

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2005-0004
Application I. D. Number
1/7/2005
Application Date
Auburn Estates
Project Name/Description

Chuck's Place Lic
Applicant
31 Longview Dr, Portland, ME 04103
Applicant's Mailing Address

31 - 31 Longview Dr, Portland, Maine
Address of Proposed Site
388 B038001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax
Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2200 sq ft
Proposed Building square Feet or # of Units
Acreage of Site _____ Zoning _____

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 1/7/2005
Reviewer _____

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____
 Condition Compliance _____ signature _____ date _____ Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

January 14, 2005

Mr. James Lombardo
69 Milton Street
Portland, ME 04103

Dear Mr. Lombardo:

RE: Application for Single Family Residence, Longview Drive, Auburn Estates Lot #8

Thank you for your application for a single-family house on Longview Drive. Upon review of the site plan, the City's Planning Division has the following comments:

1. The Proposed finish floor elevation and garage floor elevation do not match the building elevations submitted. The site plan, which is the same as the approved subdivision plans, show a 9-foot elevation difference between house finish floor and garage floor. The building elevations do not reflect this.

I've attached the recently approved site plan for lot #7. This application involved re-designing what was originally approved. Lot #7's elevations and new topography may help in re-designing your lot. It will also be important to show how the topography will match at the side property line.

Please re-submit 4 copies of the revised plans to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager
Marge Schmuckal, Zoning Administrator

W. 92.13.42S (5) TO
637°35'43"W 92.63'
TW=158
FG=1575

MODULAR CONCRETE
BLOCK RETAINING
WALL. PROVIDE
SHOP DRAWINGS
PREPARED BY
WALL VENDOR'S
ENGINEER

TW=159
FG=156
TW=158
TW=157.5

TW=160
FG=156

GARAGE
155.5
155.8
TOP OF FOUNDATION
EL. = 156.5
F.F.E. = 157.5 ±
SLOPE 4"

DECK

PORCH

INSTALL
UNDERGROUND
ELECTRICAL
SERVICE

BITUMINOUS
SIDEWALK

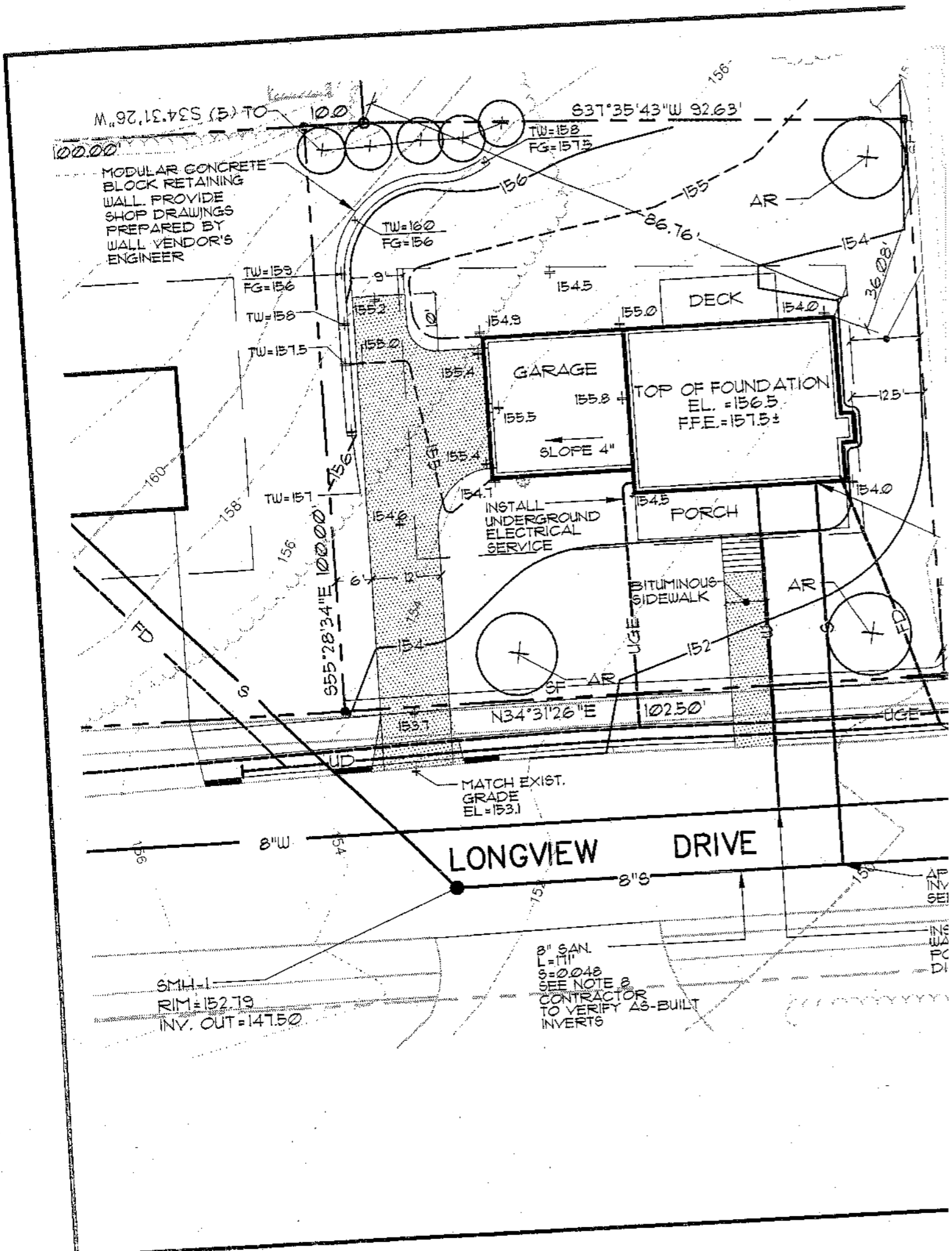
MATCH EXIST.
GRADE
EL. = 153.1

LONGVIEW DRIVE

SMH-1
RIM = 152.19
INV. OUT = 147.50

8" SAN.
L=111'
S=0.048
SEE NOTE 8
CONTRACTOR
TO VERIFY AS-BUILT
INVERTS

AP
TK
SEI
E26
E25
PC
DI



1-11x17
4-Foil

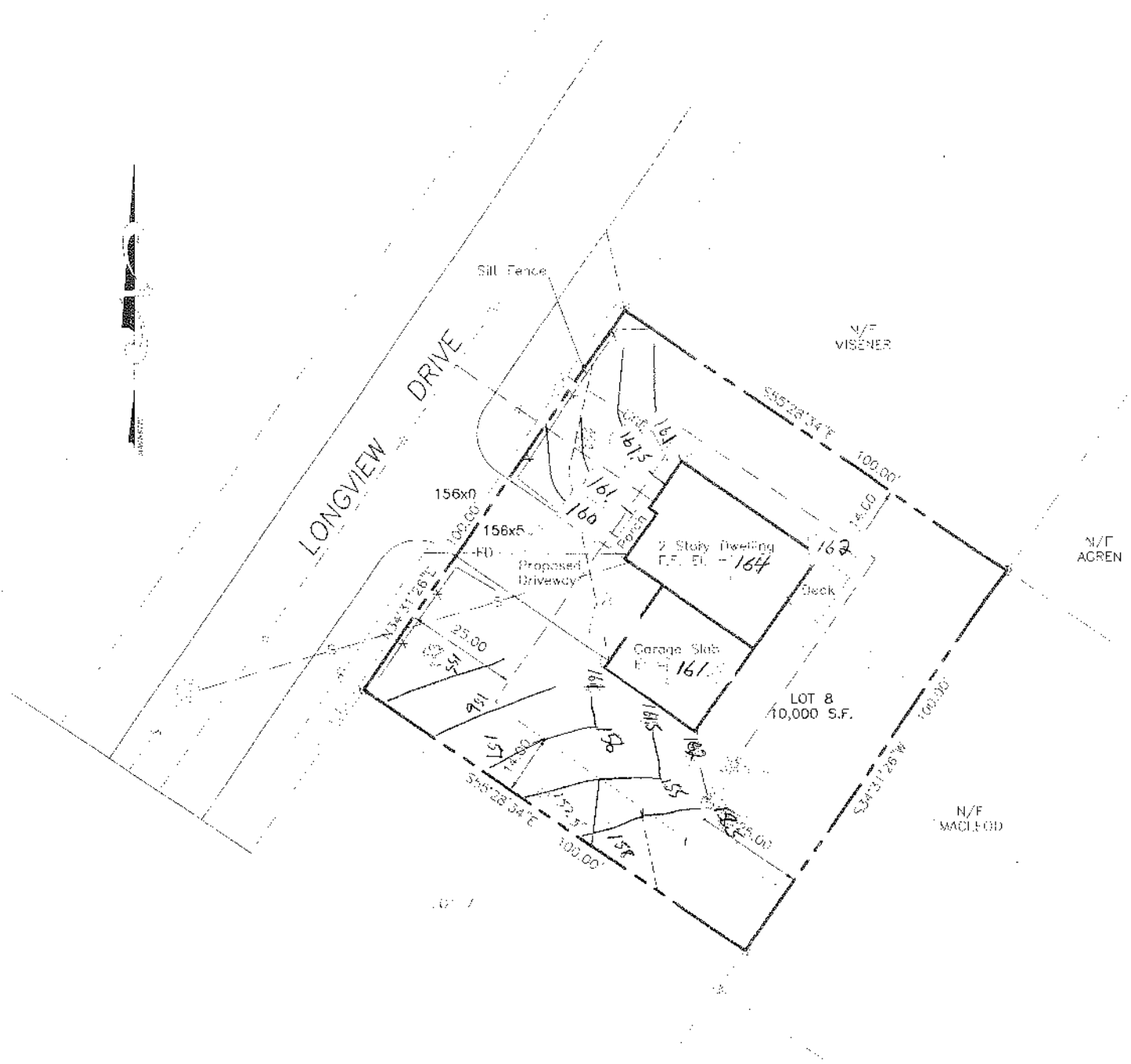
PLAN REFERENCE

"Subdivision Plan Of Auburn Estates" By:
Seago Technic Dated 7/22/04 And
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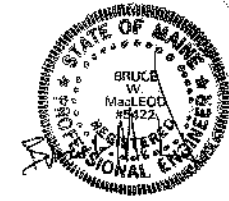
GENERAL NOTES

Zone: R-2

Setbacks:
Front = 25'
Sides = 14' (2 Story Bldg)
Rear = 25'



507-8875 STUBBS
NADREDA
NADREDA



PLOT PLAN

Scale: 1" = 20'

Drafting Plus is not a registered engineering firm. It is the responsibility of the general contractor to have structural beams sized and to ensure that this home is built according to all state & local codes in effect at the time of construction.

Contractor: **James Lombardo**
Longview Drive Lot 8
Portland
Maine

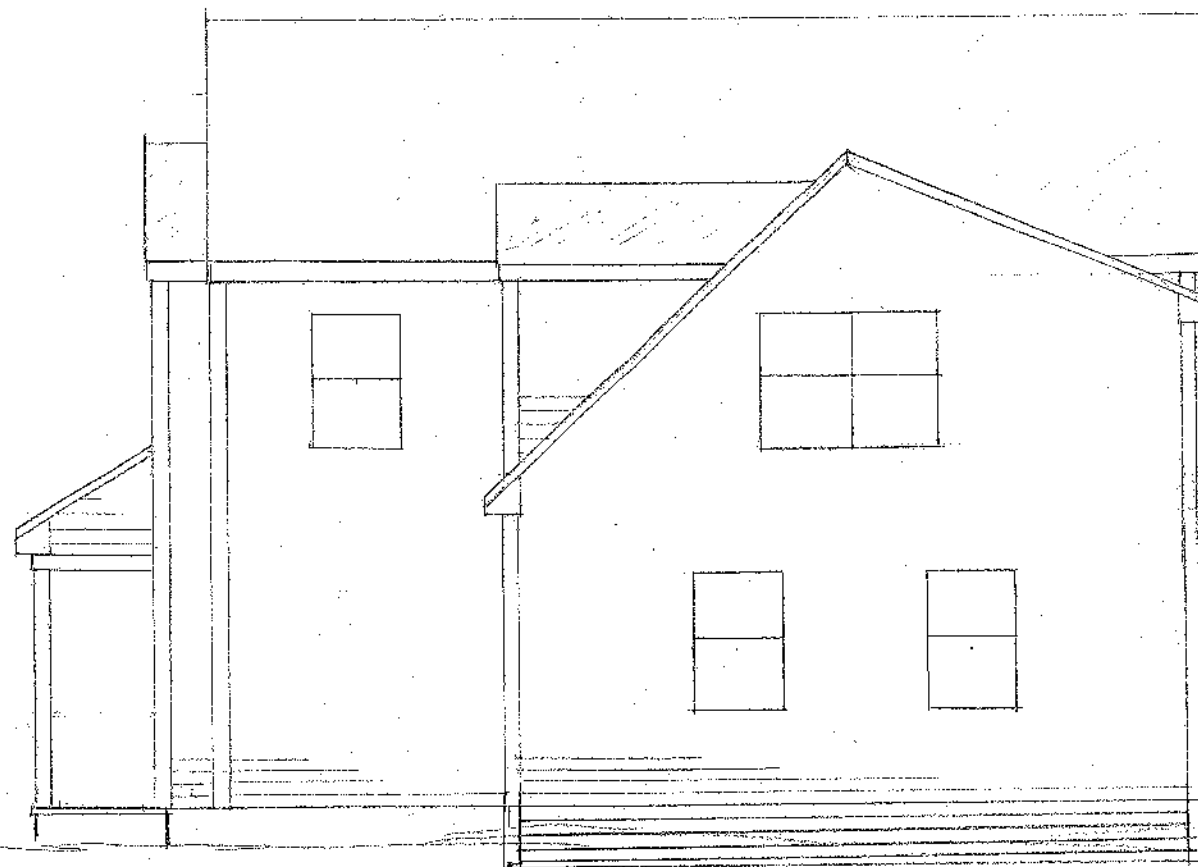
Approvals

Drafting Plus
14 Cathedral Oaks Drive
Biddeford, ME 04005
Tel. (207) 262-7744
Fax. (207) 262-3777

Date: 12/19/04
Issued: 12/20/04
Dr. By: **John A. Perron**

Sheet No. **1** / **1**

14-11x17
4-SITE
1-BUILDING



RIGHT ELEVATION
 $\frac{1}{4}'' = 1'-0''$

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

12/12/21

2- FOLIO
1-11-17



FRONT ELEVATION
 $\frac{1}{4}'' = 1'-0''$

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
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Final Inspection _____ date _____ signature _____

Certificate Of Occupancy _____ date _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____

Defect Guarantee Released _____ date _____ signature _____

Workshop

1. Introduction
2. Objectives
3. Methodology
4. Results
5. Discussion
6. Conclusion

1

2

3

4

5

6

7



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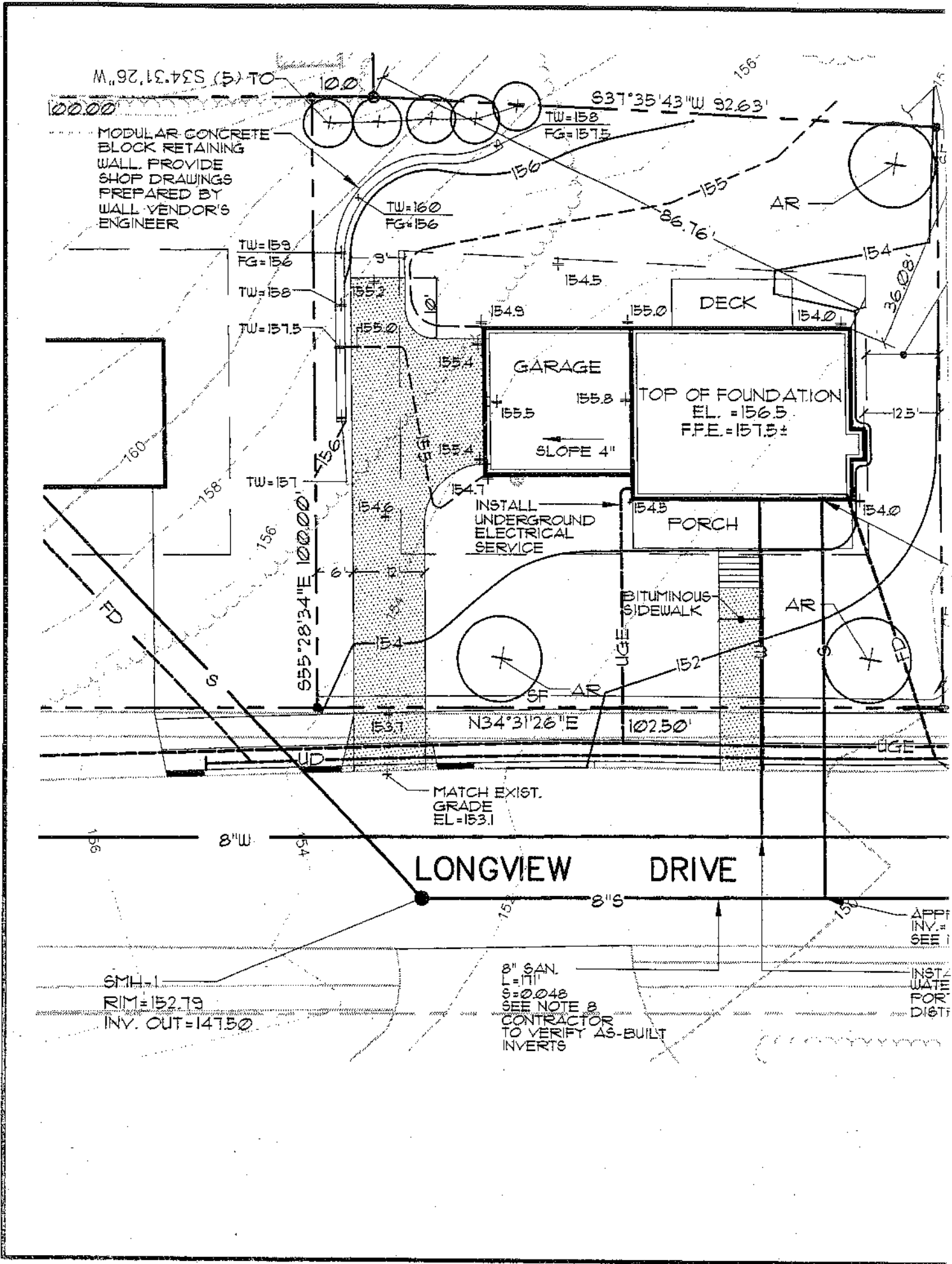
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Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager
Marge Schmuckal, Zoning Administrator



1-11-17
4-F01C

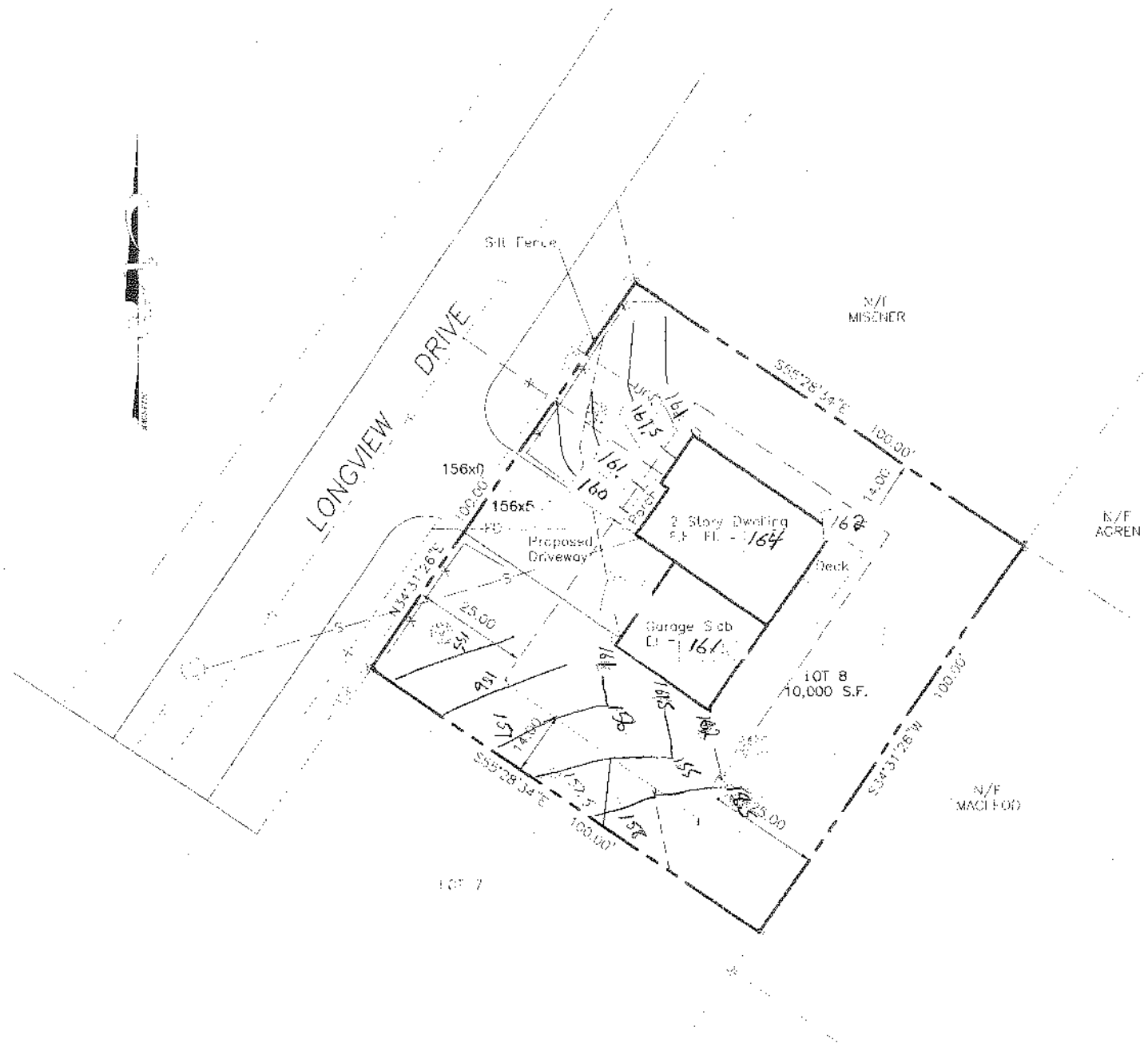
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GENERAL NOTES

Zone: R-2

Setbacks:
Front - 25'
Sides - 14' (2 Story Bldg)
Rear - 25'



JAMES LOMBARDO
 CONTRACTOR
 518-5-C-008

PLOT PLAN

Scale: 1" = 20'



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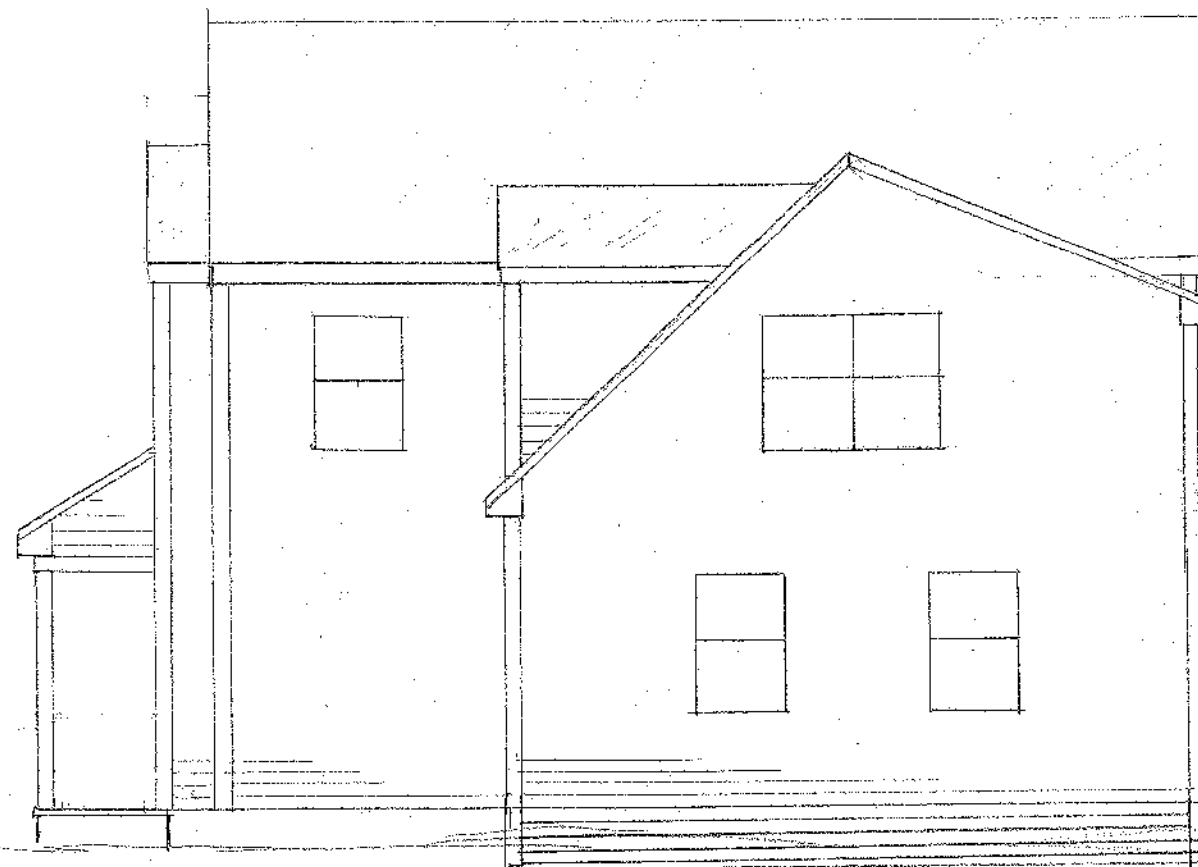
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 Portland Maine

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Drafting Plus
 14 Cathedral Oaks Drive
 Biddeford, ME 04005
 Tel. (207) 282-7744
 Fax. (507) 282-3777

Date: 12/19/04
 Issued: 12/20/04
 Dr. By: **John A. Perron**
 Sheet No. 1/1

1-11-17
 4-SITE
 1-BUILDING



RIGHT ELEVATION
1/4" = 1'-0"

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

12/1/23

2- FULC
1- 11/17



FRONT ELEVATION
1/4" = 1'-0"

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
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Letter Sent 11-15

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- Shoreland
- Historic Preservation
- DEP Local Certification
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Marge Schmuckal, Zoning Administrator

M,,92,13,42S (5) TO

102.00

MODULAR CONCRETE
BLOCK RETAINING
WALL. PROVIDE
SHOP DRAWINGS
PREPARED BY
WALL VENDOR'S
ENGINEER

637°35'43"W 92.63'

TW=158
FG=157.5

TW=160
FG=156

TW=159
FG=156

TW=158

TW=157.5

TW=157

955°28'34"E 100.00'

156

155

86.76'

AR

154

36.08'

9

10

154.5

DECK

154.0

GARAGE

TOP OF FOUNDATION

EL. = 156.5
F.F.E. = 157.5±

SLOPE 4"

INSTALL
UNDERGROUND
ELECTRICAL
SERVICE

PORCH

BITUMINOUS
SIDEWALK

AR

FD

S

6F AR

FD

N34°31'26"E 102.50'

MATCH EXIST.
GRADE
EL = 153.1

8"W

LONGVIEW

DRIVE

8"S

SMH-1

RIM = 152.79

INV. OUT = 147.50

8" SAN.
L = 111'
S = 0.048
SEE NOTE 8
CONTRACTOR
TO VERIFY AS-BUILT
INVERTS

APPF
INV. =
SEE 1

INST.
WATER
FOR
DIST

508-875 STRUBEN
N/AARD
CORP

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GENERAL NOTES

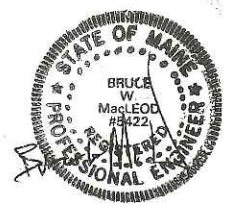
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4-FULL
1-1117

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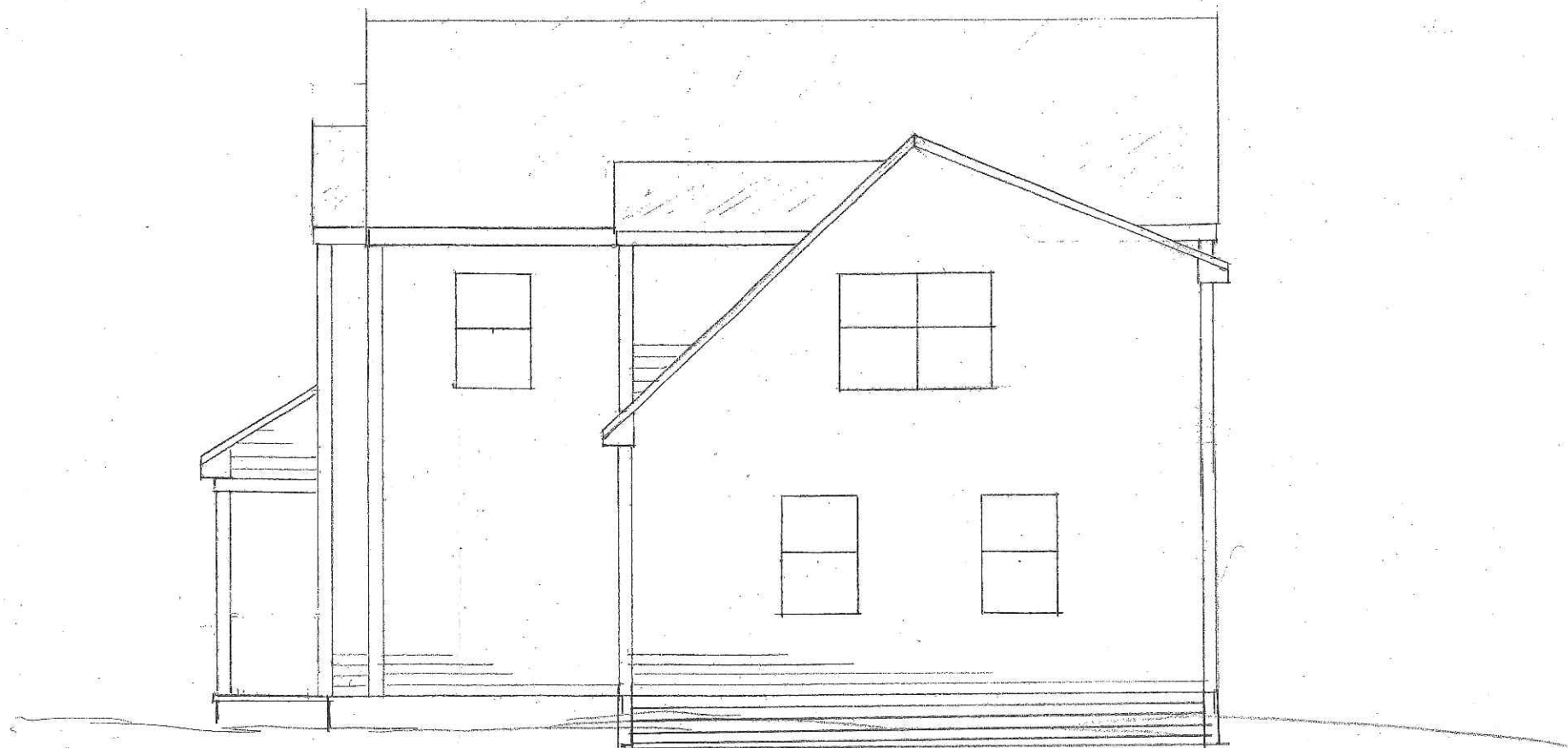
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Tel. (207) 282-7744
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4-SITE
1-1117
+BUILDING



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7 TERRA WAY
FALMOUTH, ME 04105

109
287
23

2- Full
1- 11 x 17



FRONT ELEVATION
1/4" = 1'-0"

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
1/4" = 1'-0"