

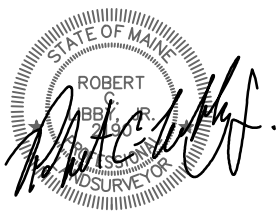
LOCATION MAP
SCALE: 1" = 2 MILES

NOTES:

1. OWNER/APPLICANT: JOE & LIZA NELSON
185 RIDGE ROAD
PORTLAND, ME 04103
2. ENGINEER: ANDREW S. MORRELL, PE #13285
BH2M INC.
28 STATE STREET
GORHAM, MAINE 04038
3. SURVEYOR: ROBERT C. LIBBY JR., PLS #2190
BH2M INC.
4. WETLANDS: PER PLAN REFERENCE A
5. DEED REFERENCES: BK. 33164, PG. 325
6. TAX MAP REFERENCE: MAP R7SW, LOT D036
7. ZONING: R-1 RESIDENTIAL ZONE
8. PROJECT AREA: 25,668 S.F., (0.59 ACRES)
9. PROPOSED USE: 1 SINGLE FAMILY HOUSE LOT
10. MINIMUM STANDARDS: LOT SIZE - 15,000 S.F.
FRONTAGE - 75'
SETBACKS - 25' FRONT AND REAR
16' SIDE (2.5 STORY)
11. SEWER SERVICE: PUBLIC
12. WATER SERVICE: PUBLIC
13. ELECTRIC/TELEPHONE: UNDERGROUND
14. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE EROSION PREVENTION PROVISIONS OUTLINED IN THE MAINE EROSION CONTROL AND SEDIMENTATION CONTROL, BMP'S, LATEST REVISION.
15. PLAN REFERENCES:
 - A. PLAN TITLED "SITE PLAN LOT 6" BY BH2M INC. DATED MARCH 1999, REVISED THRU MARCH 26, 1999.
 - B. PLAN TITLED "RECORDING PLAN / COVER SHEET" BY LAND USE CONSULTANTS INC. DATED JUNE 11, 1993, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 195, PAGE 12.
 - C. PLAN TITLED "FOURTH AMENDED RECORDING PLAT" BY LAND USE CONSULTANT INC. DATED AUGUST 11, 1998, AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 199, PAGE 552.
17. WETLAND IMPACT: 1,896 S.F.
18. STREET STATUS: ALICE STREET-ACCEPTED
19. SOIL TYPE: SCANTIC (HSG D), SUFFIELD (HSG C)
20. DISTURBED AREA: 8,817 S.F.
21. NO WORK SHALL BE COMPLETED WITHIN CITY DRAINAGE EASEMENT OR WITHIN 25 FEET OF THE EXISTING STREAM AS SHOWN.
22. CONTRACTOR TO CONFIRM EXISTING GRADES PRIOR TO COMMENCEMENT OF CONSTRUCTION AS IT APPEARS SOME EARTH MOVEMENT HAS OCCURRED ONSITE.
23. TEST PITS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO CONFIRM A GRAVITY SEWER CONNECTION IS WARRANTED FOR PARCEL. APPLICANT MAY CHOOSE TO UTILIZE THE EXISTING 2" FORCE MAIN AND PUMP TO ALICE STREET.
24. APPLICANT RESERVES THE RIGHT TO INSTALL A ROCK RETAINING WALL INSTEAD OF THE 2:1 SLOPE ON THE EAST SIDE OF THE LOT. NO IMPACTS WILL BE COMPLETED WITHIN THE DRAINAGE EASEMENT OR WITHIN 25 FEET OF THE STREAM USING EITHER OF THESE APPROACHES.

I CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS STANDARD BOUNDARY SURVEY CATEGORY I, CONDITION I, WITH THE FOLLOWING EXCEPTIONS:

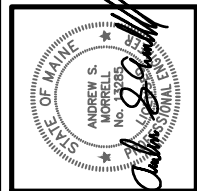
1. NO WRITTEN REPORT



ROBERT C. LIBBY JR. PLS #2190

STONE WALL INSTALLED AS SHOWN IN PLAN VIEW

NO.	DATE	REVISION DESCRIPTION
1	8/16/17	Record Drawing-Stone wall



BH2M
Bert, Huff, McDonald, Milligan, Inc.
Engineers, Surveyors
28 State Street
Portland, Maine 04103
Tel: (207) 839-2771
Fax: (207) 839-8550

FOR
Joe & Liza Nelson
185 Ridge Road
Portland, Maine 04103

SITE PLAN - LOT 6
ALICE STREET SUBDIVISION
ALICE STREET
PORTLAND, MAINE

DESIGNED	DATE
T. Low	July 2016
DRAWN	SCALE
T. Low	1"=30'
CHECKED	JOB. NO.
A. Morrell	16102

SHEET
1
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SYMBOL	LEGEND	DESCRIPTION
(Dashed line)	PROPOSED TREE LINE	PROPOSED TREE LINE
(Solid line)	EXISTING TREE LINE	EXISTING TREE LINE
(Dotted line)	LIMITS OF WETLANDS	LIMITS OF WETLANDS
(Dashed line)	NOW OR FORMERLY ABOVE GROUND	NOW OR FORMERLY ABOVE GROUND
(Dashed line)	BUILDING SETBACKS	BUILDING SETBACKS
(Dashed line)	PROPOSED BUILDING PROPERTY LINE	PROPOSED BUILDING PROPERTY LINE
(Dashed line)	SILT FENCE	SILT FENCE
(Dashed line)	EXISTING CONTOUR	EXISTING CONTOUR
(Dashed line)	PROPOSED CONTOUR	PROPOSED CONTOUR
(Circle)	IRON ROD FOUND	IRON ROD FOUND
(Circle)	IRON ROD TO BE SET	IRON ROD TO BE SET
(Circle)	EXISTING RIGHT OF WAY	EXISTING RIGHT OF WAY
(Circle)	STONE MONUMENT FOUND	STONE MONUMENT FOUND