

GENERAL NOTES

- EXISTING FRAMING HAS NOT BEEN DOCUMENTED AND WILL REQUIRE INVESTIGATION PRIOR TO START OF CONSTRUCTION. ASSUMPTIONS FOR NEW FRAMING MAY NEED TO BE REVISITED ONCE EXISTING CONDITIONS HAVE BEEN ESTABLISHED.
- NOT ALL EXISTING CONDITIONS MAY HAVE BEEN PICKED UP DURING FORMATION OF AS-BUILT DRAWINGS. PLEASE BRING ANY UNDOCUMENTED CONDITION TO ARCHITECT'S ATTENTION BEFORE COMMENCING OR PROCEEDING WITH WORK WHERE A CONFLICT MAY OCCUR.
- HOME OWNERS WILL CONTINUE TO OCCUPY HOME DURING CONSTRUCTION. CONSTRUCT BARRIERS TO PROTECT OWNERS AND THEIR BELONGINGS FROM DUST AND CONSTRUCTION ACTIVITIES. PROTECT PORTIONS OF BUILDING, SITE, AND ADJACENT STRUCTURES AFFECTED BY DEMOLITION OPERATIONS.
- NO SMOKING WILL BE ALLOWED ON SITE.
- CONTRACTOR TO OBTAIN, AND PAY FOR BUILDING PERMITS, AND OTHER PERMITS REQUIRED TO PERFORM THE WORK.
- REMOVE ABANDONED UTILITIES AND WIRING SYSTEMS.
- SURVEY EXISTING CONDITIONS AND CORRELATE WITH DRAWINGS AND SPECIFICATIONS TO VERIFY EXTENT OF DEMOLITION REQUIRED.
- VERIFY CONDITIONS AT SITE TO DETERMINE WHETHER DEMOLITION METHODS PROPOSED FOR USE WILL NOT ENDANGER EXISTING STRUCTURES BY OVERLOADING, FAILURE, OR UNPLANNED COLLAPSE.
- PERFORM DEMOLITION OPERATIONS BY METHODS WHICH DO NOT ENDANGER ADJACENT SPACES, STRUCTURES, OR THE PUBLIC.
- PERFORM DEMOLITION OPERATIONS TO PREVENT DUST AND POLLUTANT HAZARDS. PROVIDE CHUTES AS REQUIRED TO CONTROL DUST AND DEBRIS
- NEW GUTTERS & DOWNSPOUTS TO BE INSTALLED AND TIED INTO EXISTING UNGROUND DRAINAGE SYSTEM.

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE :

NEW SHED DORMER INCLUDING NEW FRAMING, ROOFING, WINDOWS AND EXTERIOR SIDING.

INTERIOR WORK TO INCLUDE NEW INTERIOR WALLS, DOORS AND BATHROOM FIXTURES ON THE SECOND FLOOR.

INTERIOR WORK IN THE FIRST FLOOR INCLUDES NEW KITCHEN CABINETS, COUNTERTOPS, APPLIANCES AND BUILT-INS.

PROJECT DATA

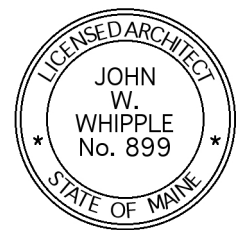
ZONING: R2
 FRONT YARD: 25 FT
 REAR YARD: 25 FT
 SIDE YARD: 14 FT
 REAR YARD FOR GARAGE: 5 FT

SITE AREA: .2296 ACRES
 BLDG USE: RESIDENTIAL
 OCC. GROUP: SINGLE FAMILY
 BUILDING STYLE: CAPE
 YEAR BUILT: 1958
 BLDG. CODE: SEE BELOW
 FIRE SPRINKLERS: NONE
 LIVE LOAD:
 LIVING AREAS = 40 PSF
 SLEEPING AREAS = 30 PSF
 UNINHABITABLE ATTICS = 20 PSF

SNOW LOADS:
 GROUND SNOW LOAD, $P_g = 60$ PSF
 SNOW EXPOSURE FACTOR, $C_e = 1.0$
 SNOW LOAD IMPORTANCE FACTOR, $C_t = 1.1$
 FLAT ROOF SNOW LOAD, $P_f = 46.2\text{psf} + \text{DRIFT}$

LIST OF DRAWINGS

- A0,0 TITLE SHEET
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 BASEMENT PLAN
- A1.4 ROOF FRAMING PLAN
- A2,1 NORTH ELEVATION
- A2,2 EAST ELEVATION
- A2,3 WEST ELEVATION
- A2,4 SOUTH ELEVATION
- A3.1 BUILDING SECTION



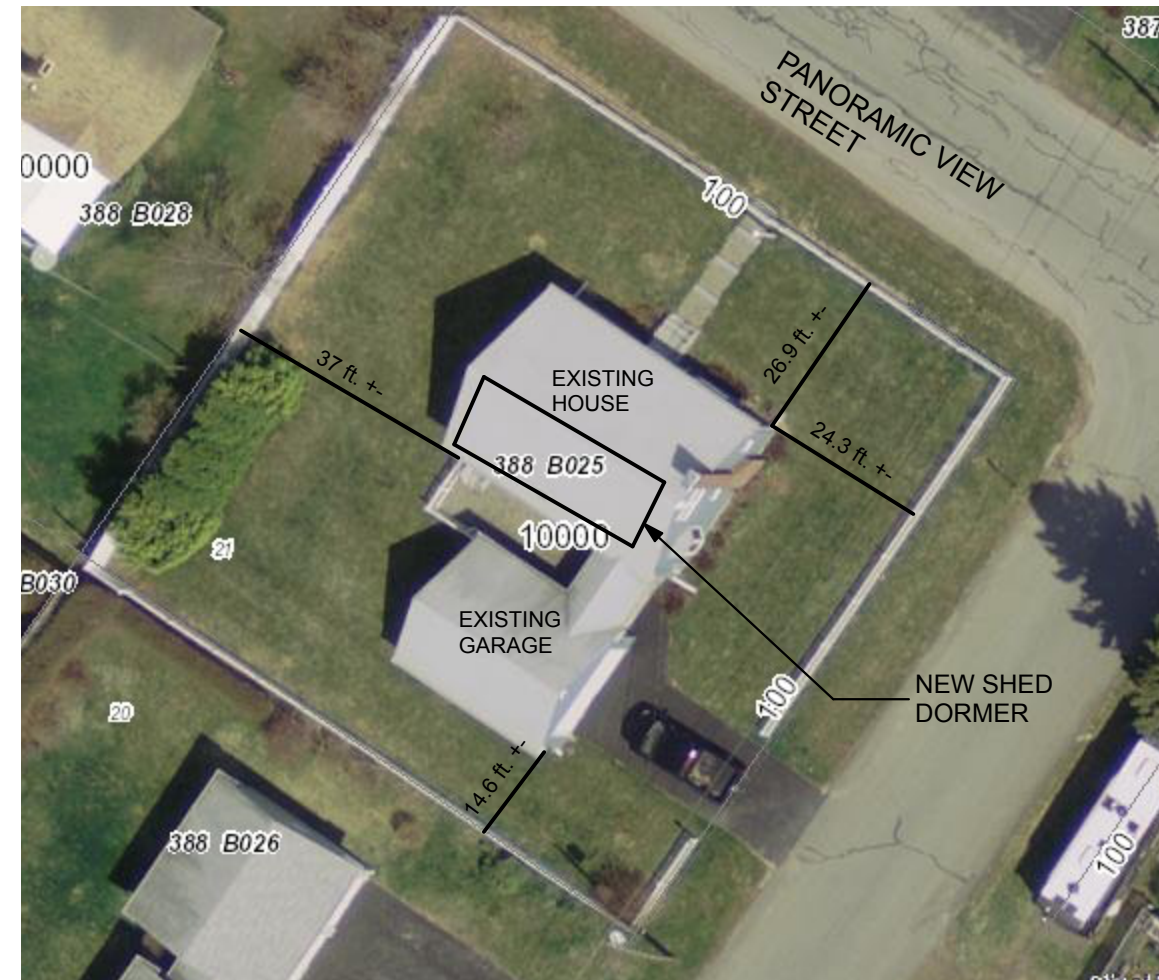
APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF MAINE AND LOCAL JURISDICTION.

IRC 2009
 MAINE STATE PLUMBING CODE
 PORTLAND ZONING ORDINANCE

THERMAL ENVELOPE REQUIREMENTS PER IRC 2009
 - FENESTRATION U-FACTOR 0.35
 - SKYLIGHT U-FACTOR 0.60
 - CEILING R-VALUE 49
 - WOOD FRAME WALL R-VALUE 20 OR 13+5
 - FLOOR R-VALUE 30 or insulation to fill cavity min R-19
 - BASEMENT WALL R-VALUE 10 continuous or 13 framing cavity
 - SLAB R-VALUE R-10 to 4 feet
 - CRAWL SPACE WALL R-VALUE 10 continuous or 13 framing cavity

SITE PLAN



MYER RESIDENCE
26 PANORAMIC VIEW PORTLAND ME,

WHIPPLE CALLENDER ARCHITECTS

136 PLEASANT AVE.
 PORTLAND, ME 04103
 P 207.775.2696
 F 207.775.3631
 www.whipplecallender.com

DATE: 9/19/16
 CHECKED BY: #Contact Full Name
 DRAWN BY: CLL
 JOB: #Pin
 SHEET TITLE: TITLE SHEET

A0.0

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF WHIPPLE | CALLENDER ARCHITECTS. IT SHALL NOT BE USED FOR ANY OTHER PURPOSE THAT FOR WHICH IT IS SPECIFICALLY FURNISHED.