

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <i>11 Alice St (Lot #2)</i>		Owner: <i>Lloyd B. Wolf</i>		Phone:		Permit No: 960492	
Owner Address: <i>Lance/Michael Pecteau 5078</i>		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: <i>Pecteau's Remodeling, Inc.</i>		Address: <i>P.O. Box 1216 Westbrook, ME 04098</i>		Phone: <i>854-5017</i>		Permit Issued: JUN - 4 1996	
Past Use: <i>Vacant land</i>		Proposed Use: <i>1-fam</i>		COST OF WORK: <i>\$ 75,000.00</i>		PERMIT FEE: <i>\$ 395.00</i>	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group <i>53</i> Signature: <i>[Signature]</i>	
Proposed Project Description: <i>Construct 1-fam dwelling</i>		Signature:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zone: CBL <i>387-A-032</i>	
Permit Taken By: <i>Mary Grosik</i>		Date Applied For: <i>21 May 1996</i>		Signature:		Date:	

PERMIT ISSUED
JUN - 4 1996
CITY OF PORTLAND

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

29 May 1996 - Permit Routed
22 May 1996

SIGNATURE OF APPLICANT *Dennis Pecteau* ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Action: *[Signature]*

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT **7**
M.M. Jordan

Applicant: Fecteau's

Date: 30/MAY/95

Address: 11 Alice ST (Lot #2)

Assessors No.: 387-A-032

CHECK LIST AGAINST ZONING ORDINANCE

Date - 30/MAY/96

Zone Location - R-2

Interior ~~or corner~~ lot -

Use - Single Family

Sewage Disposal - public

Rear Yards - 25' req. Shown 35'

Side Yards - Garage 1 1/2 story 12' req, 16' shown 2 story house 14' req, 26' shown

Front Yards - 25' req Shown 35'

Projections - Fire place -

Height - 2 story main house 1 1/2 garage -

Lot Area - 12,582

Building Area - 3,160

Area per Family - 1

Width of Lot - 110.1'

Lot Frontage - 110'

Off-street Parking -

Loading Bays - NA

Site Plan - MM

Foreland Zoning - N/A

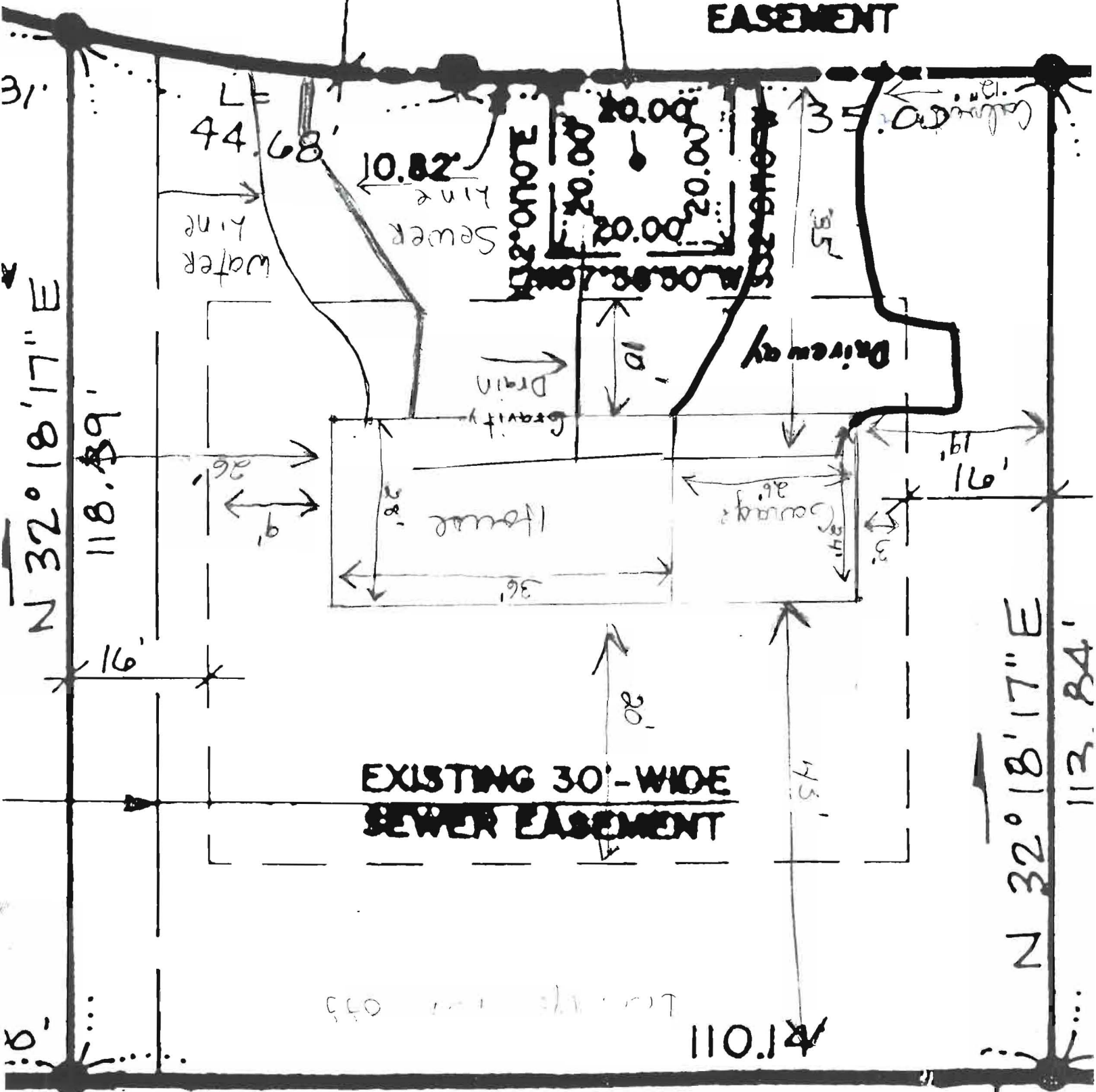
Flood Plains -

N/A

EASEMENT

170.00'

CITY OF PORTLAND
20' x 20'
DRAINAGE
EASEMENT



41' 43" W 435.66'

110.14

N 32° 18' 17" E

113.84'

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 3, 1996

Fecteau's Remodeling, Inc.
P. O. Box 1216
Westbrook, Maine 04098

RE: 11 Alice Street
Lot #2

Dear Sir,

Your application to construct a single family dwelling with garage has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

Site Plan Review Requirements

Code Enforcement - Approved - P. S. Hoffses

Development Review Coordinator - a) please see attached standard condition checklist
b) please see attached conditions letter from the DRC regarding special concerns to be addressed prior to a certificate of occupancy being issued.

Building Code Requirements

1. Please read and implement items 1, 7, 9, 10, 11, 13, 14, 15 and 16 of the attached Building Permit Report.
2. Waterproofing and damp proofing shall be done in accordance with Chapter 18, Section 1813.0 of the City's Building Code (The BOCA National Building Code/1993)

If you have any questions regarding these requirements, please do not hesitate to contact this office

Sincerely,

P. Samuel Hoffses
Chief, Code Enforcement Division

cc: M. Schmuckal, Asst. C, Code Enf Div
J. Seymour, DRC

BUILDING PERMIT REPORT

DATE: 30/may/196 ADDRESS: 11 ALICE ST (LOT#2)
 REASON FOR PERMIT: To Construct a single Family dwelling garage
 BUILDING OWNER: Lloyd B. Wolf
 CONTRACTOR: Fecteau's Remodeling Inc. APPROVED: *1 *7 *9 *10 *11
 PERMIT APPLICANT: " " " " DENIED: *13 *14 *15 *16

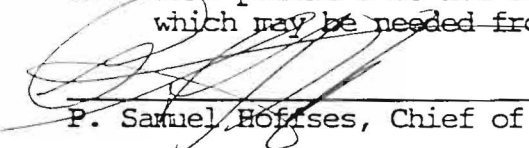
CONDITION OF APPROVAL OR DENIAL

- *1. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
- *7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- *9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms.
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

- *10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- *11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. ~~All other Use Group minimum 11" tread, 7" maximum rise.~~
- *14. Headroom in habitable space is a minimum of 7'6".
- *15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- *16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: FECTEAU'S REMODELING, INC.
ADDRESS: P.O. BOX 1216 WESTBROOK, ME 04098
SITE ADDRESS/LOCATION: 11 ALICE ST. (LOT #2)
DATE: 5/28/96

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. OR LEAVE 2 EXISTING TREES.
3. Your new street address is now 11 ALICE ST, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. A sewer permit is required for your project. Please contact Carol Poliskey at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

7. _____ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300 , ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. _____ The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. Please See attached Letter
regarding special conditions

cc: Katherine Staples, P.E., City Engineer



CITY OF PORTLAND

May 28, 1996

Fecteau's Remodeling Inc.
P.O. Box 1216
Westbrook, ME 04098

RE: Lot 2 - Alice Street (Special Conditions)

Dear Mr. Fecteau:

I have reviewed your building permit application for a single family lot located on Alice Street, Portland, ME. After reviewing your submitted plan I foresee several items which need to be specifically addressed but may be dealt with at the time of construction. As part of the building permit application I will be requesting updated plans indicating my concerns. No Certificate of Occupancy will be issued until a plan has been submitted to and approved by the Development Review Coordinator (DRC). If a condition cannot be shown on a plan then it must be approved by the DRC in the field prior to construction. The conditions are as follows:

- A. The driveway culvert shall be located on the applicants lot and not within the City's right-of-way. The outlet invert shall be a minimum of 6" higher than the rim elevation of the field inlet catchbasin. Both ends of the culvert shall be lined with angular riprap stone (dso=6")..
- B. A swale shall be constructed along the property line abutting Lot 1. The swale shall be an average 3-4 ft. wide with a minimal depth of 18". The swale shall be installed with erosion control mesh, loamed, and seeded immediately upon completion.
- C. Hay bales shall be staked across the swale along the property line between lot 1 and lot 2 across the inlet end of the proposed culvert, and around the perimeter of the field inlet catchbasin until grass has revegetated 80% of the disturbed area.
- D. The foundation top of wall elevation shall be constructed such that the rear side shall be 24" higher than existing grade and the front side shall be a minimum of 36" higher than existing grade. Grading around the foundation shall be done to provide positive drainage away from the foundation. Building openings (bulkheads, windows) shall not be less than 6" from the bottom opening to the proposed final lawn grade.

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Failure to adhere to these conditions or items listed on the standard conditions checklist could result in costly additional construction requirements and failure to obtain your Certificate of Occupancy. Please notify the DRC and the Building Inspection Department of any and all changes made in the field. Also please submit all plans or paperwork necessary to address these document conditions. Please call me at the Planning Office if you have any concerns or questions.

Sincerely,

Handwritten signature of James Seymour in cursive script. The signature is written in black ink and includes the initials 'KT' circled in a small circle at the end of the name.

James Seymour
Acting Development Review Coordinator

cc: Samuel P. Hoffses, Chief of Building Inspections
Kathi Staples, City Engineer



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Fecteau's Remodeling, Inc.
P.O. Box 1216 Westbrook, ME 04098

22 May 1996
Application Date

Applicant's Mailing Address
Dennis - 854-5017

Alice Woods
Project Name/Description

Consultant/Agent _____

Alice St (lot #2)
Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax _____

387-A-032
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____
1,632 GFC ~~XXXXX~~ Total 3,160.00 12,582 Sq Ft
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer: [Signature]

- Approved Approved w/Conditions listed below Denied

1. _____
2. _____
3. _____
4. _____

Approval Date _____ Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: Alice Woods (Lot #2)



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Fecteau's Remodeling, Inc.
P.O. Box 1216 Westbrook, ME 04098

22 May 1996
Application Date

Applicant's Mailing Address
Dennis - 854-5017

Alice Woods
Project Name/Description

Consultant/Agent _____

11 Alice St (lot #2)
Address of Proposed Site

387-A-032

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

1,632 GFC XXXXX Total 3,160.00

12,582 Sq Ft

Proposed Building Square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer James Seymour

- Approved Approved w/Conditions listed below Denied

- Please see attach Standard Conditions Checklist
- Please see attached Conditions Letter from the DRC.
- regarding special concerns to be addressed prior
- to any issuance of occupancy.

Approval Date 5/28/96 Approval Expiration 6/97 Extension to _____ date _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|-------------------------------|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

Address: Alice Woods (lot #2)



773-6068

CITY OF PORTLAND

August 20, 1996

Dr. Lloyd Wolf
Diversified Properties
P.O. Box 10127
Portland, ME 04104

RE: Alice Street Subdivision

Dear Dr. Wolf:

This letter is to confirm that the Portland Planning Authority approved a reconfiguration of four lots involving the Alice Street Subdivision. The approved revision reconfigures lots 7, 8, 9 and 10 resulting in a net reduction of one lot. The approval is subject to the following conditions:

- (1) That the elevation of catchbasin #1 (by lot #2) be raised to an elevation acceptable to Public Works.
- (2) That a culvert be installed under the driveway of lot #2.

If you have any questions regarding the revision please contact the Planning Staff at 874-8300 ext. 8725.

Sincerely,

A handwritten signature in dark ink, appearing to read "Joseph E. Gray, Jr.", written over a printed name and title.

Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Richard Knowland, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Jeff Tarling, City Arborist
Lt. Gaylen McDougall, Fire Prevention
Kathi Staples, City Engineer
Tony Lombardo, Project Engineer
Natalie Burns, Associate Corporation Counsel
Mary Gresik, Building Permit Secretary
James Seymour, Acting Development Review Coordinator
Kathleen Brown, Assistant Director of Economic Development
Approval Letter File
Dave Kamila, Land Use Consultants, 966 Riverside Street, Portland, ME 04103

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PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation	PORTLAND
Street Subdivision Lot #	11 ALICE ST.

PROPERTY OWNERS NAME

Last: WOLF	First: Lloyd
Applicant Name:	LARRY CAMPBELL
Mailing Address of Owner/Applicant (If Different)	RR #1 Box 321 W. Buxton, ME 04093

PORTLAND PERMIT # 5814 STATE COPY

Date Permit Issued: 7, 24, 96 \$ 68 # Double Fee Charged

294 Local Plumbing Inspector Signature L.P.I. # 0124

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Larry Campbell
Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

<p>This Application is for</p> <p>1. <input checked="" type="checkbox"/> NEW PLUMBING</p> <p>2. <input type="checkbox"/> RELOCATED PLUMBING</p>	<p>Type Of Structure To Be Served:</p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER — SPECIFY _____</p>	<p>Plumbing To Be Installed By:</p> <p>1. <input checked="" type="checkbox"/> MASTER PLUMBER</p> <p>2. <input type="checkbox"/> OIL BURNERMAN</p> <p>3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC</p> <p>4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE</p> <p>5. <input type="checkbox"/> PROPERTY OWNER</p> <p>LICENSE # 12522</p>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
OR		Urinal	1	Sink
		Drinking Fountain	5	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	3	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
OR		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
TRANSFER FEE [\$6.00]		Other: _____	1	Water Heater
		Fixtures (Subtotal) Column 2	15	Fixtures (Subtotal) Column 1
		2	Fixtures (Subtotal) Column 2	
		17	Total Fixtures	
		\$	Fixture Fee	
		\$	Transfer Fee	
		\$	Hook-Up & Relocation Fee	
		\$ 68	Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

COMMENTS

6-24-96 - found Eps poured / Forms up notification / spoke to sub-tractor

6-25-96 - set backs appear OK

6-26-96 - forms stripped / OK per plans

6-28-96 Ext Down Files in / Int later / back filling in progress / heavy work only

8-6-96 Air Ext on west 9lbs for 15 mins OK / Habitable space above garage

Respire on walls 80lbs. + 28lbs. / No basement stairs yet / Framing OK per plans (50 for

Steel / T-Beam in garage needs design Ref. letter

8-20-96 - Ext. masonry work on chimney in progress OK per plans

9/13/96 - Calls for P&S -

- 1) Read down's indicate find framing dump was done
- 2) Home not read design Proj. letter re garage door
- 3) Sept Rock and in picture
- 4) Smudge not enter connected (find Elec not completed)
- 5) Bone was during run dial.
- 6) No water meter
- 7) No permit on furnace
- 8) Sewer gas odor in basement - multiple plumbers =
- 9) Mount Steps not completed -
- 10)

Inspection Record

Date

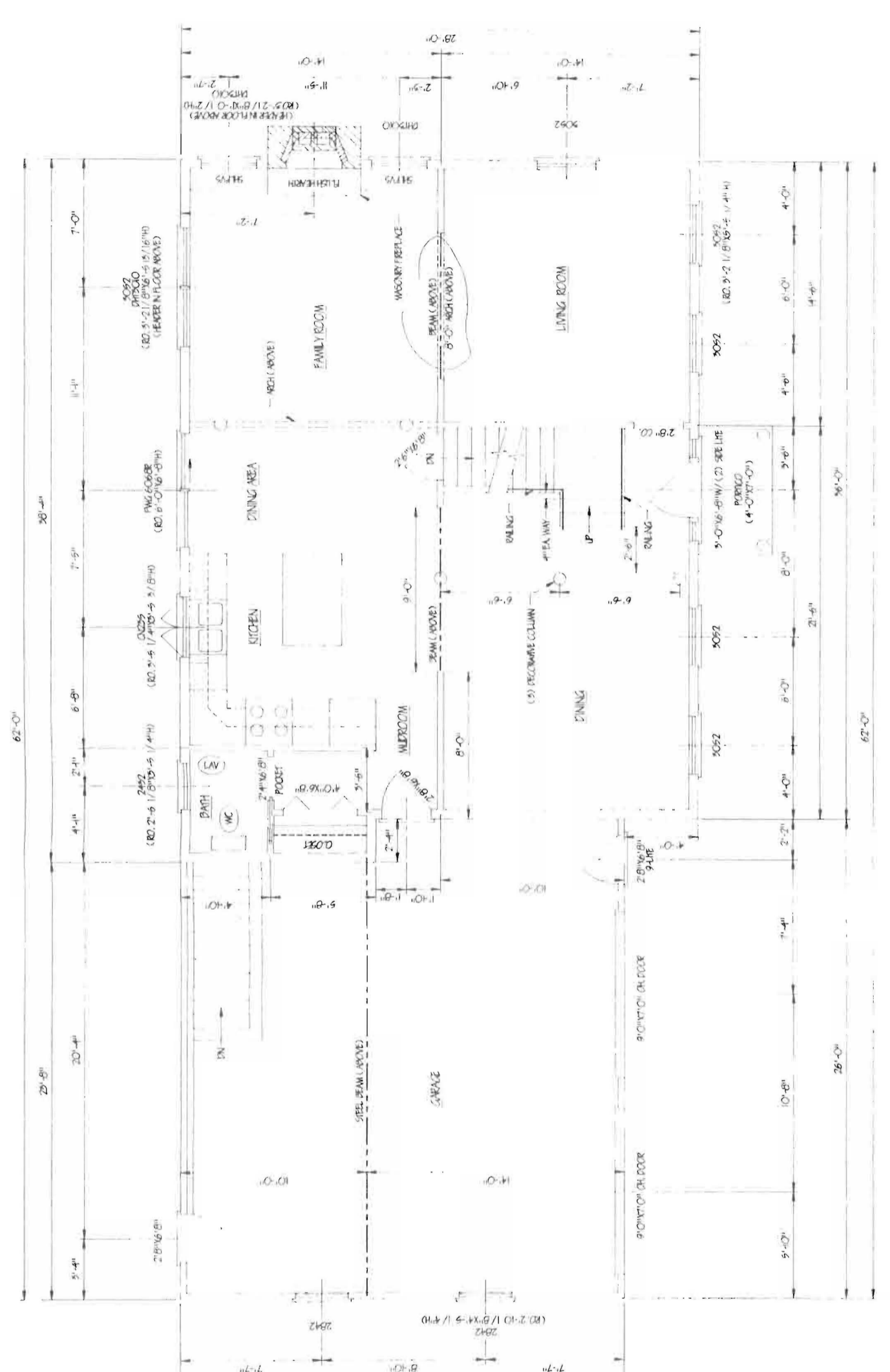
Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

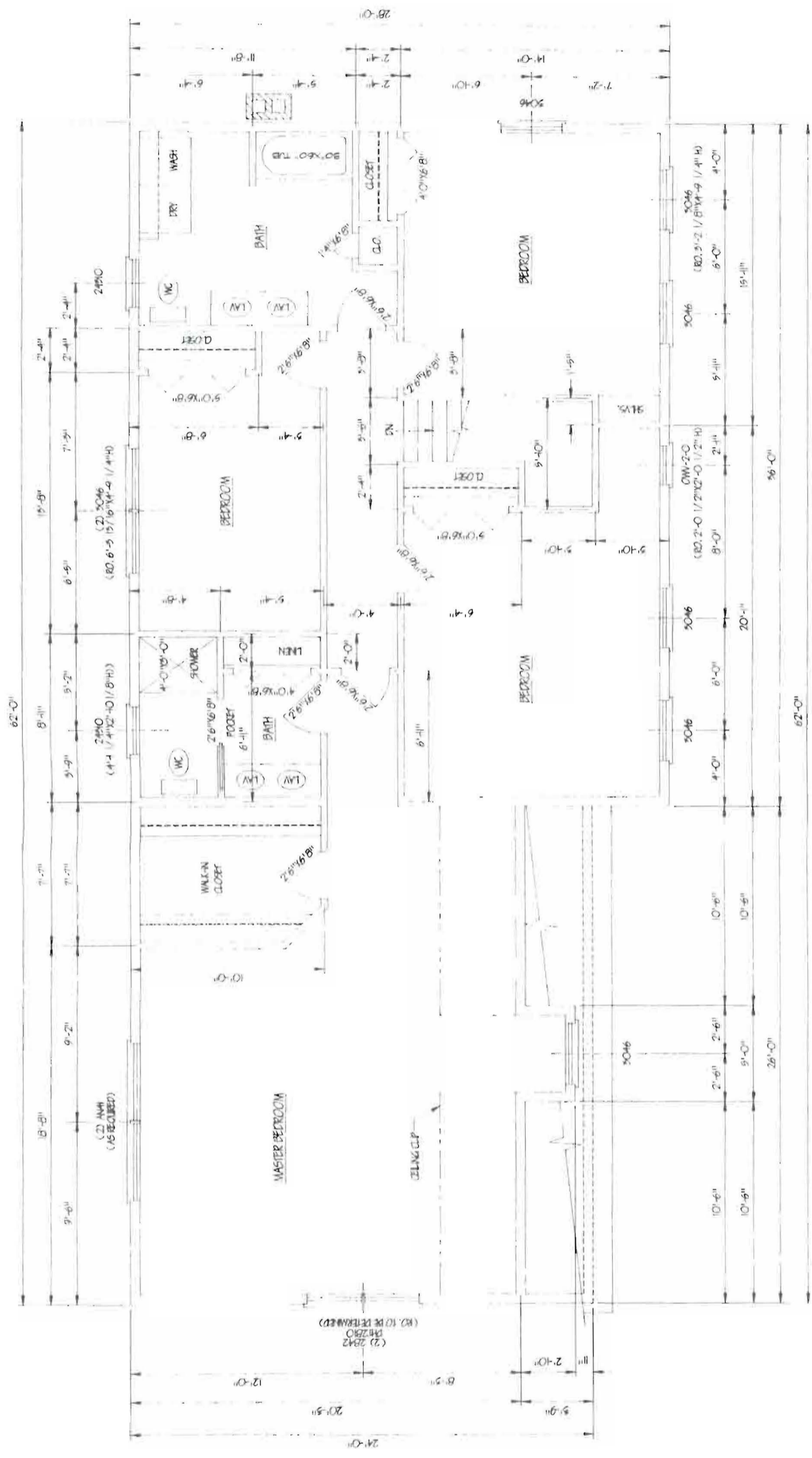


MAY 20 1996

FLOOR PLAN - FIRST FLOOR

NOTE:
 ALL DRAWINGS, PLANS, SPECIFICATIONS, ETC. ARE PROVIDED TO OUR CLIENTS
 BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN
 ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES.
 NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED
 ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS
 SHOULD BE VERIFIED BY REGISTERED ENGINEER OR ARCHITECT AND ARE THE SOLE
 RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS COORDINATED BY
 BY CLIENT AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS.
 CONSTRUCTION TECHNIQUES AND METHODS SHALL BE REVIEWED BY CLIENT/CONTR.
 IF THESE ARE NOT REVIEWED BY CLIENT AND/OR CONTRACTOR BEFORE
 CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD
 HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR
 CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.

RECTEAU REMODELING WESTBROOK MAINE 05480	
RICHARD & LORIE RICO	
FLOOR PLAN - 1ST FLOOR	
DRAWN: J. MORIN	SCALE: 1/4" = 1'-0"
DATE: 3/11/96	
MORIN DRAFTING & DESIGN 895-5550	



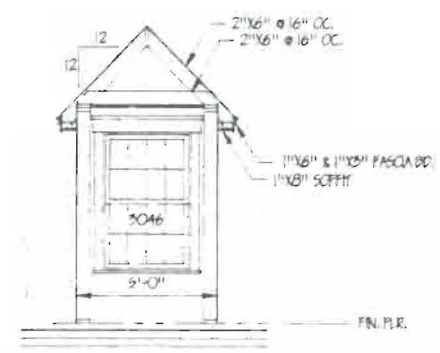
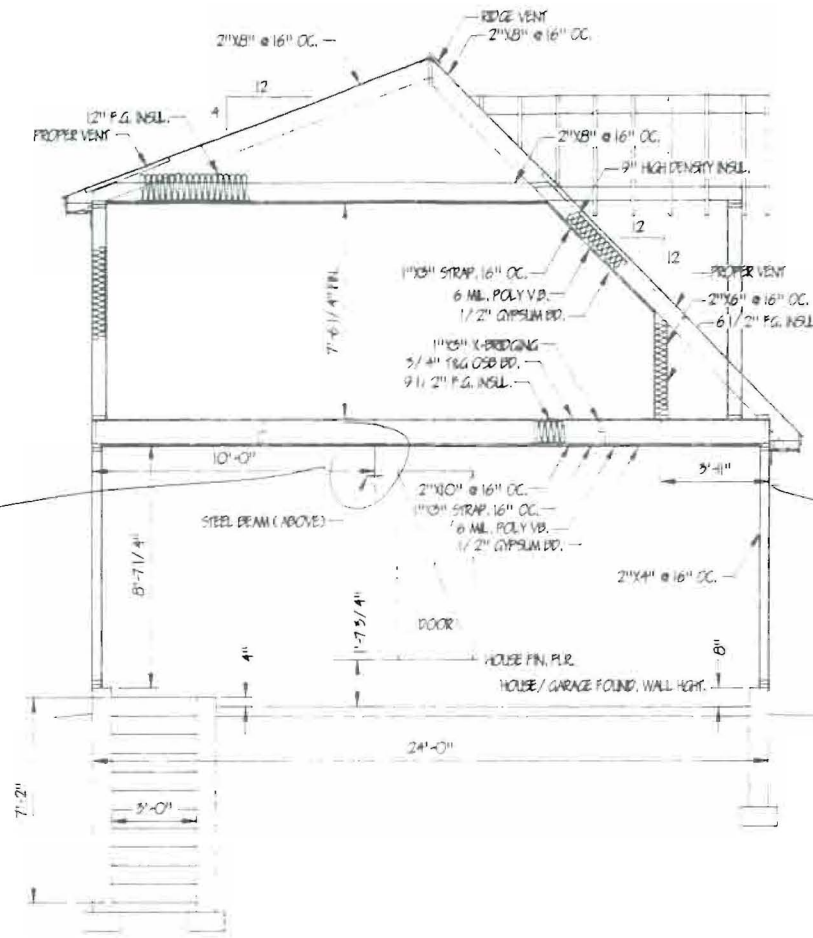
9/19/96
MAY 2 0 1996

FLOOR PLAN-SECOND FLOOR

NOTE:
ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR CLIENTS
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IF THESE ARE NOT REVIEWED BY CLIENT AND/OR CONTRACTOR BEFORE
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HARMFUL, MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR
CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.

PECTEAU REMODELING NESTBROOK, MAINE 05450-1017
RICHARD & LORIE RICO
FLOOR PLAN-2ND FLOOR
DRAWN: J. MORIN SCALE: 1/4"=1'-0" DATE: 3/11/96
MORIN DRAFTING & DESIGN 868-5590

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Garage
 door Header
 2 Member
 2X10 w/ply middle
 7' span

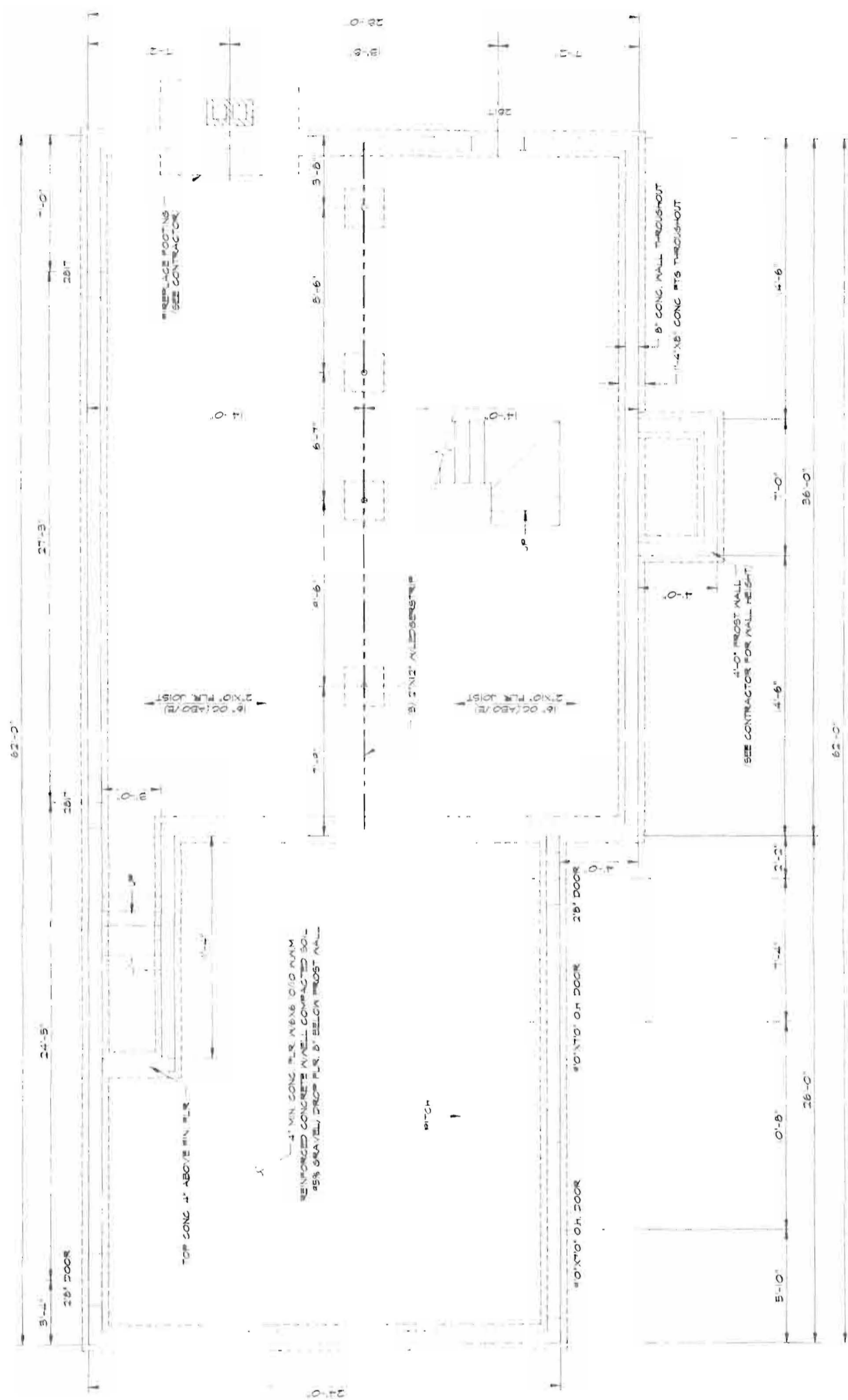
SECTION THRU GARAGE

TYPICAL DORMER

MAY 20 1996

PECTEAU REMODELING WESTBROOK, MAINE 034-8017	
RICHARD & LORI RICO	
SECTIONS	
DRAWN: J. MORIN	SCALE: 1/4"=1'-0"
	DATE: 4/16/96
MORIN DRAFTING & DESIGN 889-5520	

NOTE:
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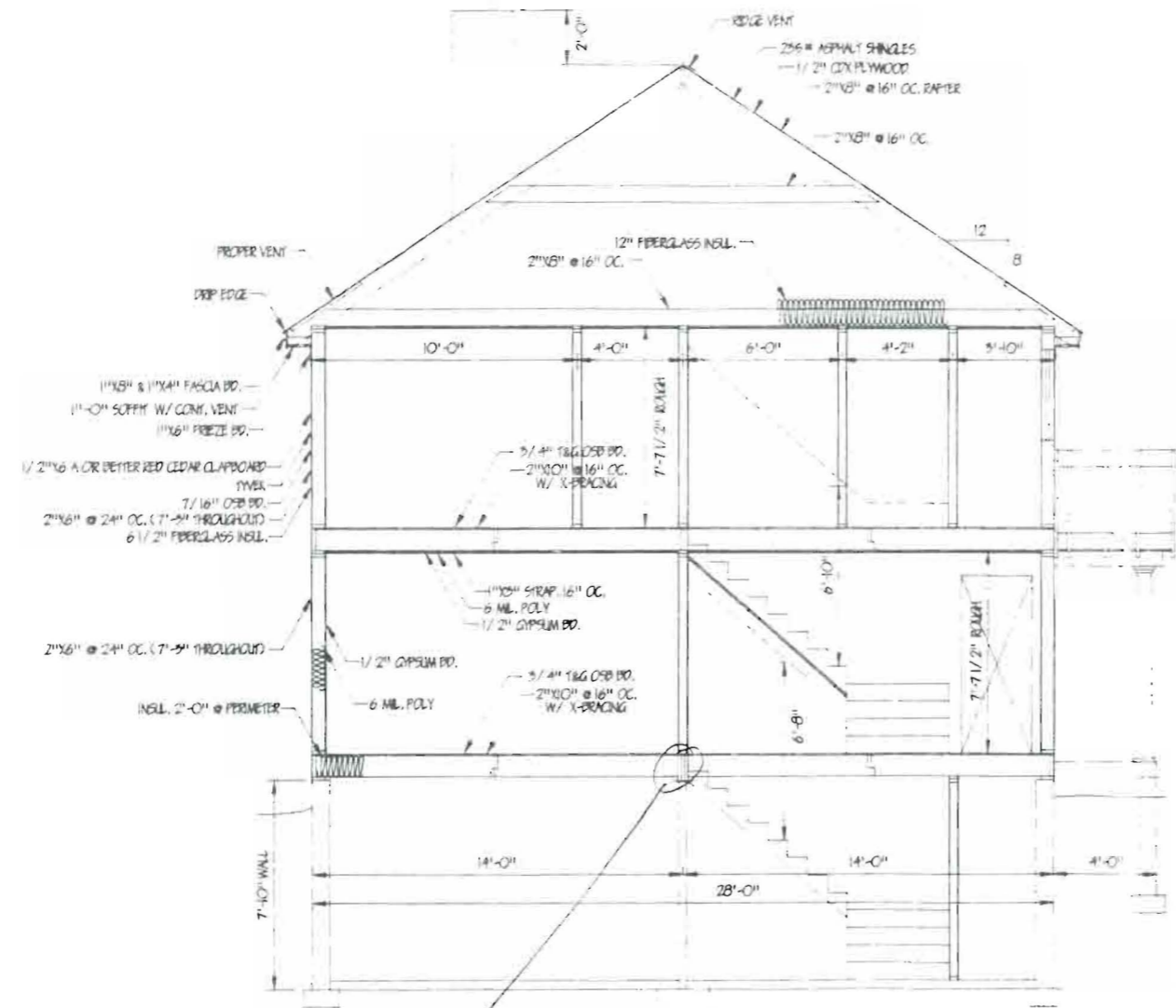
11/20/06

FOUNDATION PLAN

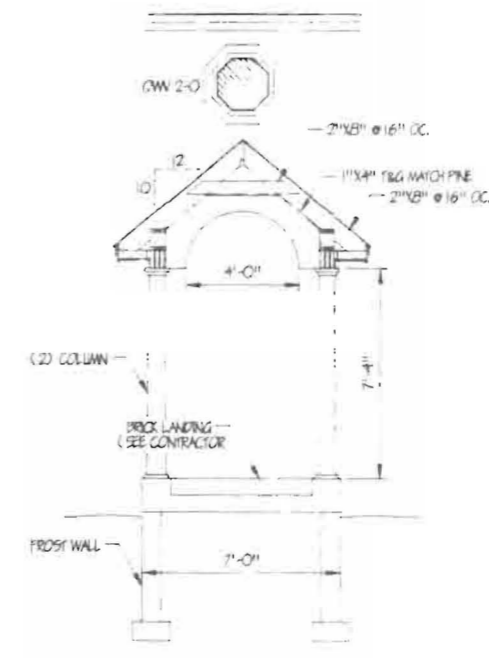
PECTEAU REMODELING, INC. WESTBROOK, MAINE 05151-3017	
RICHARD E. LORIE RICO	
FOUNDATION PLAN	
DRAWN: J. MORIN	SCALE: 1/4"=1'-0"
	DATE: 11/20/06
MORIN DRAFTING & DESIGN 889-5590	

- NOTES:
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
 2. BASEMENT AND/OR FOUNDATION 1 AND ROUGH CRASS SHALL BE DETERMINED IN FIELD WITH CONTRACTOR.
 3. ALL ANCHOR BOLTS SHALL BE 1/2"x1'-0" HOOKED OR EQUIVALENT 6'-0" MAX. OCC. AT 6" MIN. FROM ALL CORNERS.
 4. ALL FULLY COLUMN TO BE DETERMINED IN FIELD BY CONTRACTOR.
 5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
 6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (E. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. BEFORE CONCRETE FORMS ARE SET.

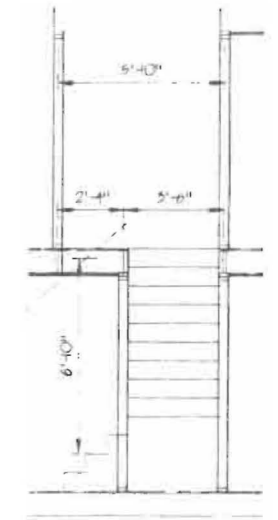
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3 Mem 2x12 SECTION THRU HOUSE



SECTION THRU PORTICO



STAIR DETAIL

MAY 20 1996

FECTEAU REMODELING WESTBROOK, MAINE 054-5017	
RICHARD & LORI RICO	
SECTIONS	
DRAWN: MORIN	SCALE: 1/4" = 1'-0"
	DATE: 4/16/96
MORIN DRAFTING & DESIGN 899-5590	