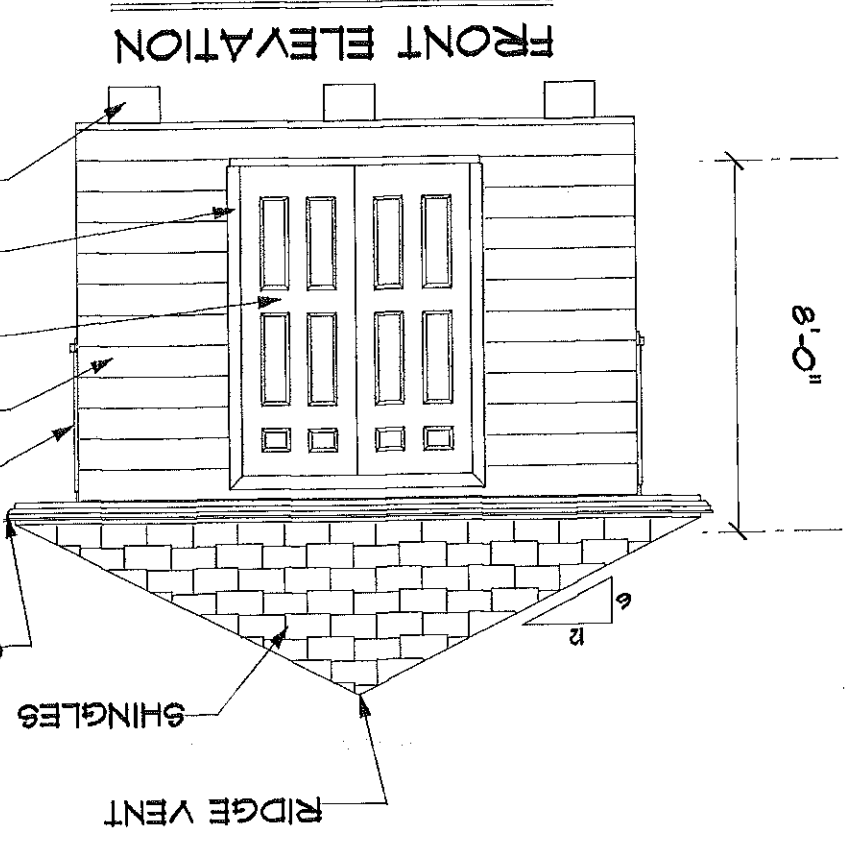
**LEGEND**

---	PROPOSED
---	EXISTING
---	EDGE OF PAVEMENT
---	CONTOUR
---	NO CUT BUFFER ZONE
---	SANITARY
---	WATER
---	UNDERGROUND ELECTRIC
---	STORM DRAIN
---	TELEPHONE
---	CABLE
---	SILT FENCE

*R2*  
 2-TREES SIZE AND SPECIES TO THE APPROVAL OF THE CITY OF PORTLAND ARBORIST.  
 12" PVC INV. OUT 168.3±  
 INV. IN 168.0±

Distance to property line  
 Side 14'  
 Back 48'  
 FRONT 500'+

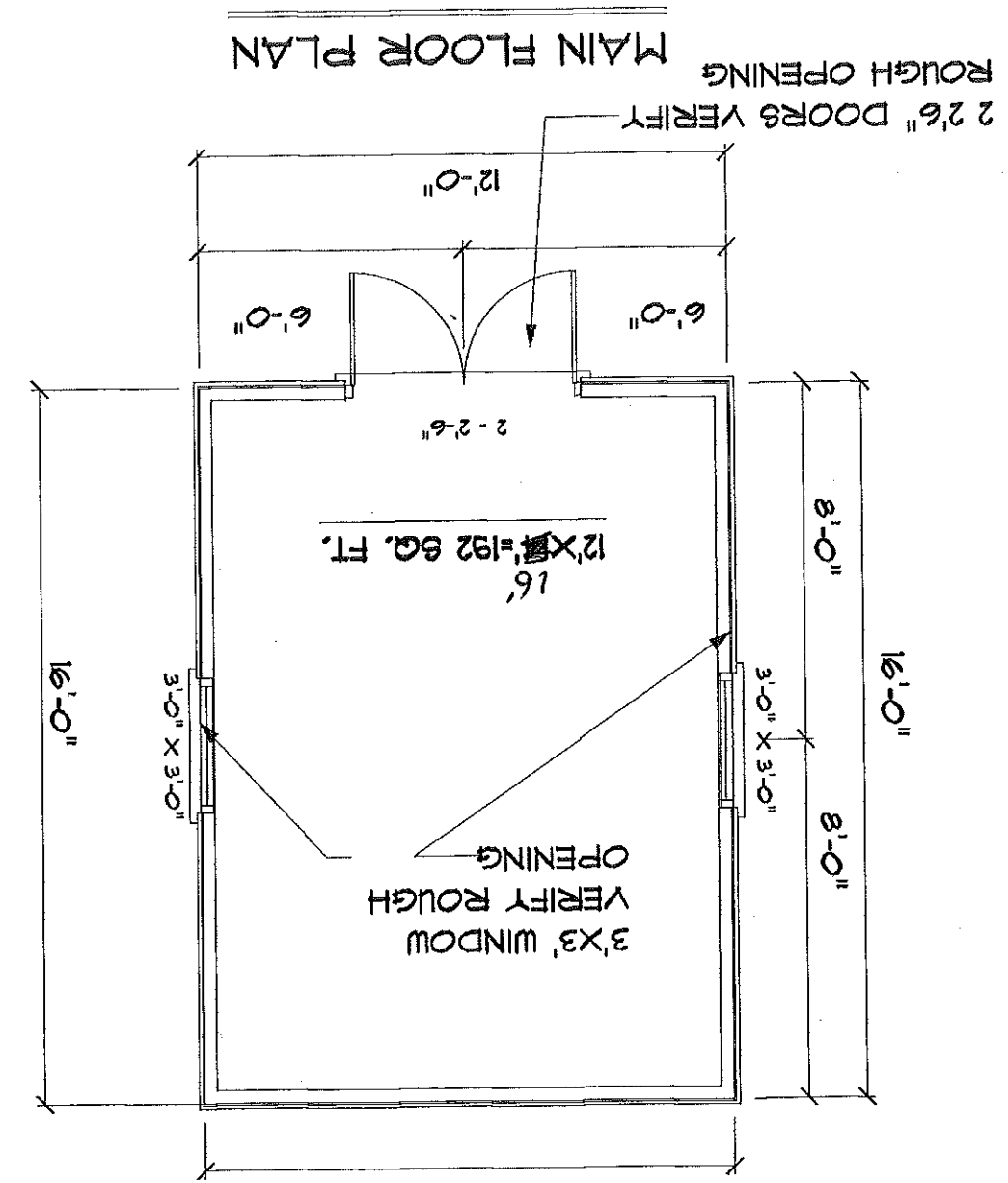




**BarnPlan.Com**  
 213 And Texas Road St. George, SC 29477

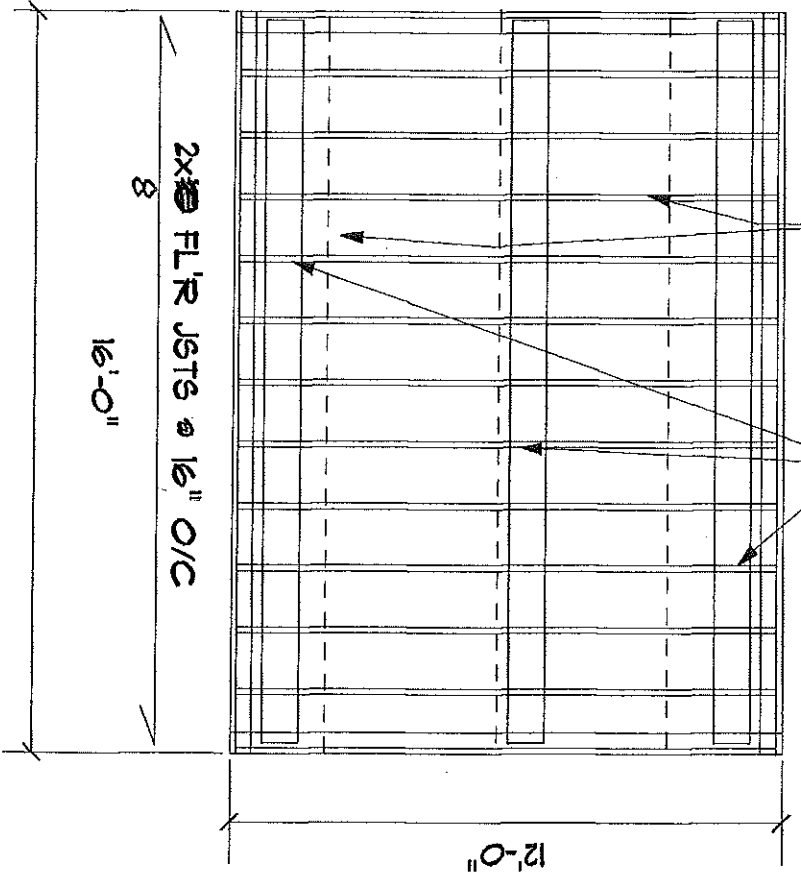
SCALE	NOT TO SCALE	DATE	01/6/01
DRAWN BY	C KIRKLAND	REVISED	
APPROVED	C KIRKLAND	DRAWING#	1812 GABLE PLANS

THE PLANS HAVE NOT BEEN ENGINEERED AND MAY NOT MEET OR CONFORM TO YOUR LOCAL BUILDING CODES OR OTHER REQUIREMENTS. THEIR USE IS PREDICATED ON THE OWNER CONSULTING WITH A QUALIFIED LOCAL ENGINEER, ARCHITECT OR CONTRACTOR TO INSURE ADAPLACTY.



TYPICAL 2X4 SIDING EXTERIOR WALL:  
 VINYL SIDING  
 1/16" PLYWOOD SHEATHING  
 2X4 STUDS @ 16" O.C.  
 R13 BATT INSULATION  
 6 MIL POLY V.B.  
 1/2" DRYWALL  
 TAPED AND SANDED

FOUNDATION PLAN



TYPICAL FLOOR:  
 5/8" T&G SHEATHING  
 2" x 8" FLR. JOISTS  
 SCREWED & GLUED

TREATED 6X6 SKIDS  
 "THIS IS NOT ON THE  
 MATERIALS LIST"

MAIN FLOOR PLAN

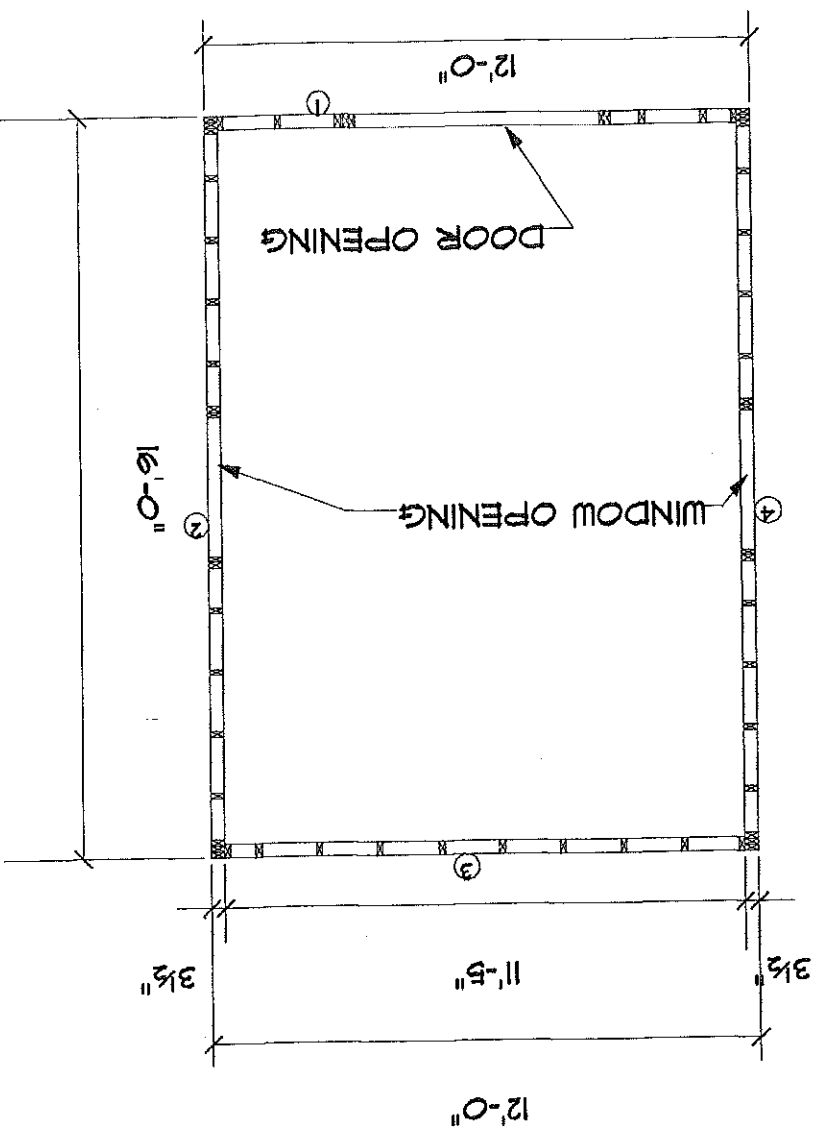
**BarnPlan.Com**  
 215 2nd Texas Road St. George, SC 29477

SCALE	NOT TO SCALE	DATE	01/16/01
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APPROVED	C KIRKLAND	DRAWING#	1512 GASBLE PLANS

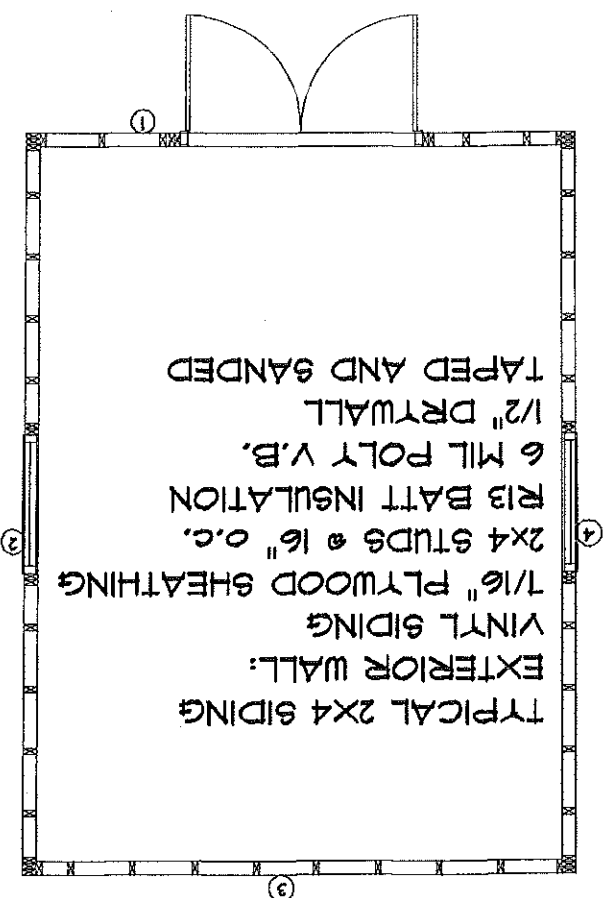
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WALL FRAMING PLAN

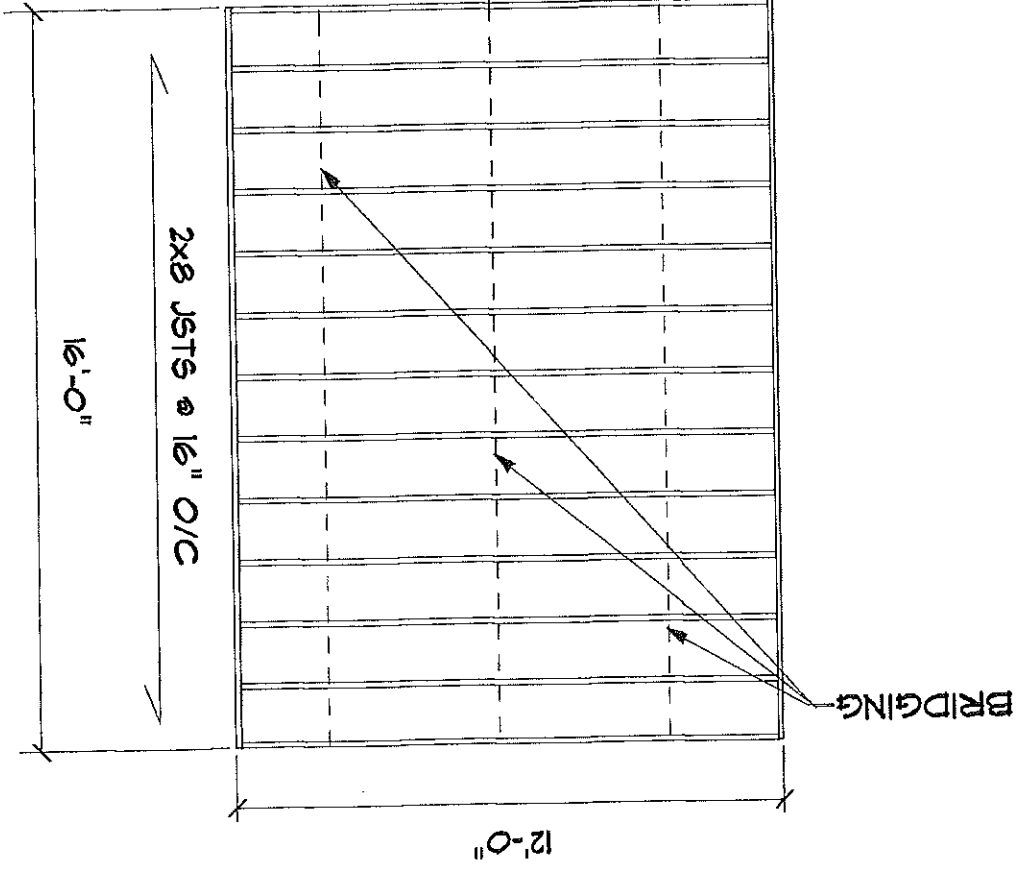


SCALE	NOT TO SCALE	DATE	01/16/01
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APPROVED	C KIRKLAND	DRAWING#	1812 GABLE PLANS

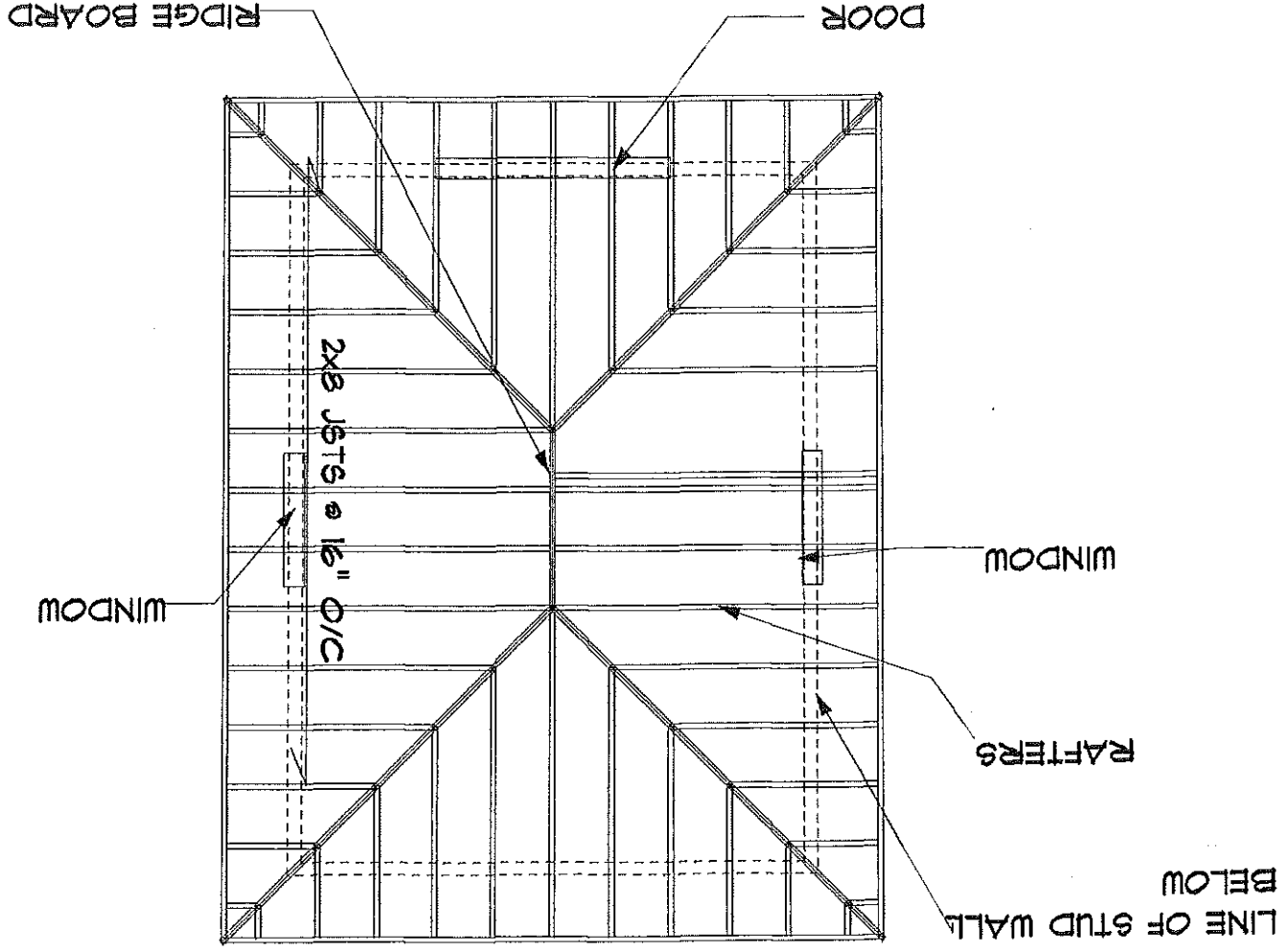
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CEILING FRAMING PLAN



ROOF FRAMING PLAN



- TYPICAL FRAME ROOF:
- \*225 ASPHALT SHINGLES
  - 3/8" ROOFING PLYWOOD c/w
  - 1" CLIPS
  - 2x10 RIDGEBOARD
  - 2x8 RAFTERS @ 16" o.c.
  - 2x4 COLLAR TIES @ 48" o.c. w/ 1x4 RIBBON TIE
  - 2x8 CEILG JOISTS @ 16" o.c. w/ 2x4 RIBBON TIE

SCALE	NOT TO SCALE	DATE	01/6/01
DRAWN BY	C KIRKLAND	REVISED	
APPROVED	C KIRKLAND	DRAWING#	1812 GABLE PLANS

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