

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED FEB 25 2002 CITY OF PORTLAND </div>		Permit No: 02-0096	Issue Date: FEB 25 2002	CBL: 388 A004001
Location of Construction: 377 Summit St	Owner Name: Mina John K	Owner Address: 377 Summit St	Phone: 207-772-5897	
Business Name: n/a	Contractor Name: 831-1819 Charles B. Messer Builders	Contractor Address: PO Box 1980 Portland	Phone: 2077725897	
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-3	

Past Use: Single Family	Proposed Use: Single Family / Add 28'10" x 30' garage, 23' x 24' addition for kitchen & bedroom and 19'8" x 20' breezeway.
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Permit Fee: \$583.00	Cost of Work: \$80,000.00	CEO District: 2
FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>N/A</i>	INSPECTION: Use Group: <i>BS</i> Type: <i>SB</i> <i>BOCA 1999</i> Signature: <i>T. M. ...</i>	

Proposed Project Description:
 Build New Additions

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: *N/A* Date:

Permit Taken By: gg	Date Applied For: 01/30/2002	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/22/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>2/22/02</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>2/22/02</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

0 2 0096

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

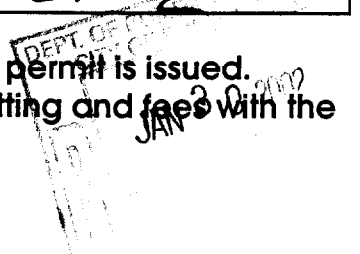
Location/Address of Construction: <u>377 Summit st.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>388</u> Block# <u>A</u> Lot# <u>004</u>	Owner: <u>John Mina</u>	Telephone: <u>772-5897</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Charles B. Messer Bldrs. P.O. Box 1980 Portland 04104</u>	Cost Of Work: \$ <u>80,000.00</u> Fee: \$ <u>583.00</u>
Current use: <u>Sngl. Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____ <u>garage 28.10' x 30'</u>		
Proposed use: <u>Same</u>		
Project description: <u>Addition for Kitchen + Bedroom - New Breecroom / 23' x 24' x 19.8' x 10' Drift</u>		
Contractor's name, address & telephone: <u>Charles B. Messer Bldrs. P.O. Box 1980 Portland, Me. 04104</u>		
Who should we contact when the permit is ready: <u>Owner / John Mina.</u>		
Mailing address: <u>377 Summit st. Portland. 04103 772-5897</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-5897</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Charles B. Messer</u>	Date: <u>1-29-02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



MORTGAGE LOAN INSPECTION PLAN

377 SUMMIT STREET
PORTLAND, MAINE

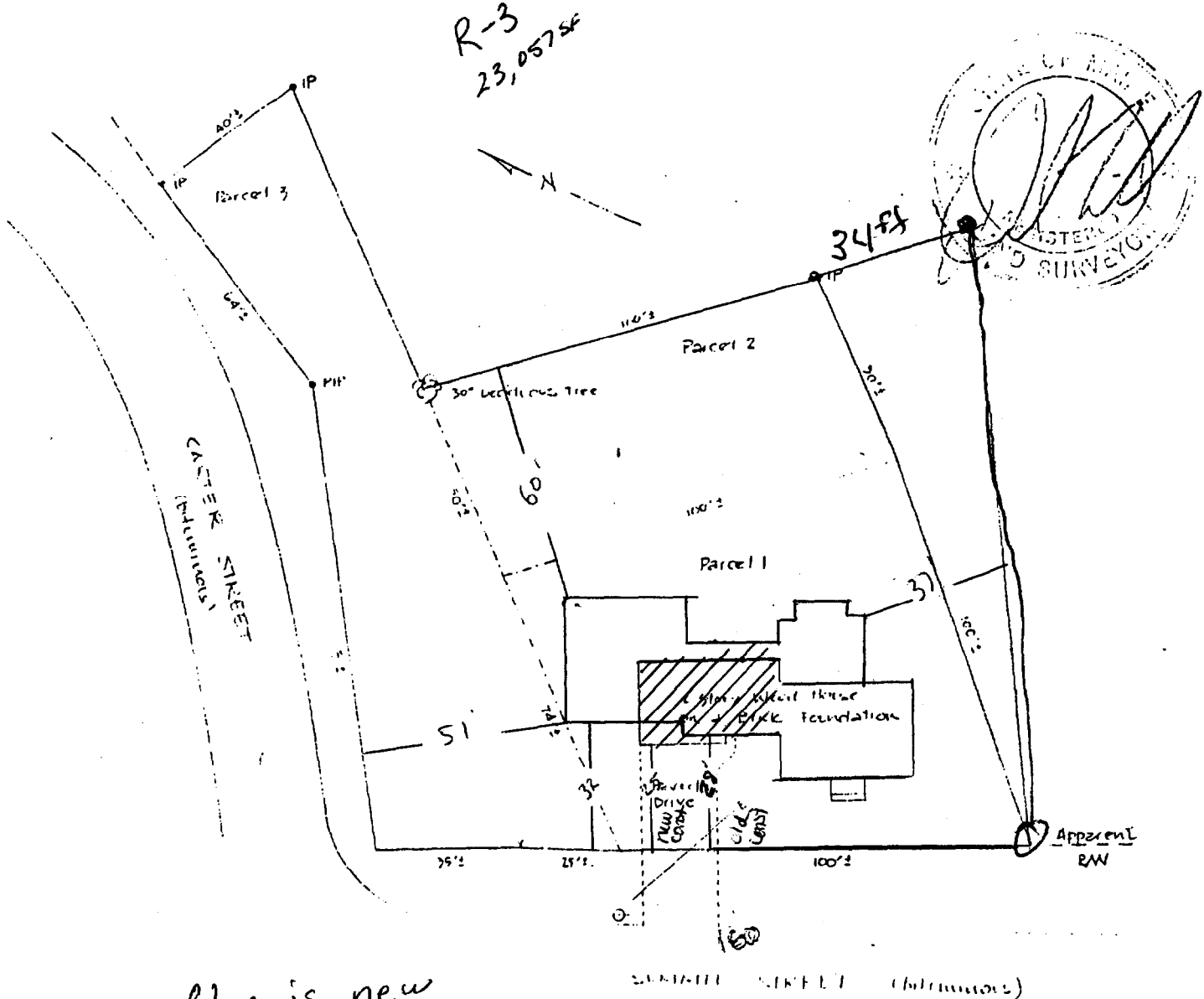
No. 673-15

TO THE LENDING INSTITUTION AND ITS TITLE INSURER — I hereby certify that the location of the dwelling shown on this plan did ~~and~~ conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

BOOK _____ PAGE _____ COUNTY Cumberland

Buyer: John K & Patricia L. Muna
Seller: Mary Lane

PLAN BOOK _____ PAGE _____ LOT _____



Blue is new
slash to be removed

Front 25'
Rear 25'
Sides 14' } OK

THIS IS NOT A BOUNDARY SURVEY. This plan is based strictly on information provided by others and does not take into consideration any conflicts which obutting descriptions may contain. This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

Date 5-21-91 Scale 1" = 40'

TITCOMB ASSOCIATES Falmouth, Maine

Drawn By CL

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

OK **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

OK **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

OK **Foundation Inspection:** Prior to placing ANY backfill

OK **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

OK **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

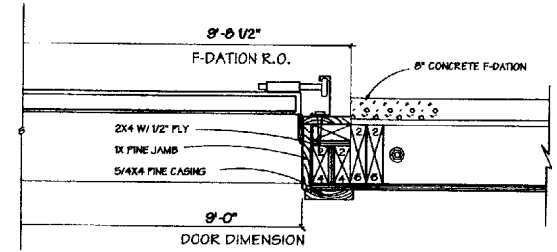
2/26/02
Date

[Signature]
Signature of Inspections Official

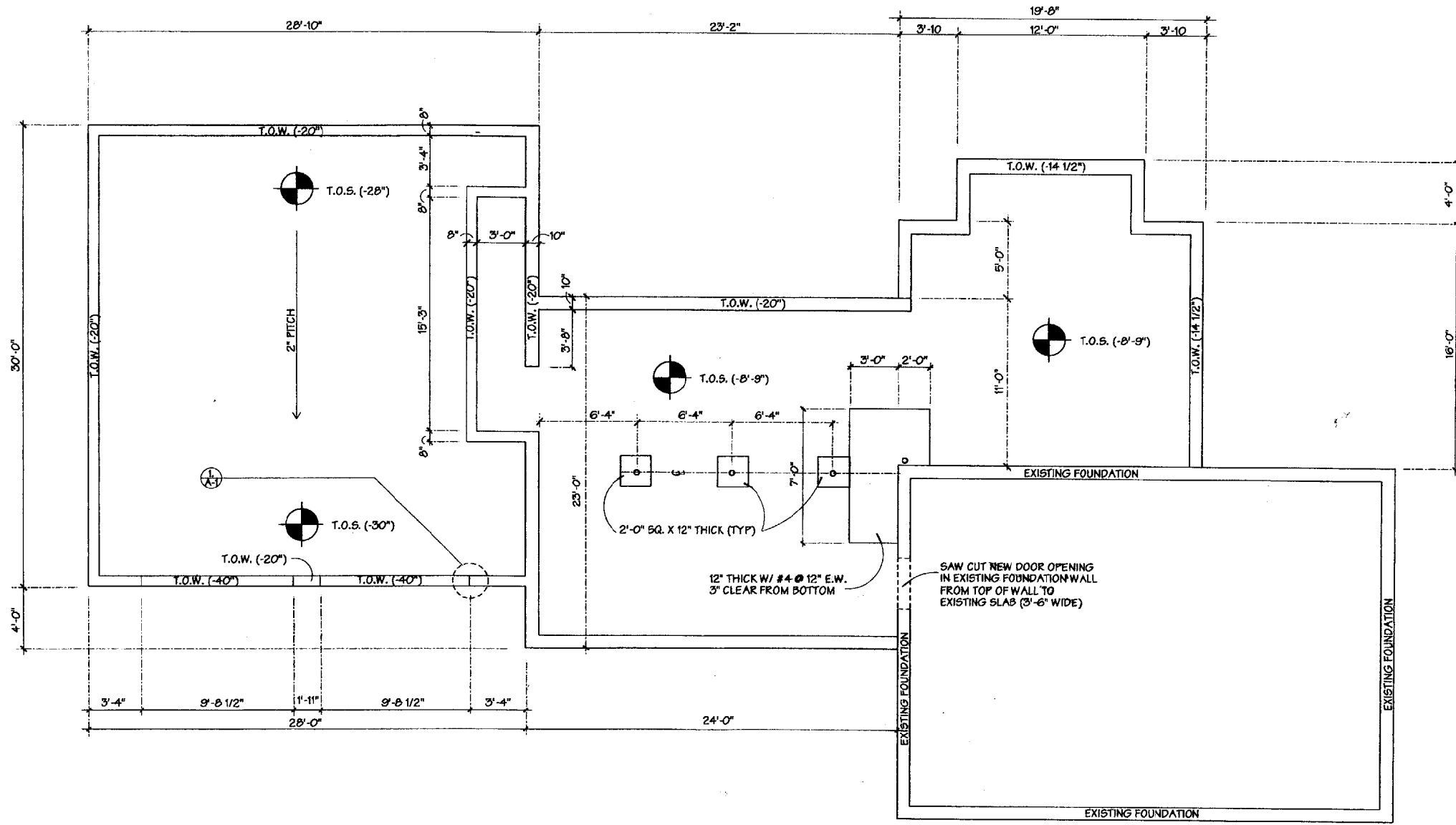
2/26/02
Date

CBL: 388 A004 Building Permit #: 02 0096

NOTE:
ALL DIMENSIONS ARE TO FACE OF WALL
CENTER OF WALL OR CENTER OF OPENING.



1. DETAIL @ GARGAGE DOOR OPENING/FOUNDATION
SCALE: 1 1/2" = 1'-0"



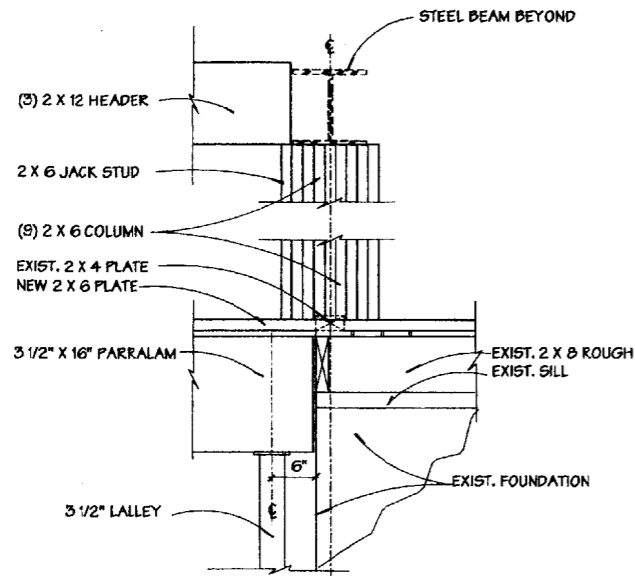
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION DRAWINGS
MINA ADDITION/RESIDENCE
PORTLAND, ME

ARCHITECT
P. O. BOX 708 SOUTH FREEPORT, ME 04078
PHONE: 865-4842 FAX 865-9222

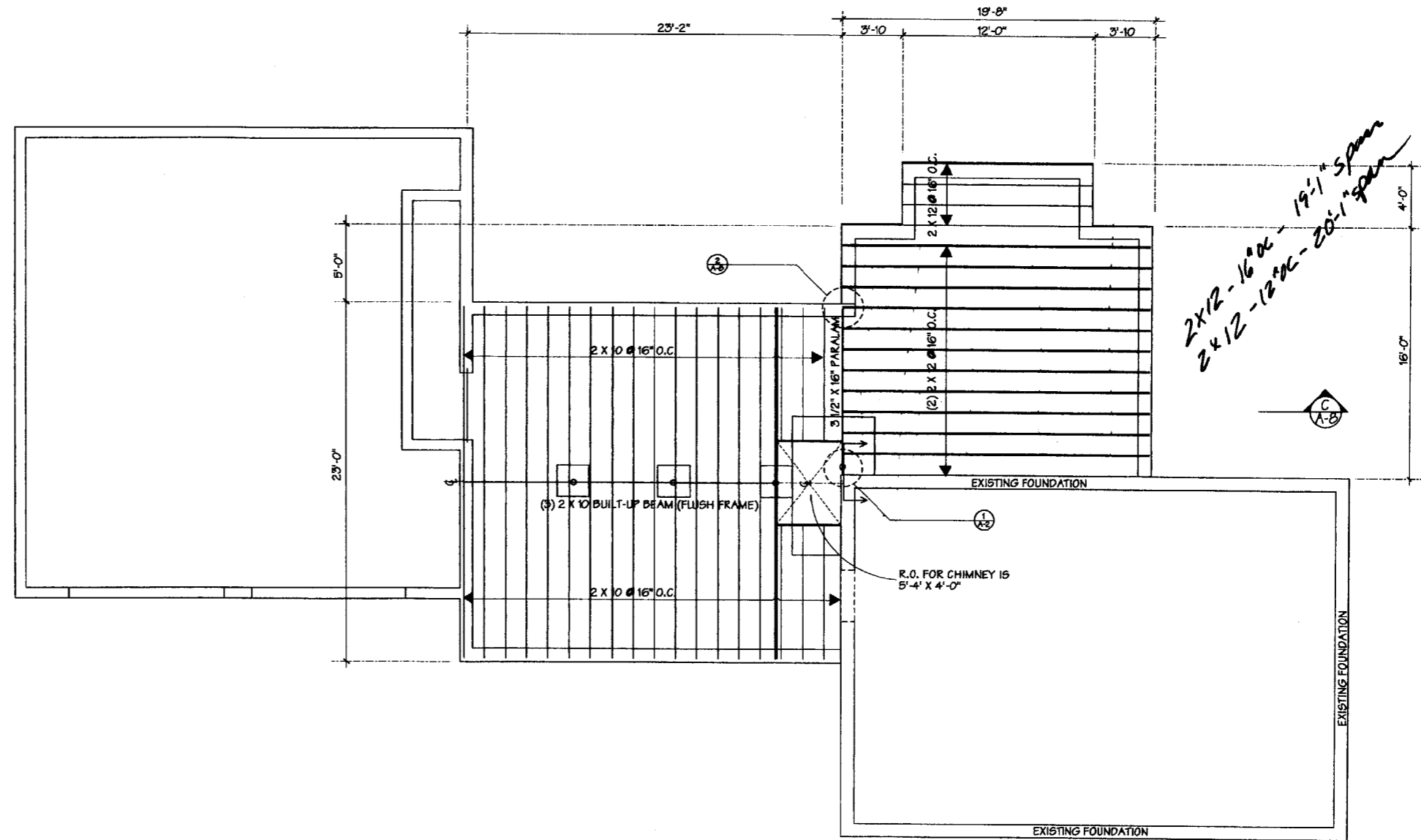
REVISIONS:
DATE: AUGUST 10, 2001
DESIGN BY: SWC
CHECKED BY: SWC
SCALE: AS SHOWN - 0"
SHEET TITLE: FOUNDATION PLAN DETAIL @ GARGAGE
SHEET:



SECTION DETAIL @
PARRALAM/EXIST. FOUNDATION

SCALE: 1" = 1'-0"

NOTE:
ALL DIMENSIONS ARE TO FACE OF FRAMING,
CENTER OF WALL OR CENTER OF OPENING.



FIRST FLOOR FRAMING PLAN

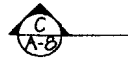
SCALE: 1/4" = 1'-0"

CONSTRUCTION DRAWINGS
MINA ADDITION/RESIDENCE
PORTLAND, ME

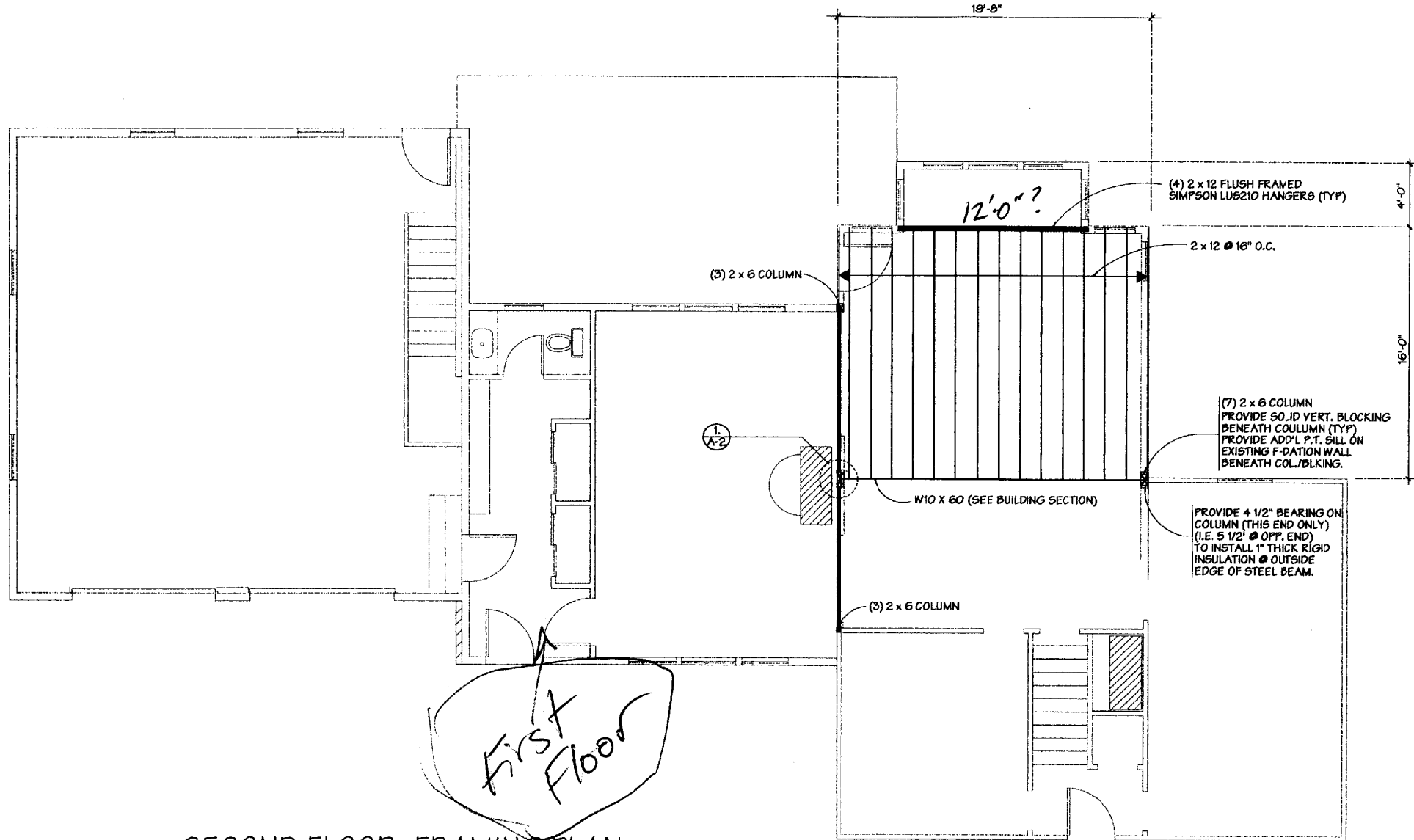
A R C H I T E C T
P. O. BOX 708 SOUTH FREEPORT, ME 04078
PHONE: 865-4842 FAX 865-9222

REVISIONS:
DATE: AUGUST 10, 2001
DRAWN BY: SHC
CHECKED BY: SHC
SCALE: AS NOTED
SHEET TITLE:
FIRST FLOOR
FRAMING PLAN
DETAIL @ PARRALAM/
STEEL BEAM COLUMN

SHEET:
A-2



ALL DIMMENSIONS ARE TO FACE OF FRAMING,
CENTER OF WALL OR CENTER OF OPENING.



First Floor

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



A R C H I T E C T

CONSTRUCTION DRAWINGS
MINA ADDITION/RESIDENCE
PORTLAND, ME

P. O. BOX 708 SOUTH FREEPORT, ME 04078
PHONE: 865-4842 FAX 865-9222

REVISIONS:

DATE: AUGUST 10, 2001

DRAWN BY: GND

CHECKED BY: GND

SCALE: 1/4" = 1'-0"

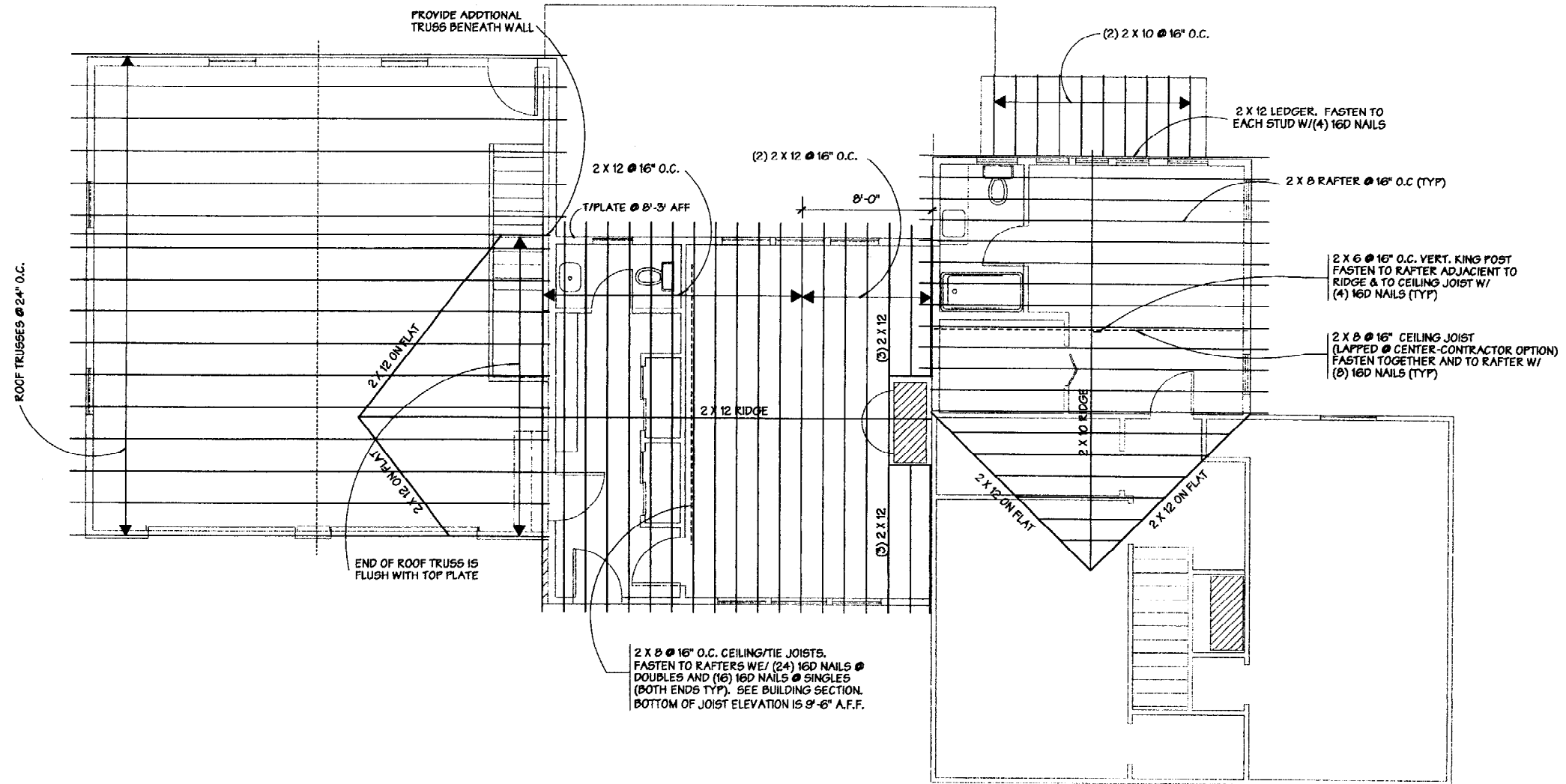
SHEET TITLE:
SECOND FLOOR
FRAMING PLAN

SHEET:

A-3

NOTE:
 ALL DIMENSIONS ARE TO FACE OF FRAMING,
 CENTER OF WALL OR CENTER OF OPENING.

TRUSS LOADING:
 TCLL = 42 PSF
 TCDL = 10 PSF
 BCCL = 10 PSF
 BCDL = 10 PSF



ROOF FRAMING PLAN

A R C H I T E C H
 P. O. BOX 708 SOUTH FREEPORT, ME 04078
 PHONE: 866-4842 FAX 866-9222

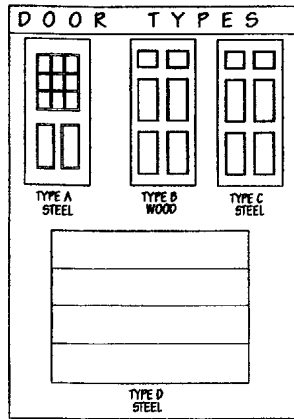
CONSTRUCTION DRAWINGS
 MINA ADDITION/RESIDENCE
 PORTLAND, ME

REVISIONS:

DATE: AUGUST 10, 2001
DRAWN BY: SMO
CHECKED BY: SMO
SCALE: 1/4" = 1'-0"
SHEET TITLE:
 ROOF FRAMING PLAN

REVISION:

A-4



DOOR SCHEDULE

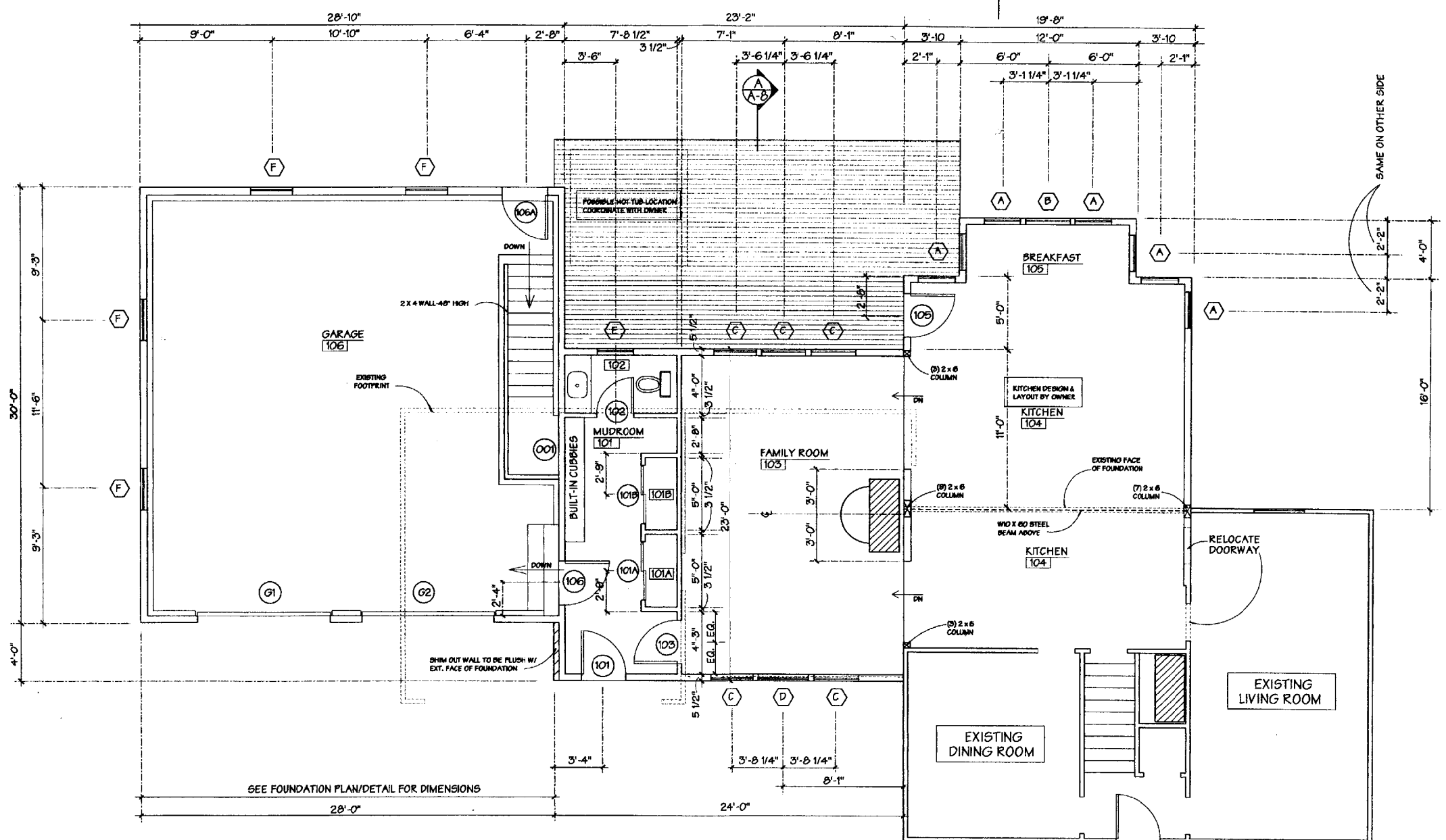
SYMBOL	TYPE	QNTY	UNIT NUMBER	SIZE	SWING	R.O. (W X H)	FROM	TO	HARDWARE	NOTES
001	C	1	Therma Tru CS-210	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Garage	Basement	No Case/Plymouth/Security/Brace **	Insulated/Aluminum Threshold
101	A	1	Therma Tru PS-262G	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Outside	Mudroom	Flat Case/Plymouth/Security/Brace **	Insulated/Aluminum Threshold
101A	B	2	Morgan M-1053	2/0 X 6/6	BY-PASS	4'-1" X 6'-10 1/2"	Mudroom	Closet	Stanley By-Pass Track/1" Dia. Pull	No Threshold
101B	B	2	Morgan M-1053	2/0 X 6/6	BY-PASS	4'-1" X 6'-10 1/2"	Mudroom	Closet	Stanley By-Pass Track/1" Dia. Pull	No Threshold
102	D	1	Morgan M-1053	2/6 X 6/6	RH	2'-6 1/2" X 6'-10 1/2"	Mudroom	Half Bath	Solid Jamb/No Case/Plymouth Privacy/Brace	No Threshold
103	B	1	Morgan M-1053	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Mudroom	Family	Solid Jamb/No Case/Plymouth Passage/Brace	No Threshold
104	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
105	A	1	Therma Tru PS-262G	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Breakfast	Deck	Flat Case/Plymouth/Security/Brace **	Insulated/Aluminum Threshold
106	C	1	Therma Tru CS-210	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Mudroom	Garage	Flat Case/Plymouth/Security/Brace **	Oak Threshold
106A	A	1	Therma Tru PS-262G	3/0 X 6/6	LH	3'-2 1/2" X 6'-10 1/2"	Garage	Outside	Flat Case/Plymouth/Security/Brace **	No Threshold
201	B	1	Morgan M-1053	2/6 X 6/6	RH	2'-10 1/2" X 6'-10 1/2"	Hallway	Master Bed	Solid Jamb/No Case/Plymouth Privacy/Brace	No Threshold
202	B	2	Morgan M-1053	1'-3 3/4" X 6/6	BI-FOLD	2'-7 3/4" X 6'-10	Bedroom	Walk-in Closet	With Track & Brass Knob	No Threshold
203	B	1	Morgan M-1053	2/6 X 6/6	RH	2'-6 1/2" X 6'-10 1/2"	Master Bed	Bath	Solid Jamb/No Case/Plymouth Privacy/Brace	No Threshold
G1	D	1	see note	8/0 X 7/0	Overhead	8'-1 1/2" X 7'-0"	Outside	Garage	Separate Remote Operators	Owner's Choice
G2	D	1	see note	8/0 X 7/0	Overhead	8'-1 1/2" X 7'-0"	Outside	Garage	Separate Remote Operators	Owner's Choice

** Slage Layd Alks

WINDOW SCHEDULE

ROOM	ROOM #SYMBOL	QNTY	MANUFACTURERS UNIT #	R.O. (W X H)	HEADERS	GLAZING	NOTES
Mudroom	101 NA	1	NA	NA	NA	NA	NA
Half Bath	102 E	1	PELLA -CDH2869	2'-5 3/4" x 4'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Family	103 C	5	PELLA -CDH3759	3'-1 3/4" x 4'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Kitchen	104 NA	1	PELLA -CDH4159	3'-5 3/4" x 4'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Breakfast	105 A	5	PELLA -D6CC2959	2'-5 3/4" x 4'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Garage	106 B	1	PELLA -D6CC3659	2'-11 3/4" x 4'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Master Bedroom	201 G	3	PELLA -D6CC2347	1'-11 3/4" x 3'-11 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Walk-in Closet	202 NA	4	PELLA -D6CC2941	2'-5 3/4" x 3'-5 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille
Master Bathroom	203 H	1	PELLA -D6CC2941	2'-5 3/4" x 3'-5 3/4"	(3) 2 X 6	DGF-Low-E	Standard Grille

ALL UNITS ARE WHITE W/SCREENS ON ALL OPERABLE UNITS



FIRST FLOOR PLAN

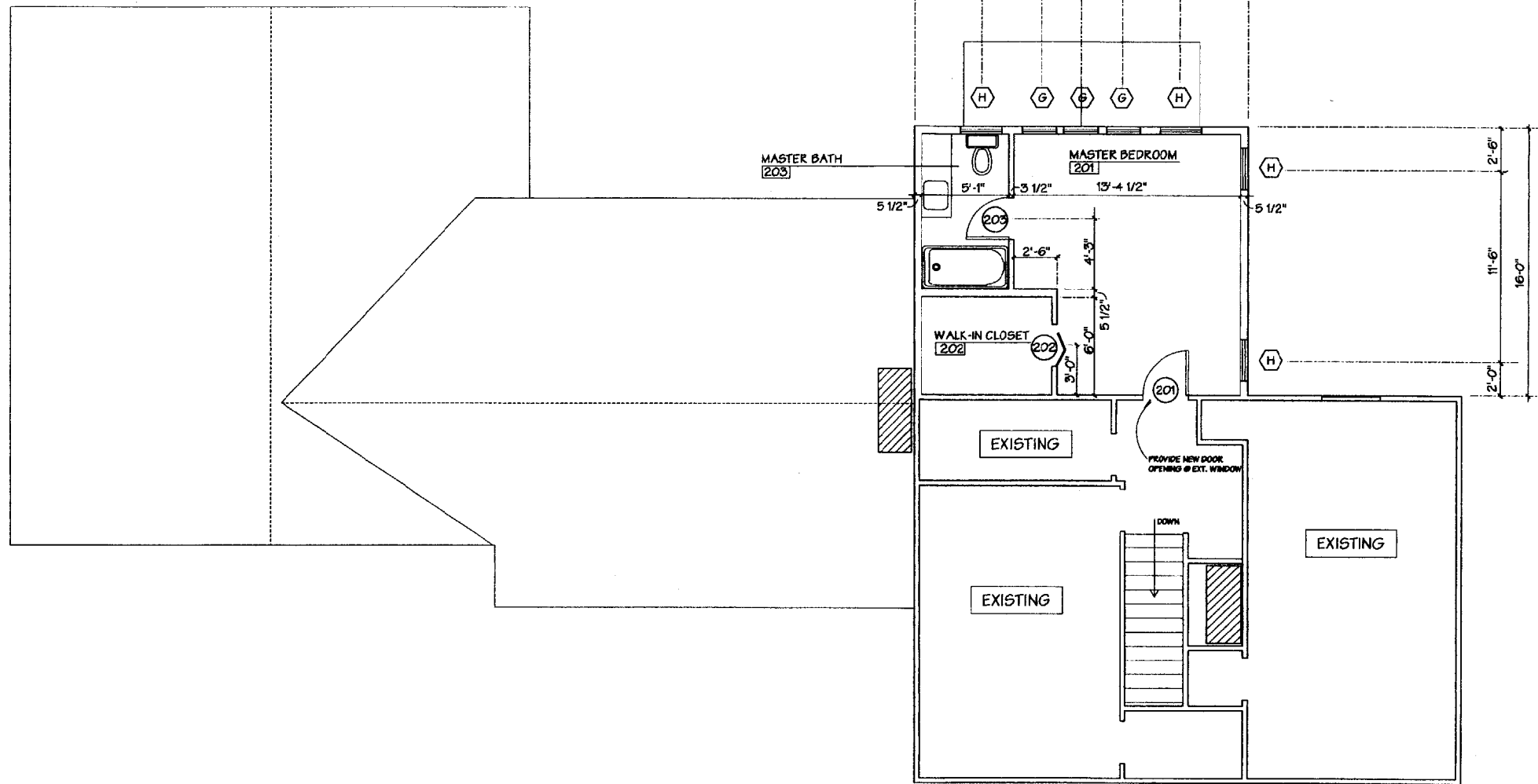
SCALE: 1/4" = 1'-0"

ARCHITECT
 P. O. BOX 708 SOUTH FREEPORT, ME 04078
 PHONE: 865-4842 FAX 865-9222

CONSTRUCTION DRAWINGS
 MINA ADDITION/RESIDENCE
 PORTLAND, ME

REVISIONS:
 DATE: AUGUST 10, 2001
 DRAWN BY: BMD
 CHECKED BY: BMD
 SCALE: 1/4" = 1'-0"
 SHEET TITLE:
 FIRST FLOOR PLAN
 DOOR TYPES
 DOOR SCHEDULE
 WINDOW SCHEDULE

SHEET: A-5



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

A R C H I T E C T

CONSTRUCTION DRAWINGS
MINA ADDITION/RESIDENCE
PORTLAND, ME

REVISIONS:

DATE: AUGUST 10, 2001

DRAWN BY: SWD

CHECKED BY: SWD

SCALE: 1/4" = 1'-0"

SHEET TITLE:

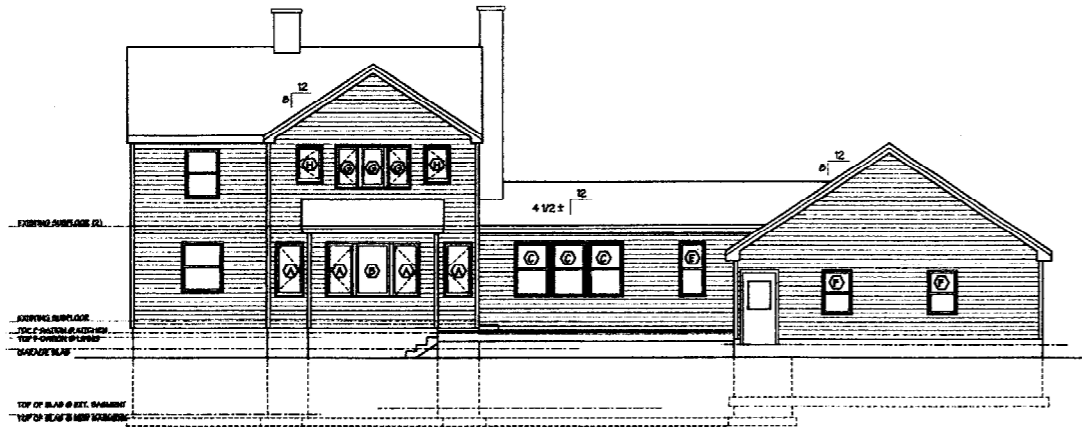
SECOND FLOOR PLAN

NO.:

A-6

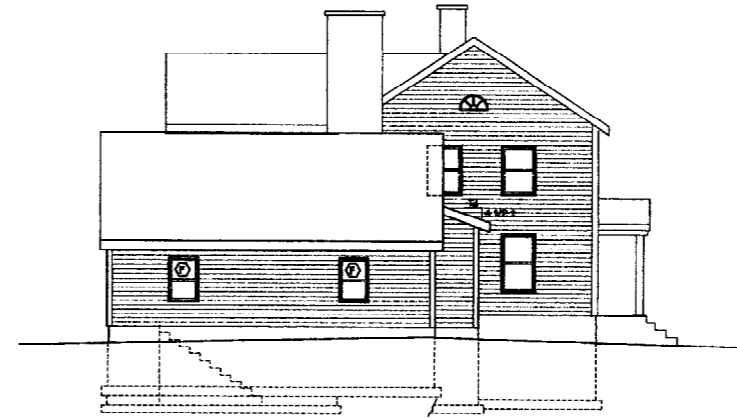
P. O. BOX 708 SOUTH FREEPORT, ME 04078
PHONE: 865-4842 FAX 865-9222

NOTE:
 CONTRACTOR SHALL COORDINATE EXTERIOR TRIM &
 SIDING DETAILS WITH OWNER.



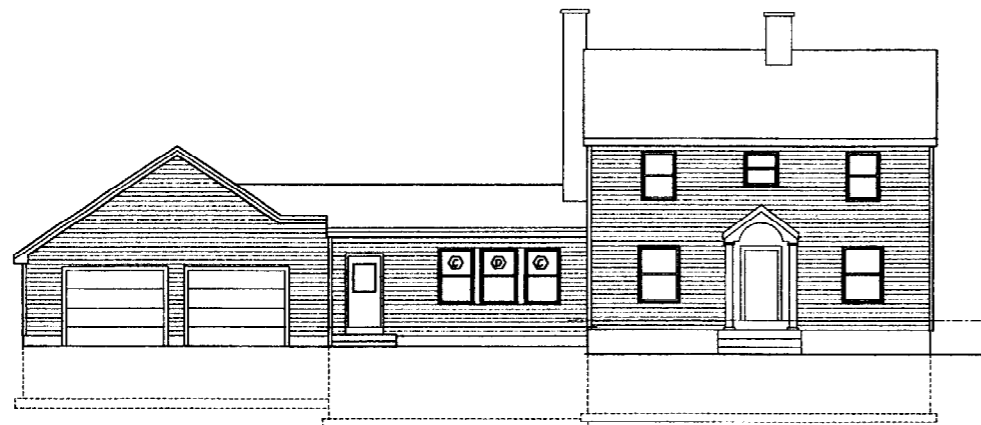
REAR ELEVATION

SCALE: 1/8" = 1'-0"



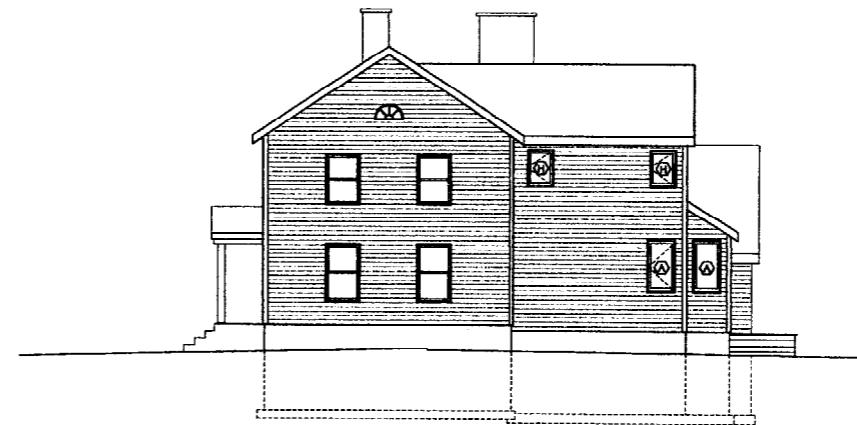
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"

A R C H I T E C T H

CONSTRUCTION DRAWINGS
 MINA ADDITION/RESIDENCE
 PORTLAND, ME

REVISIONS:

DATE: MARCH 10, 2001

DRAWN BY: SHD

CHECKED BY: SHD

SCALE: 1/8" = 1'-0"

SHEET TITLE:
 ELEVATIONS

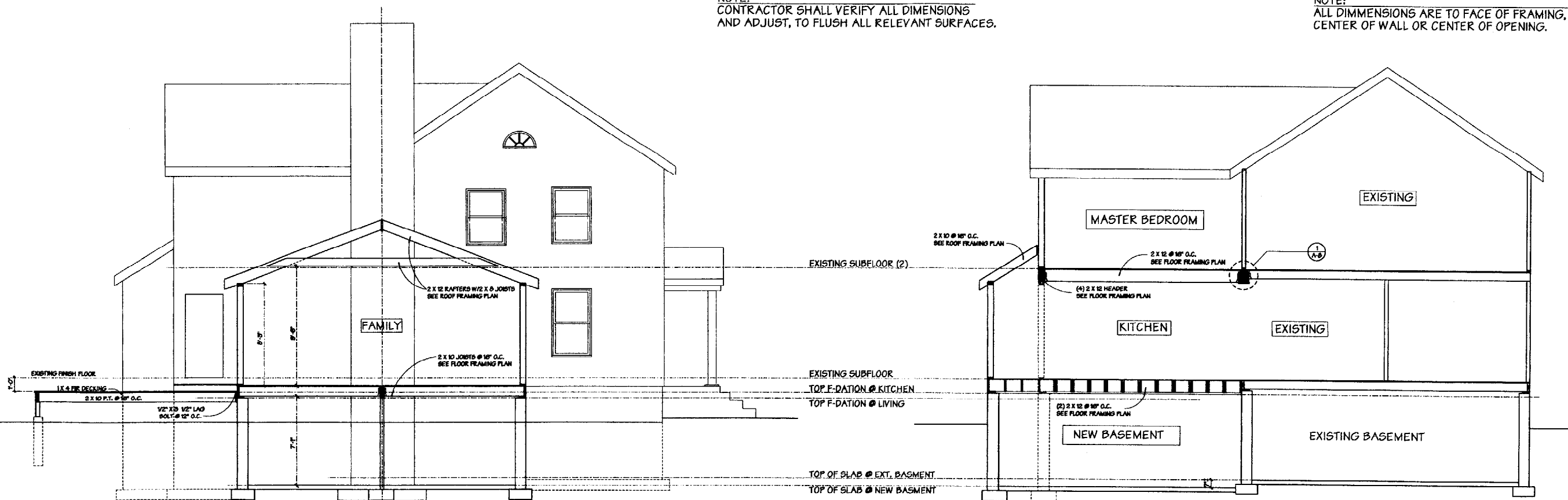
SHEET:

A-7

P. O. BOX 708 SOUTH FREEPORT, ME 04078
 PHONE: 865-4842 FAX 865-9222

NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND ADJUST, TO FLUSH ALL RELEVANT SURFACES.

NOTE:
ALL DIMENSIONS ARE TO FACE OF FRAMING,
CENTER OF WALL OR CENTER OF OPENING.

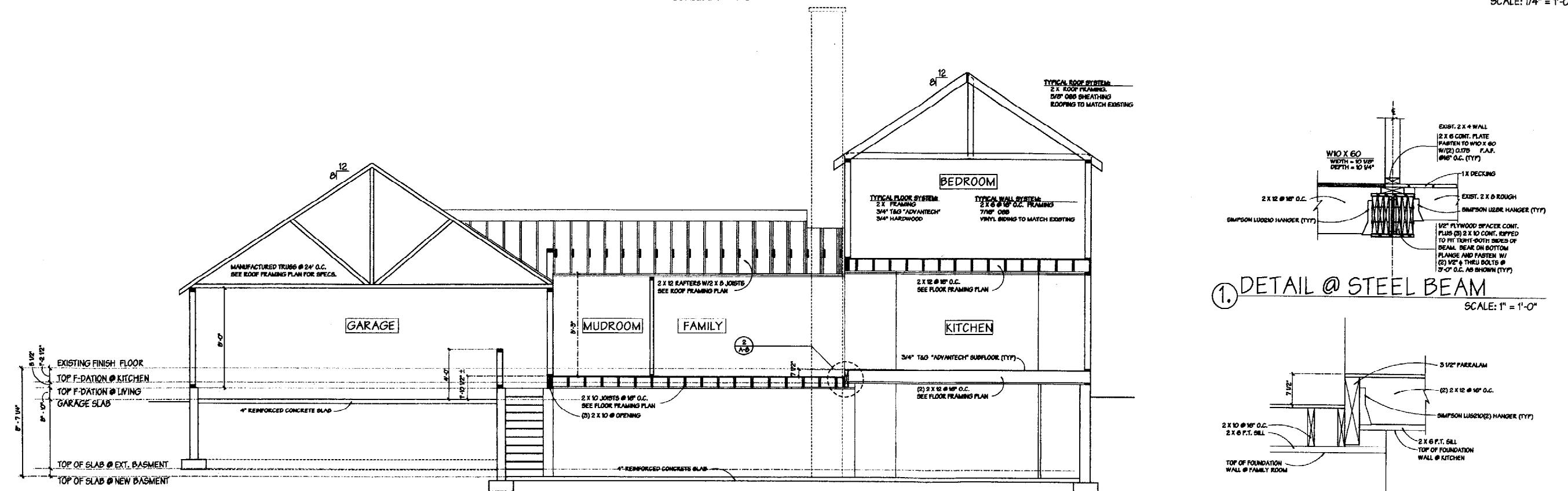


SECTION AA @ LIVING ROOM

SECTION BB @ KITCHEN/MASTER BEDROOM

SCALE: 1/4" = 1'-0"

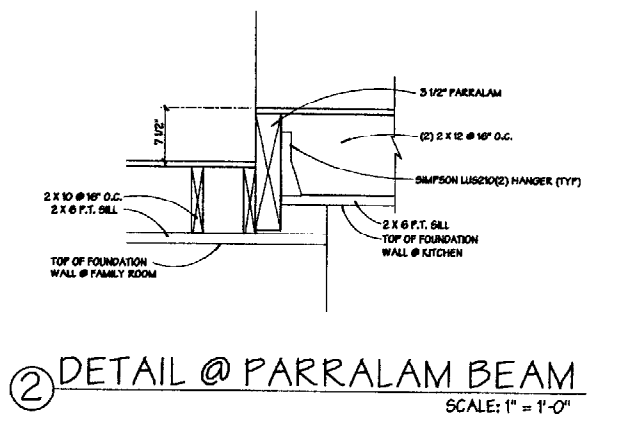
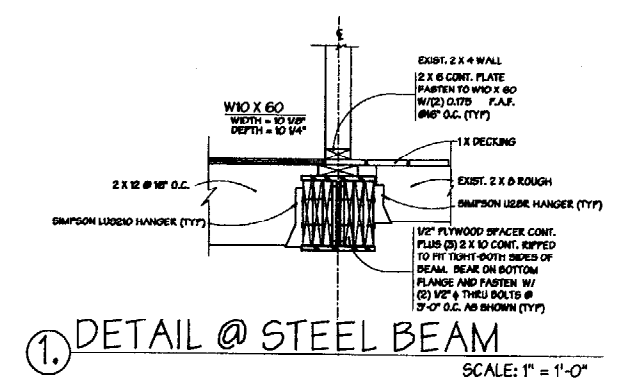
SCALE: 1/4" = 1'-0"



SECTION CC - LONGITUDINAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

SCALE: 1" = 1'-0"



A R C H I T E C T
 P. O. BOX 708 SOUTH FREEPORT, ME 04078
 PHONE: 865-4842 FAX 865-9222
 CONSTRUCTION DRAWINGS
 MINA ADDITION/RESIDENCE
 PORTLAND, ME

REVISIONS:

DATE:	AUGUST 10, 2001
DRAWN BY:	SHD
CHECKED BY:	SHD
SCALE:	AS SHOWN - 0"
SHEET TITLE:	BUILDING SECTIONS & DETAILS
SHEET:	