

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: ** 3 Alice Street Portland, ME 04103		Owner: ** Laura Kesselink- Phone: 878-2987		Permit No: 990703
Owner Address: SAA		Lessee/Buyer's Name: N/A Phone:		BusinessName:
Contractor Name: John W. Mason		Address: Box 1930 Alowiva Rd, Kennebunk, ME Phone: 985-4299		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> JUL 1, 1999 </div> CITY OF PORTLAND Zone: CBL 387-A-034 </div>
Past Use: 1-Family		Proposed Use: Same		
Proposed Project Description: Enclosed porch, open deck with ramp and patio addition		COST OF WORK: \$ 25,000		PERMIT FEE: \$ 145.00
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 93 Type: 57 BOC 996 Signature: <i>[Signature]</i>
Permit Taken By: SP		Date Applied For: June 30, 1999		Zoning Approval: A-43 Special Zone or Reviews: <input type="checkbox"/> Shoreland WA - also <input type="checkbox"/> Wetland 14-422 OK <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> 7/1/99
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*** Mail to: Laura Kesselink
2 Alice Street
Portland, ME 04103

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 30, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT
ub

2

BUILDING PERMIT REPORT

DATE: July 99 ADDRESS: 3 ALICE ST. CBL: 387-A-034

REASON FOR PERMIT: Enclose porch / Construct open deck-ramp. Patio.

BUILDING OWNER: Jesse Link

PERMIT APPLICANT: John W. Masara

USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B
(U) CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: X1 X2 X11 X12 X13 X22 X24 X22 X33 X34 X35

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.

2. Before concrete for foundation is placed, approval from the ~~Department of Public Works~~ ~~Department of Public Works~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)

3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2

4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)

5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.

6. Precaution must be taken to protect concrete from freezing. Section 1908.0

7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.

8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resistive rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)

9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211

10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R, and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38") Handrail grip size shall have a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38") Handrail grip size shall have a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38") Handrails shall be on both sides of stairway. (Section 1014.7)

11. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)

12. Stair construction in Use Group R-3 & R-4 is a minimum of 1'0" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)

13. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4

14. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm) and a minimum net clear opening of 5.7 sq. ft. (Section 1013.6)

15. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

16. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

17. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

18. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

19. Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

Applicant: Louis Hesselink

Date: 7/1/99

Address: 3 Alie's St

C.B.L. 387-A-34

• CHECK-LIST AGAINST ZONING ORDINANCE

Date - ~~EXISTING~~ EXISTING

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - envelope porch? build open deck w/ ramp
(also non-structural patio)

Sewage Disposal - City

Lot Street Frontage -

Front Yard - N/A

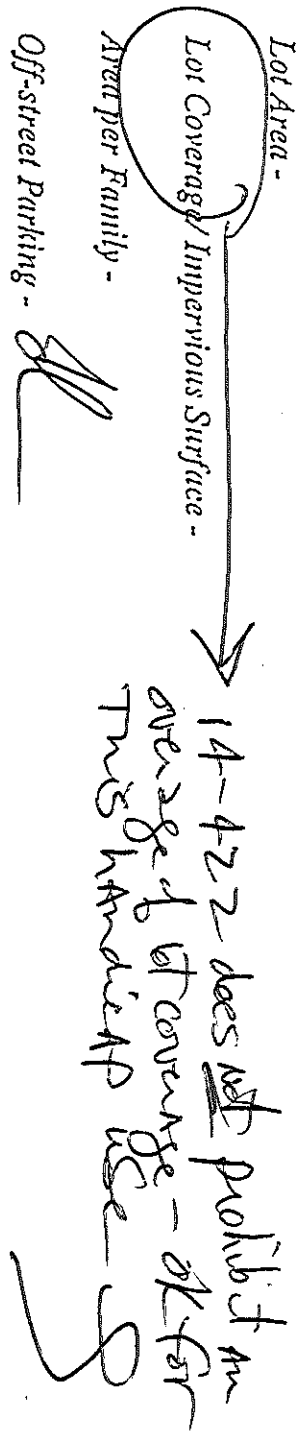
OK Rear Yard - 25' req - 21' shown → ok using 14-433

Side Yard - 12' req - 12' + shown

Projections -

Width of Lot -

Height -



Loading Bays -

Site Plan - N/A

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Zone C

OUTLINE SPECIFICATIONS

for

FEIN RESIDENCE PORCH / DECK ADDITION

3 Alice Street
Portland, Maine

1. General Requirements:

- o Meet all applicable state and local codes and/or requirements
- o The extent of the Work is generally outlined in the drawings provided and comprises of constructing a new 235 [gross] sq.ft. enclosed porch and 230 [gross] sq.ft. deck and ramp addition to the rear of the existing Fein Residence on Alice Street in Portland, Maine. A 420 sq. ft. lawn patio constructed of dry set landscape pavers behind the porch and deck addition is also planned. ✓
- o The surrounding site at the rear of the house is generally level with a drainage swale to the rear of the existing lawn area. Soils here are seasonally very wet during the springs; excessive groundwater seepage occurs because of disturbed groundwater sources from housing development.
- o Acquire all building permits and perform all tests required
- o The contractor [and sub-contractors] are required to carry appropriate construction and workman's compensation insurance as required for the project.
- o Verify all existing conditions, measurements, and drawing dimensions prior to proceeding with the Work.
- o Provide all labor, materials, equipment, appliances, and services necessary to execute and complete all work as required by the Drawings, Schedules, and Outline Specifications.

2. Site Work:

- o Excavation for new four foot min. deep sauna tube foundation supports ✓
- o New landscape pavers at new lawn patio; 12" gravel base, pavers dry set on sand surface and joints filled with stone dust; edging 6x6 p. t. timber
- o Rough grading
- o Loam and seed all disturbed areas of lawn area with 4" of topsoil on all sides of new construction. Protect and maintain natural cover elsewhere and the rear drainage swale. Seed with a mixture of Kentucky Bluegrass and Creeping Red Fescue

127 Main Street, South Portland, Maine 04106
207-767-2189 (Voice or TTY) 1-800-640-7200 (Voice or TTY) FAX 207-799-8346
To reach Alpha One on the Internet: <http://www.alpha-one.org>

South Portland

Augusta

Brewer

Presque Isle

3. **Concrete:**
 - o 3000 psi concrete for poured in place, 8" dia. conc. supports; minimum footing depth 5'-0";
4. **Masonry:** N/A
5. **Metals:**
 - o Metal liner for wood planter on exterior deck
6. **Carpentry:**
 - o **Structural Wood:** 2 x 10 floor joists, construction grade spruce; 3/4" plywood sub-floor w/ 1/2" underlayment for clay tile floor or 3/4" T&G wood floor
 - o **Roof Framing:** 2 x 10 rafters @ 16" o/c; 1/2" plywood roof sheathing w/ clips; 2 x 8 ceiling rafters at +/- 8' above finish floor; align w/ exist soffit outriggers
 - o **Walls:** Exterior 2 x 6's @ 16" o/c; 1/2" flakeboard sheathing, typar bldg wrap
 - o **Exterior Siding:** Cedar clapboards siding to match existing
 - o **Pressure treated framing** for exterior porch, deck, steps, and ramp; select grade cedar posts and rails at guardrails
 - o **Exterior Trim:** 1 x 6 pine corner bd.; fascia and soffits to match existing
 - o **Ceiling @ Porch:** matched board pine
 - o **Interior trim, sheaves, & finish work:** #2 or better pine; flat stock style trim; center bead pine for wainscoting under window aprons and along exist ext. walls
7. **Thermal and Moisture Protection:**
 - o 4 mil poly vapor barrier at exterior walls and ceilings
 - o **Exterior wall insulation:** 6" R-19 fiberglass (un-faced)
 - o **Ceiling insulation:** 12" R-38 fiberglass (two layers of 6" un-faced batts) on flat surfaces;
 - o **Floor insulation:** R-30 bagged fiberglass insulation between floor joists under the enclosed porch
 - o **Roofing:** 235# asphalt shingles [to match existing], 15# felt w/ 55# roll roofing starter course; 20 ga. galv. drip edge; alumin. roof to wall flashing, 1 -1/2" min. exp.
 - o **Continuous soffit vents;** continuous soffit vents; continuous vent system on sloped surfaces directly under roof sheathing where necessary; tie into existing el roof venting
8. **Doors & Windows:**
 - o **Windows:** Combination metal storm / screen windows w interchangeable sashes
 - o **Exterior porch door:** Combination metal / screen door to match windows; fully weather-stripped
 - o **Threshold ramps** at each side of existing sliding door floor track

installed and maintained at the following location(s):

- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
- A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

20. The Fire Alarm System shall maintained to NFPA #72 Standard

21. The Sprinkler System shall maintained to NFPA #13 Standard.

22. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)

23. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year."

24. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans concerning construction of the facility; the builder shall submit the certification the Division of Inspection Services.

25. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code, (Crawl spaces & attics).

26. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

27. All requirements must be met before a final Certificate of Occupancy is issued.

28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).

29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

30. Please read and implement the attached Land Use Zoning report requirements.

31. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.

32. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

33. The proposed g'pillars used for the foundation shall rest on footing with

ancher between the two - Also a fastener shall be used between the

pier and wood members

All ledgers shall be attached to the main dwelling with lag bolts.

34. *[Signature]*
Samuel Koffke, Building Inspector

35. *[Signature]*
A. M. Doregall, PHD

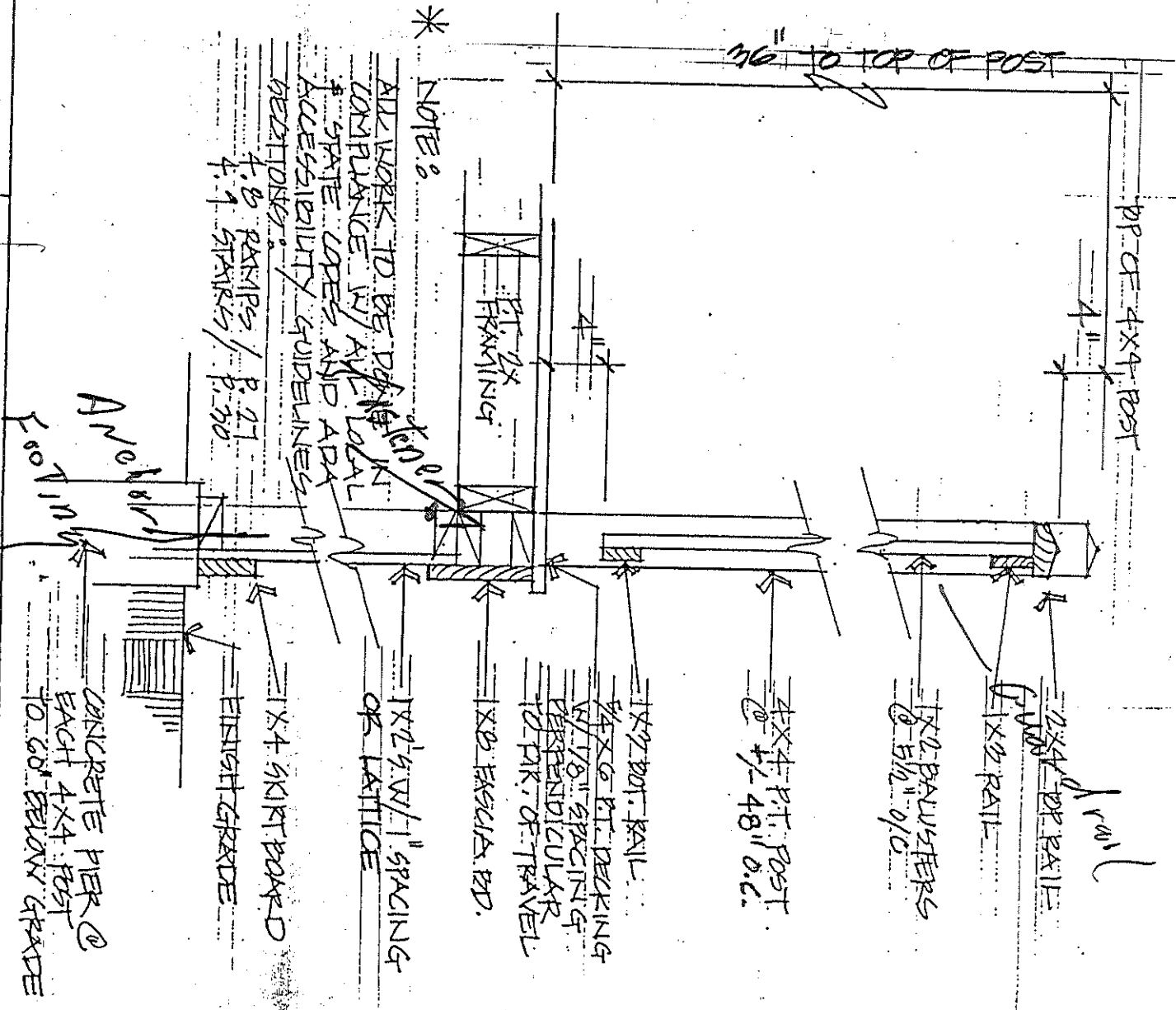
36. *[Signature]*
Marge Schmuckel, Zoning Administrator

PH 13-14-99

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

9. **Finishes:**
- o Interior of walls & ceiling: Center bead wainscoting, gypsum drywall; match board pine ceiling
 - o Interior floor: Terrazzo or Clay tile in enclosed porch; wood floor as alternate
 - o Exterior deck: Sealed cedar decking on deck and ramp
 - o Painting / Staining:
 - Sheetrock Walls - 1 coat primer, 2 coats finish paint; flat finish [washable]
 - Wainscoting - transparent stain [pickled] finish
 - Ceiling - transparent stain [pickled] finish
 - Wood trim - transparent stain [pickled] finish
10. **Specialties:**
- o Ceiling mounted, multi-speed, fan / light
 - o Operable skywindows w/ screens
 - o Seamless aluminum gutters /downspouts at all addition overhangs
11. **Equipment:** N/A
12. **Furnishings:**
- o Provide blocking for shades, rods, drapes, etc. as required by owner
13. **Special Construction:** N/A
14. **Conveying Systems:** N/A
15. **Mechanical:** N/A
16. **Electrical:**
- o Comply with current NEC and local regulations
 - o Expand existing service as required
 - o Two overhead lighting fixture(s) as selected by owner
 - o Wall outlets and control switches as requested by owner
 - o One telephone and one cable TV jacks
 - o Exterior site lighting [spots]; off of new addition
 - o Provide rocker type wall switches throughout
 - o House wired 120v smoke detector in Enclosed Porch

6/99



* NOTE:

ALL WORK TO BE DONE IN COMPLIANCE W/ ALL LOCAL STATE CODES AND ADA ACCESSIBILITY GUIDELINES PERTAINING TO:

4.8 RAMP / P. 27
4.9 STAIRS / P. 30

1x2 1/2" W/ 1" SPACING OR LATTICE

1x4 SKIRT BOARD

FINISH GRADE

CONCRETE PIER @ EACH 4x4 POST TO 6" BELOW GRADE

RESILIENT / FIBER RESIDENCE PORTLAND, MAINE

6/24/99

ALPHA ONE SO. FORELAND, ME

D. PRATT

RAMP / DECK ADDITION

RAMP / DECK & RAIL SECTION

SK-1

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED
Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction 7-3 AVEE STREET, PORTLAND, ME 04103

Tax Assessor's Chart, Block & Lot Number Chart <u>381-A</u> Block# <u>A</u> Lot# <u>034</u>	Owner: <u>LYRA HERRICK</u>	Telephone#: <u>978-9997</u>
Owner's Address: <u>3 AVEE STREET, PORTLAND, ME</u>	Licensee/Owner's Name (If Applicable) <u>N/A</u>	Cost Of Work: <u>\$19,000</u>
		Fee: <u>\$45</u>

Proposed Project Description: (Please be as specific as possible)
ENCLOSED PERMIT, DECK DECK w/ RAMP and PATIO ADDITION

Contractor's Name, Address & Telephone 985-4099 Read By: [Signature]
JOHN W. MARON, BOX 1930 ALEWEE ROAD KENNEBUNK, ME

- Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.
- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
 - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
 - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
 - HVAC (Heating, Ventilation and Air-Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:
 - 1) A Copy of Your Deed or Purchase and Sale Agreement
 - 2) A Copy of your Construction Contract, if available
 - 3) A Plot Plan (Sample Attached)

- If there is expansion to the structure, a complete plot plan (Site Plan) must include
 - The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance between buildings, as well as sheds, pools, garages and any other accessory structures.
 - Scale and required zoning district setbacks

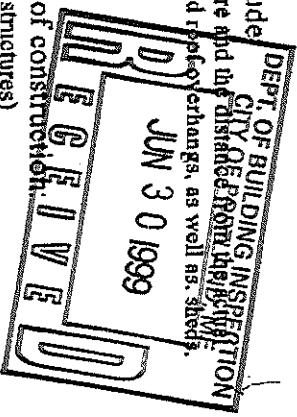
4) Building Plans (Sample Attached)

- A complete set of construction drawings showing all of the following elements of construction:
 - Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and dampproofing
 - Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 6/15/99
 Building Permit Fee: \$25.00 for the 1st \$1000.00 cost plus \$5.00 per \$1,000.00 construction cost thereafter.
 O:\INSP\CORRESP\KND\GENT\TABADSPD.WPD



STATUTORY WARRANTY DEED

I, LLOYD B. WOLF, of 25 Alice Street, in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

DAVID A. HESSELINK and LAURA F. HESSELINK, of 158 Frances Street, in the City of Portland, County of Cumberland and State of Maine, as JOINT TENANTS

A certain lot or parcel of land with any improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine, and being Lot 4 as shown on a Plan entitled "Plan of Land Showing Alice Street Subdivision", prepared for Lloyd B. Wolf, dated June 11, 1993 and recorded in the Cumberland County Registry of Deeds in Plan Book 195, Page 12, as revised on Plan dated April 20, 1995 and recorded at said Registry of Deeds in Plan Book 195, Page 115, and as revised on Plan dated May 27, 1996 and recorded at said Registry of Deeds in Plan Book 196, Page 77.

Also conveying a right-of-way for all purposes including ingress and egress and the installation and maintenance of utilities over and along Hope Lane and Alice Street as depicted on Plan entitled "Plan of Land Showing Alice Street Subdivision" dated June 11, 1993 and recorded in said Registry of Deeds in Plan Book 195, Page 12.

Being a portion of the premises conveyed to Grantor herein by deed of Robert L. Adam dated June 14, 1993 and recorded at the Cumberland County Registry of Deeds in Book 11820, Page 108.

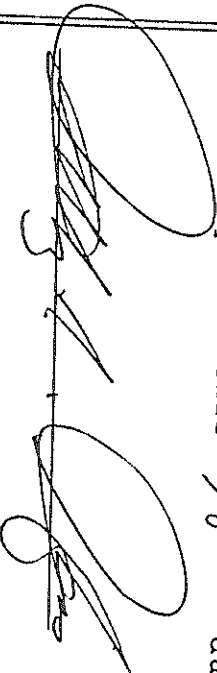
This conveyance is SUBJECT to Notes 1 through 9 as shown on said Plan.

This conveyance is SUBJECT to a utility easement to Central Maine Power Company and New England Telephone Company dated April 26, 1995 and recorded at said Registry of Deeds in Book 11903, Page 254.

This conveyance is SUBJECT to an easement to Portland Water District granted by easement deed dated April 30, 1995 and recorded at said Registry of Deeds in Book 11924, Page 59.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

WITNESS my hand this 18th day of July, 1996.



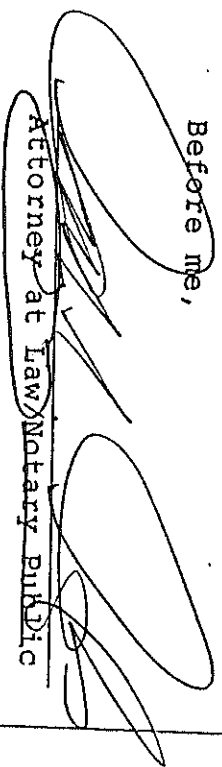
Lloyd B. Wolf
Lloyd B. Wolf

July 18, 1996

STATE OF MAINE
CUMBERLAND, SS.

Then personally appeared the above-named LLOYD B. WOLF and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Attorney at Law/Notary Public

Daniel S. Douglas

RECEIVED

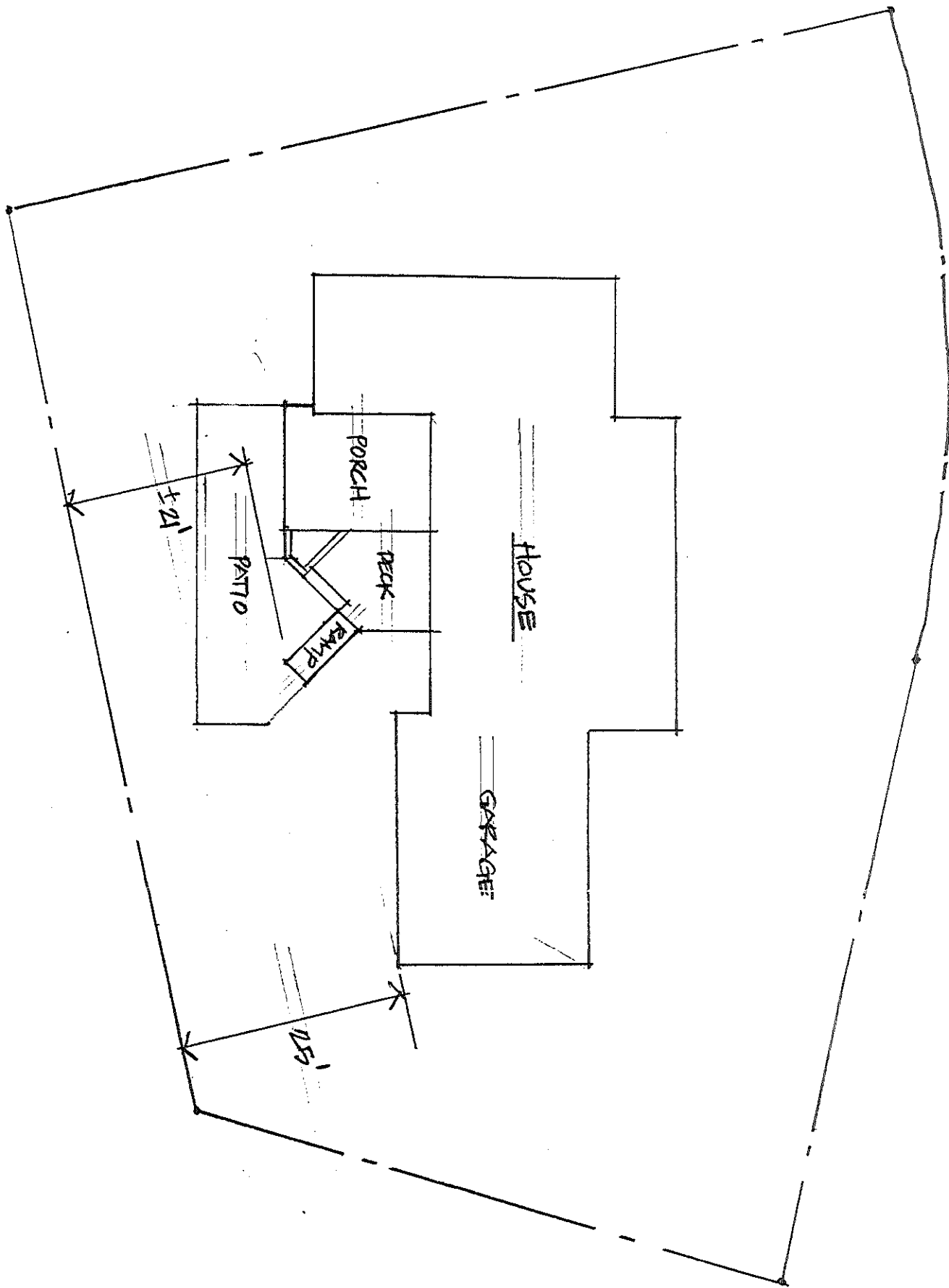
REGISTERED REGISTER OF DEEDS

05 JUL 19 PM 1:01

CUMBERLAND COUNTY

John G. O'Brien

PLOT PLAN
1" = 16'



ALICE STREET

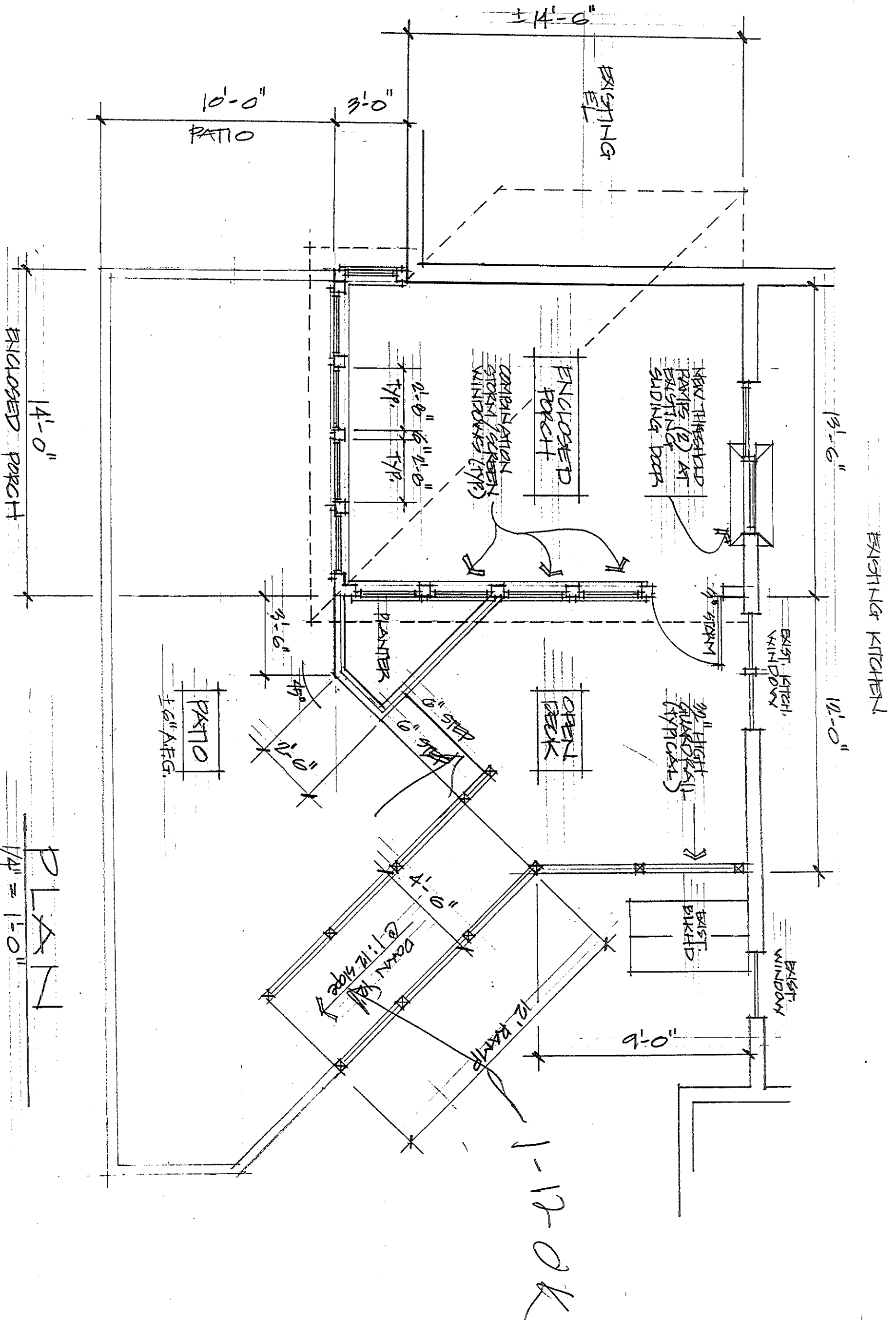
PLOT PLAN
SCALE: 1" = 16'

HESSSELINK/FEIN RESIDENCE
PORCH / DECK ADDITION
PORTLAND, MAINE

DRAWN BY: DRP - 6/24/99

alpha One
leaders in disability
information, services and products

1 OF 4
5-1



PLAN
 1/4" = 1'-0"

1-12-02

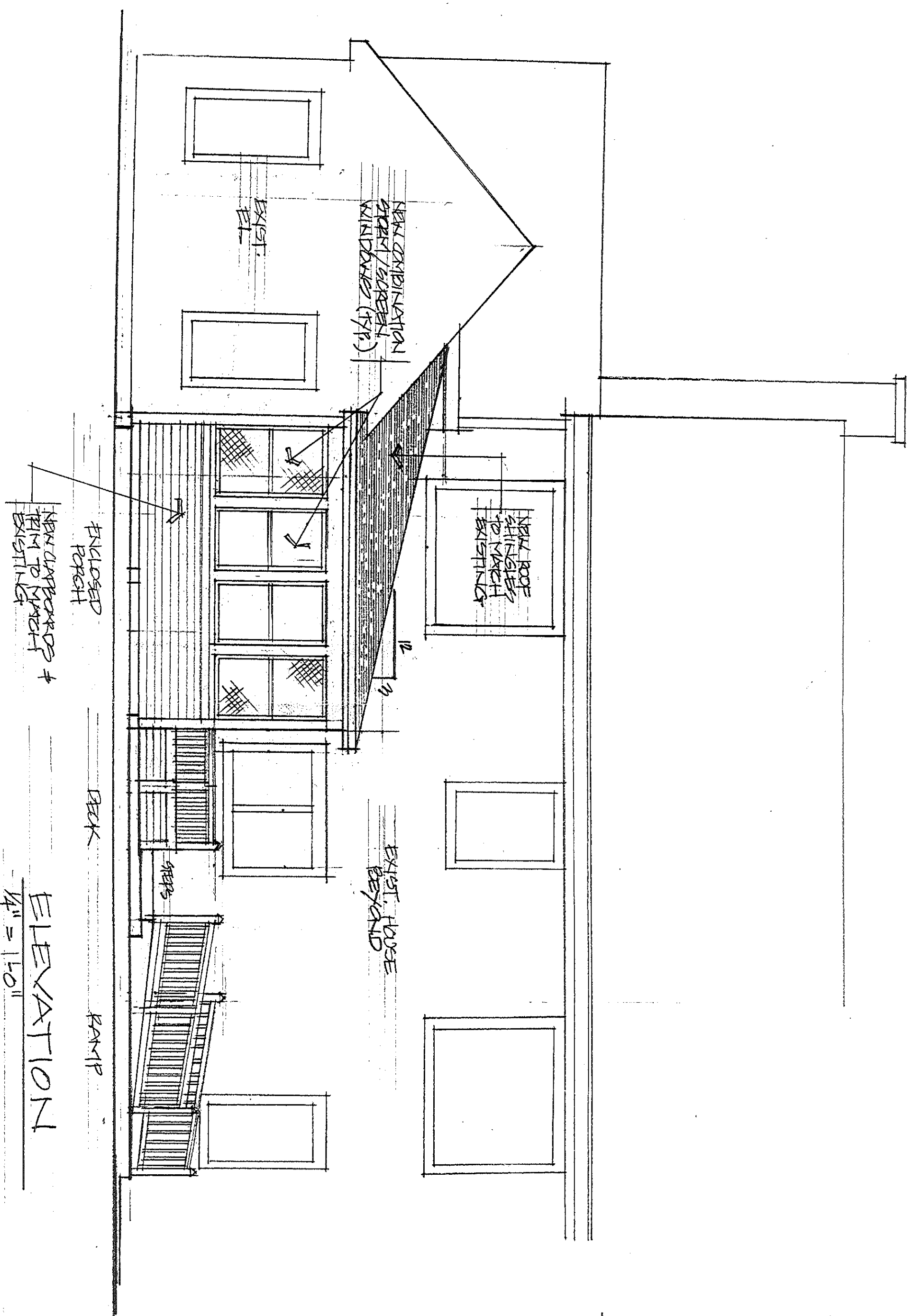
DRAWN BY: DRP - 6/24/99

PORCH / DECK
 & PATIO PLAN
 SCALE: 1/4" = 1'-0"

HESSELINK / FEIN RESIDENCE
 PORCH / DECK ADDITION
 PORTLAND, MAINE

alpha One
 leaders in disability
 information, services and products

2 of 4
 A-1



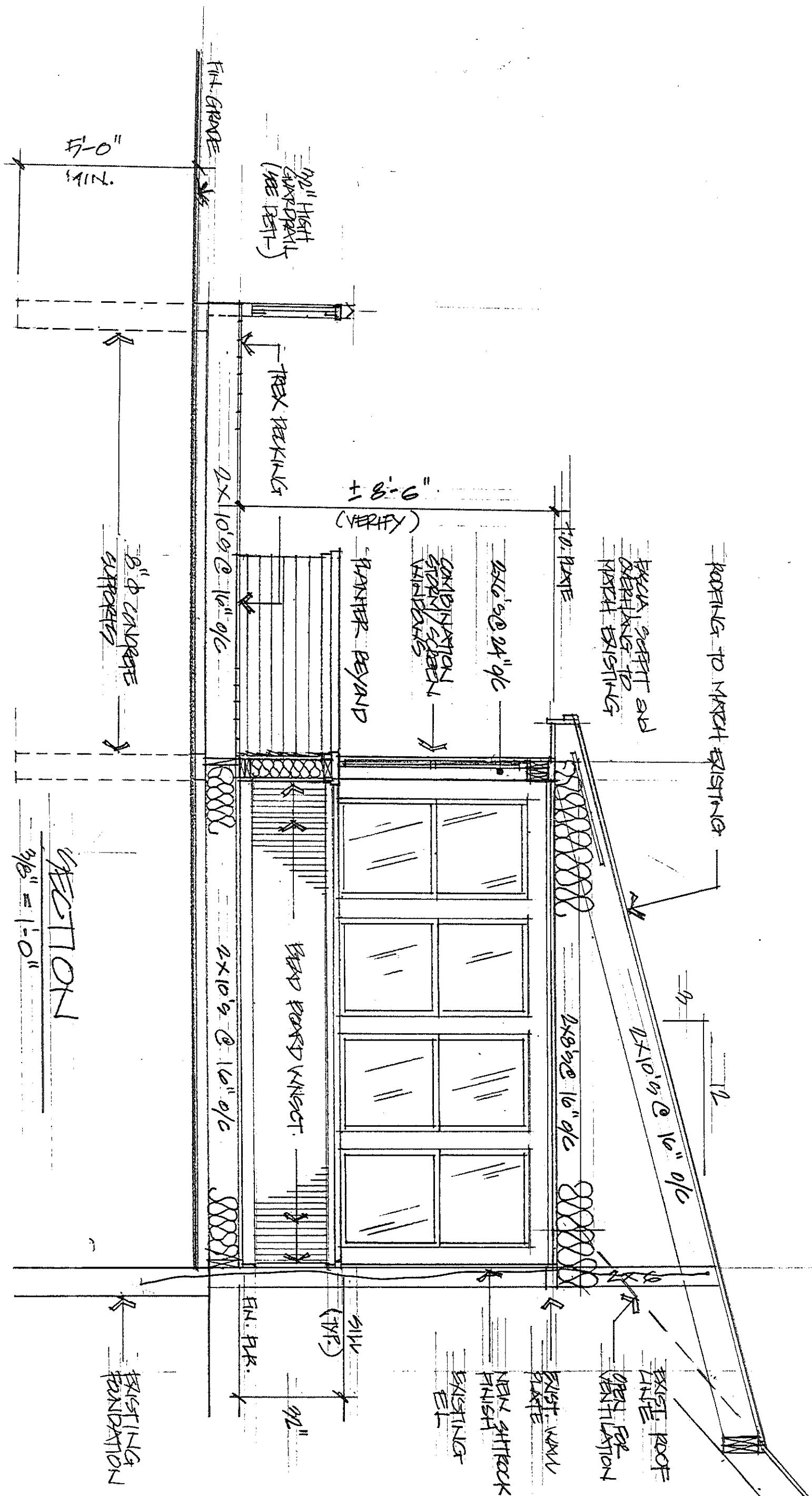
ELEVATION
 1/4" = 1'-0"

ELEVATION
 SCALE: 1/4" = 1'-0"

HESELINK/FEIN RESIDENCE
 PORCH/DECK ADDITION
 PORTLAND, MAINE

DRAWN BY: DRP - 6/24/99
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 information, services and products

3 of 4
 A-2



CROSS SECTION
 SCALE: 3/8" = 1'-0"

HELSELINK / FEIN RESIDENCE
 PORCH / DECK ADDITION
 PORTLAND, MAINE

DRAWN BY: PRP . 6/24/99
alpha One
 leaders in disability
 information, services and products

4 of 4
 A-3