



PORTLAND MAINE

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*Jeff Levine - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

August 7, 2012

Steve & Betsy Paulding
21 Quiet Lane
Portland, ME 04103

RE: 21 Quiet Lane -- 388A-A-053 -- R-2 Zone - permit application #2012-07-4580

Dear Mr. and Mrs. Paulding,

I am in receipt of a permit application to enclose an existing deck as applied for by Wintergreen Solariums. I have the original approved site plan from 2001 which is on file, showing the original house and setbacks including a no cut buffer zone.

First of all, I find no permit on file for the original deck. Such an addition does require a building permit. Apparently the deck was erected without the required review and permit. Based upon the original approved survey site plan, I believe the added deck is located in the required rear setback and within the no cut buffer zone as depicted on the approved site plan (enclosed). The R-2 zone in which this property is located requires a minimum 25 foot rear setback under section 14-80(d)(2).

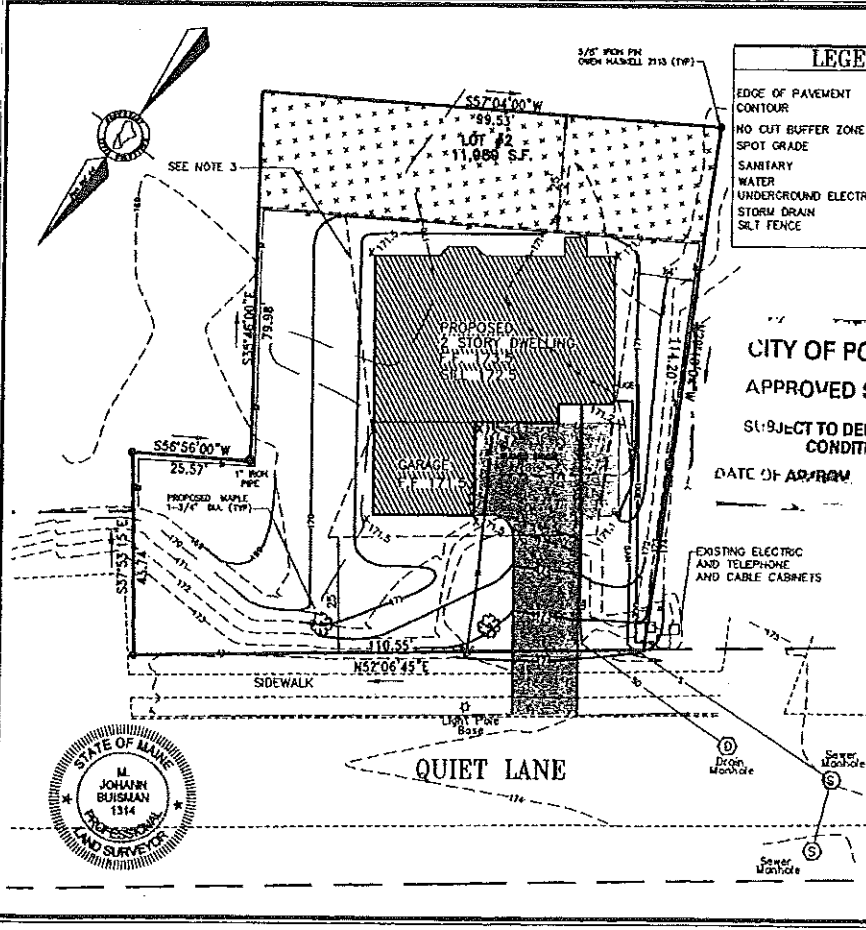
Your application request is not issuable at this time. If you have any further information to submit verifying a deck permit and meeting the required setbacks, please submit such information as soon as possible.

If I do not receive any further information within the next 30 days from the date of this letter, your permit will be denied. Your unpermitted deck may need to be removed at that time as a follow up letter directs. If you have any questions regarding this matter, please do not hesitate to contact me at (207) 874-8695.

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: Wintergreen Solariums, 470 Riverside Street, Portland, ME 04103



LEGEND	
EXISTING	PROPOSED
EDGE OF PAVEMENT	---
CONTOUR	---
NO CUT BUFFER ZONE	XXXXXX
SPOT GRADE	X 174.2'
SANITARY	—S—S—
WATER	—W—W—
UNDERGROUND ELECTRIC	—USE—USE—
STORM DRAIN	—SD—SD—
SILT FENCE	—SF—

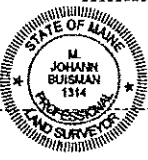
CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL: 8/30/01

- NOTES**
- BOUNDARY LINES BASED UPON PLAN REFERENCED IN NOTE 4.A BELOW.
 - DATUM
 HORIZONTAL—BASED UPON PLAN REFERENCED IN NOTE 4.A BELOW.
 VERTICAL—BASED UPON BONNET BOLT OF HYDRANT AT THE CORNER OF ABBEY LANE AND CURTIS ROAD. CITY DATUM ELEVATION 159.45' ± 0.01.
 - THE SET BACK AS SHOWN ON THE EAST SIDE OF THE PROPERTY IS BASED UPON A 25' SETBACK FROM WETLANDS. LOCATION HAS BEEN DIGITIZED FROM PLAN REFERENCED IN NOTE 4.A BELOW.
 - PLAN REFERENCES:
 A. PLAN ENTITLED "SUBDIVISION PLAN HIDDEN ACRES SUMMIT STREET, PORTLAND, MAINE" DATED 4/12/00.
 - NO STANDING TREES, TIMBER OR UNDERGROWTH SHALL BE REMOVED IN THE NO-CUT BUFFER ZONE AS SHOWN ON THE PLAN, EXCEPT IN THE EVENT ANY SUCH TREE OR TIMBER PRESENTS A DANGEROUS OR UNSAFE CONDITION.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES.

**SITE PLAN OF LAND
 IN
 PORTLAND
 MAINE**

SCALE: 1" = 20' DATE: AUGUST 30, 2001
 PREPARED FOR: CHASE CUSTOM HOMES & FINANCE, INC.
 ONE PERCY HAWKES ROAD
 WINDHAM, MAINE 04062

JOB NUMBER: 22323 ACAD FILE: 22323



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