

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING PERMITS DIVISION

## PERMIT

Permit Number: 090521

PERMIT ISSUED

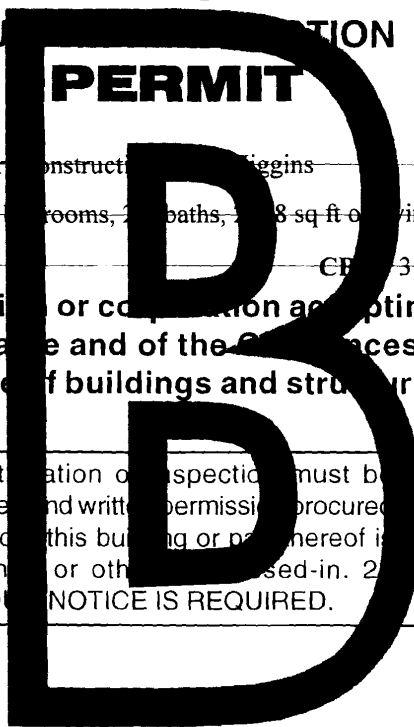
JUN 22 2009

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Toby & Barbara Hammond/Portland Construction Services Inc has permission to Construct 14 7 GARSOE DR CE 386A B040001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other is used-in. 2 HO... NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

SCANNED

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Thomas W. Madley 6/19/09*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0521	Issue Date: JUN 22 2009	CEL: 386A B040001
Owner Address: P.O. 488	Phone: 207-415-5009	
Contractor Address: P.O. Box 1205 West	Phone: 2073372136	
Permit Type: Single Family		Zone: R-2

Location of Construction: 2 GARSOE DR	Owner Name: Toby & Barbara Hammond
Business Name:	Contractor Name: Port Construction / Dan Higgins
Lessee/Buyer's Name	Phone:

Past Use: Vacant Land	Proposed Use: Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage
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Permit Fee: \$2,095.00	Cost of Work: \$200,000.00	CEO District: 5
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003
Signature:	Signature: <i>207 6/19/09</i>

**Proposed Project Description:**  
New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Ldobson	Date Applied For: 05/28/2009
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**Zoning Approval**

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland <i>N/A</i></p> <p><input type="checkbox"/> Flood Zone <i>part 2 - zone X</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan</p> <p><i>2009-0054</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>Okwlad.hiv</i></p> <p>Date: <i>6/3/09</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ASB</i></p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



TO: Inspections Department  
FROM: Philip DiPierro, Development Review Coordinator  
DATE: November 24, 2009  
RE: C. of O. for #14 Garsoe Drive,  
(Id#2009-0054) (CBL 386A B 040001)

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After visiting the site, I have the following comments:

Site work incomplete:

1. Lawn installation – loaming and seeding,
2. Installation of 2 street trees,
3. Miscellaneous minor site work,

I anticipate this work can be completed by **June 1, 2010**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Tammy Munson, Director of Code Enforcement & Inspections  
File: Urban Insight

This data is provided by the Assessor's Office and is current as of **Sep. 8, 2009**

Fees  New  Scheduling

R2 LCI:  R

<b>CBL</b>	386A B040001	<b>Acct No</b>	0	<b>Property Address</b>	14 GARSOE DR	<a href="#">View Complaint</a>	<a href="#">Close</a>
<b>Owner Name 1</b>	HAMMOND TOBY B ETAL JTS &			<b>Property Type</b>	RESIDENTIAL	<b>Dist#:</b>	5
<b>Name 2</b>	ROBYN E HAMMOND ETAL JTS			<b>Description</b>	386A-B-40	<a href="#">View Inspection</a>	<a href="#">Print Inv.</a>
<b>Mailing Address</b>	PO BOX 488			<b>Census Tract</b>	GARSOE DR 2-14 AUBURN ST 633-643 24092 SF	<a href="#">View Site Plan</a>	<a href="#">View Permit</a>
<b>City, State, Zip</b>	NAPLES	ME	04055				

[Prop Info](#) | 
 [Inspections](#) | 
 [Site Plans](#) | 
 [Permits](#) | 
 [Complaints](#) | 
 [Food/Water/Odor](#) | 
 [Documents](#) | 
 [Letters](#) | 
 [Property Mgmt](#) | 
 [Fees](#) | 
 [Taxes](#) | 
 [Notes](#)

Date/Time	Staff/Contact	Street	Parcel ID	Appl ID	Appl Type	Type
12/04/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Inspection
			Recheck for corrections on final, bond electric to water system and unions on w			
11/24/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Certificate of Occupancy/Final
6:00 AM			415-5009 Toby			
10/01/09	Mike Menario	14 GARSOE DR	386A B04000	90521	Prmt	Close-in/Elec./Plmb./Framing
10:30 AM			Toby Hammond @ 415-5009 for close in. /gg			
08/18/09	Michael Collins	14 GARSOE DR	386A B04000	20094433	ElcPe	Electrical Service
6:00 AM			New service lateral inspection. CMP/WO #3-600-036. Jim Nichols. New servic			
08/06/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Foundation/Backfill
			Tim 829-4282 - foundation inspection needs morning appt. Okay to backfill found			
07/27/09	Chris Hanson	14 GARSOE DR	386A B04000	90521	Prmt	Footings/Setbacks
1:00 PM			Scott Flynn @ 712-5686 for footings inspection per Chris Hanson, he just was n			
07/24/09	Chris Hanson	2 GARSOE DR	386A B04000	90521	Prmt	Footings/Setbacks
1:00 PM	Port Construction / Dan Higgins		donna 829-4282 with time Not ready asked to schedule another inspection 1s			

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Polyn E. Hammond  
Signature of Applicant/Designee

6/22/09  
Date

Thomas N. Mahoney  
Signature of Inspections Official

6/19/09  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0521	<b>Date Applied For:</b> 05/28/2009	<b>CBL:</b> 386A B040001
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<b>Location of Construction:</b> 2 GARSOE DR	<b>Owner Name:</b> Toby & Barbara Hammond	<b>Owner Address:</b> P.O. 488	<b>Phone:</b> 207-415-5009
<b>Business Name:</b>	<b>Contractor Name:</b> Port Construction / Dan Higgins	<b>Contractor Address:</b> P.O. Box 1205 Well	<b>Phone:</b> (207) 337-2136
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage	<b>Proposed Project Description:</b> New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/03/2009  
**Note:** **Ok to Issue:**   
 1) With the issuance of the building permit and certificate of occupancy, this property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.  
 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 06/19/2009  
**Note:** **Ok to Issue:**   
 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.  
 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.  
 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.  
 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 06/19/2009  
**Note:** **Ok to Issue:**   
 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.  
 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.  
 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. The site contractor shall provide positive drainage away from the foundation.  
 4) As-built record information for sewer and stormwater service connections must be submitted to Public Services Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.  
 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)  
 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.  
 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 2 GARSOE DR	<b>Owner Name:</b> Toby & Barbara Hammond	<b>Owner Address:</b> P.O. 488	<b>Phone:</b> 207-415-5009
<b>Business Name:</b>	<b>Contractor Name:</b> Port Construction / Dan Higgins	<b>Contractor Address:</b> P.O. Box 1205 Well	<b>Phone</b> (207) 337-2136
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

6/3/2009-amachado: Siteplan 2006-0188 was applied for to amend the Auburn Pines Subdivision. Lot 29 was to be split. It was approved on November 28, 2006 and a revision was approved February 28, 2007. This single family lot was created from this lot split.

6/19/2009-tm: reviews completed and waiting for DRC sign off before issuing. Permit is in Tom's Hold basket in his cube on floor.





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>2 Garsoe Drive, Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>2078 sq. ft. living - 625 sq. ft. garage - 600 sq. ft. deck</u>		Square Footage of Lot <u>24,002 sq. ft.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>326A</u> Block# <u>B</u> Lot# <u>40</u>  <u>2 Garsoe Drive Portland, ME 04101</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Toby B. Hammond</u> Address <u>PO Box 488</u> City, State & Zip <u>Naples, ME 04055</u>	Telephone: <u>P 207-693-3785</u> <u>C 207-415-5009</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Toby B. Hammond</u> <u>Robyn E. Hammond</u> <u>Barbara J. Hammond</u> <u>Joseph P. Sola</u> Address <u>PO Box 488</u> <u>41 Northwood Drive</u> City, State & Zip <u>Naples, ME 04055</u> <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>200,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>vacant lot</u> If vacant, what was the previous use? <u>part of next lot</u> Proposed Specific use: <u>single family home</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Autumn Pines</u> Project description: <u>3 Bed 2.5 Baths 2078 sq. ft. of living space w/ 2 car garage</u>		
Contractor's name: <u>PAVE CONSTRUCTION</u> <u>Dan Higgins</u> Address: <u>PO Box 1205</u> City, State & Zip <u>Wells, ME 04090</u> Telephone: <u>207-337-2136</u> Who should we contact when the permit is ready: <u>Toby Hammond</u> Telephone: <u>207-415-5009</u> Mailing address: <u>PO Box 488, Naples, ME 04055</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: skelco JAN 28 2008

**This is not a permit; you may not commence ANY work until the permit is issue**

Applicant: Toby B. Hammer

Date: 6/2/09

Address: 26500 Dr.

C-B-L: 386A-B-040

perm. 09-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-2

Interior or corner lot

Proposed Use/Work - build two story <sup>~ (44x40)</sup> single family home w/ attached 2 car garage

Sewage Disposal - city

Lot Street Frontage - 50' min. - 30 3 18' given

Front Yard - 25' min. - 25' scaled

Rear Yard - 25' min. - 75' 5' scaled

Side Yard - 1 1/2 story 12' min right side 12.33' given - <sup>ok</sup> \*can be reduced to 12' if added to other side

Projections - 2 story 14' min side yard sidewalk - 20 min. - 112.5 scaled - need minimum of 22' (ok)  
porch 8x5, deck 10x12 (-1/2 (3x2))

Width of Lot - 80' min. - 169' scaled

Height - 35' max. - 23' scaled

Lot Area - 10,000 sq ft min. - 24,092 sq ft given

Lot Coverage Impervious Surface - 20% (= 4815.4 sq ft)

Area per Family - 10,000 sq ft ok

Off-street Parking - 2 spaces required - garage 24x24 ok

Loading Bays - N/A

Site Plan - minor/minor 2009-0054

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 2 - zone X

34 x 37 = 1258

12 x 25 = 300

3 x 12 = 36

8 x 5 = 40

10 x 12 = 120

1724  
- 3 (deck)

1701 sq ft

**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 6/19/2009 9:39:24 AM  
**Subject:** 2 Garsoe Drive, Single Family Site Plan Review

Hi all, this project meets the minimum site plan requirements for the issuance of the building permit. See UI for sign off.

Thanks.

phil

Applicant:

Date: 6/2/09

Address: 34 Garsx Drive

C-B-L: 386 A-B-29

permit 09-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 2000

Zone Location - R-2

(Interior) or corner lot -

Proposed Use/Work -

Sevage Disposal -

Lot Street Frontage - 50' min. -

Front Yard - ~~20'~~ N/A

Rear Yard - N/A

Side Yard - 18' sky - 10' min left side - 76' scaled

Projections -

Width of Lot - 80' min - 179' scaled (OK)

Height -

Lot Area - 10,000 sq ft - 21,633 sq m

Lot Coverage/Impervious Surface - 20% = 4326.6 sq ft

existing 2580 sq ft

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

\* making sure lot split - existing house lot meets zoning requirements R-2 zone

**JEWELL & BOUTIN, P. A.**  
**Attorneys at Law**  
477 Congress Street  
Suite 1104  
Portland, ME 04101-3427

Thomas F. Jewell  
Daniel W. Boutin

Email: [tjewell@jewellandboutin.com](mailto:tjewell@jewellandboutin.com)  
Email: [dboutin@jewellandboutin.com](mailto:dboutin@jewellandboutin.com)

Telephone: 207-774-6665  
Fax: 207-774-1626

May 15, 2009

Toby Hammond  
P.O. Box 488  
Naples, Maine 04055


Re: Purchase of 2 Garsoe Drive, Portland, Maine

Dear Toby:

Enclosed please find copies of all of the documents executed at the closing of your purchase of 2 Garsoe Drive in Portland, Maine.

Please feel free to call if you have any questions.

Yours truly,

  
Thomas F. Jewell, Esq.

TFJ/maj  
Enclosures

5/15/09

## SELLER'S STATEMENT

**Buyer:** Toby B. Hammond and Barbara J. Hammond  
Robyn E. Hammond and Joseph D. Sala

**Seller:** MADD, LLC

**Settlement Agent:** Jewell & Boutin, P.A.  
(207)774-6665

**Place of Settlement:** 477 Congress Street, Suite 1104  
Portland, ME 04101-3427

**Settlement Date:** May 15, 2009

**Property Location:** 2 Garsoe Drive  
Portland, ME 04101  
Cumberland County, Maine

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### CREDITS

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Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
<b>Less Total Credits to Seller</b>	<b>TOTAL CREDITS</b>	<b>120,214.34</b>

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### DEBITS

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Commissions - Total commissions:	% = 12,000.00	12,000.00
	Less Deposit Retained	
	12,000.00 Dan Anderson	
Document Preparation	Jewell & Boutin, P.A.	150.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
Deposit retained by seller		10,000.00
<b>Less Total Reductions to Amount Due Seller</b>	<b>TOTAL DEBITS</b>	<b>22,414.00</b>

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### BALANCE

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<b>To Seller</b>	<b>97,800.34</b>
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APPROVED:

MADD, LLC

BY: 

Leonard Anderson, Manager

  
Jewell & Boutin, P.A.

**BUYER'S STATEMENT**

**Buyer:** Toby B. Hammond and Barbara J. Hammond  
 Robyn E. Hammond and Joseph D. Sala  
**Seller:** MADD, LLC  
**Settlement Agent:** Jewell & Boutin, P.A.  
 (207)774-6665  
**Place of Settlement:** 477 Congress Street, Suite 1104  
 Portland, ME 04101-3427  
**Settlement Date:** May 15, 2009  
**Property Location:** 2 Garsoe Drive  
 Portland, ME 04101-04103  
 Cumberland County, Maine

**DEBITS**

Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
wire charges	Jewell & Boutin, P.A.	20.00
Attorney's Fees	Jewell & Boutin, P.A.	650.00
Title Insurance	Ticor Title Insurance Company	360.00
Recording Fees	Cumberland County Registry of Deeds	20.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
<b>Gross Amount Due From Buyer</b>		<b>TOTAL DEBITS</b>
		121,528.34

**CREDITS**

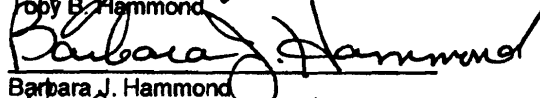
Deposit or Earnest money		10,000.00
<b>Less Total Credits to Buyer</b>	<b>TOTAL CREDITS</b>	10,000.00

**BALANCE**

**From Buyer** 111,528.34

APPROVED:

  
 Toby B. Hammond

  
 Barbara J. Hammond

  
 Robyn E. Hammond

  
 Joseph D. Sala

  
 Jewell & Boutin, P.A.

**WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, that **MADD, LLC**, a Maine limited liability company with a place of business in Portland, Maine, for consideration paid, grant to **TOBY B. HAMMOND** and **BARBARA J. HAMMOND** of Naples, Maine as joint tenants between them, and **ROBYN E. HAMMOND** and **JOSEPH D. SALA** of 41 Northwood Drive, Portland, Maine 04103, as joint tenants between them, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:

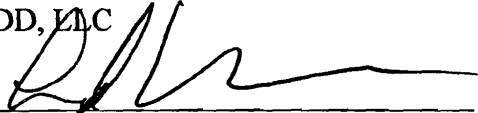
**SEE EXHIBIT A ATTACHED HERETO**

Further reference is made in an Amended Subdivision Plat prepared for Philip and Charlene Jordan, showing above described parcel as Lot 29-B. Said plat is recorded in said Registry in Book 207, Page 122.

Being the same premises conveyed to the Grantor herein by deed from Charlene M. Jordan and Philip D. Jordan dated September 15, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26348, Page 133.

IN WITNESS WHEREOF, the said MADD, LLC has been executed by its Manager Leonard Anderson has set his hand this 15 day of May, 2009.

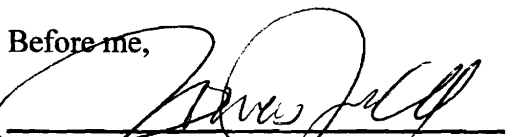
  
Witness

MADD, LLC  
BY:   
Leonard Anderson  
Its: Manager

STATE OF MAINE  
COUNTY OF CUMBERLAND

May 15, 2009

Then personally appeared before me, Leonard Anderson in his capacity as Manager of MADD, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

Before me,  
  
~~Notary Public/Attorney-at-Law~~  
Thomas Jewell  
Printed name of person taking  
acknowledgment



## EXHIBIT A

A certain lot or parcel of land lying on the northerly side of Garsoe Drive and the easterly side of Auburn Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point in the easterly sideline of said Auburn Street at the southwesterly corner of land now or formerly of Jenifer A. Lloyd and Phyliss S. Nichols as described in a deed recorded in the Cumberland County Registry of Deeds in Book 21202, Page 64. Thence:

1) S 82°31'53" E by said land of Lloyd and Nichols and by land now or formerly of Christopher S. Graviss and Anita I. Graviss as described in a deed recorded in said Registry of in Book 18249, Page 310 a distance of One Hundred Sixty-Nine and 40/100 (169.40) feet to a point.

2) S 07°28'12" W a distance of One Hundred Forty-Three and 31/100 (143.31) feet to a point in the northerly sideline of said Garsoe Drive.

3) N 82°07'19" W by said Garsoe Drive a distance of One Hundred Forty-Nine and 67/100 (149.67) feet to a point of curvature.

4) Northerly by said Garsoe Drive following a curve to the right having a radius of Twenty and 00/100 (20.00) feet, an arc distance of Thirty-Two and 40/100 (32.40) feet to a point in the easterly sideline of said Auburn Street, said point lying N 35°42'42" W a distance of Twenty-Eight and 97/100 (28.97) feet from the last described point.

5) Northerly by said Auburn Street following a curve to the left having a radius of Thirteen Thousand Seven Hundred Eighty-Six and 00/100 (13,786.00) feet, an arc distance of Fifty-Two and 55/100 (52.55) feet to a point, said point lying N 07°34'40" E a distance of Fifty-Two and 55/100 (52.55) feet from the last described point.

6) N 07°28'07" E by said Auburn Street a distance of Sixty-Eight and 56/100 (68.56) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, page 393.

The above described parcel contains 24,092 square feet. Meaning and intending to describe a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.

The above described premises are subject to notes, conditions, restrictions, and all other matters as set forth on Amended Subdivision Plat recorded March 1, 2007 in said Registry of Deeds in Plan Book 207, Page 122, including but not limited to General Note #10.

The above described parcel benefits from a utility easement lying on the northerly side of Garsoe Drive in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

---

Beginning at a point in the northerly sideline of Garsoe Drive and the southeasterly corner of the above described parcel. Thence:

1) S 82°07'19" E by said Garsoe Drive a distance of Twenty and 17/100 (20.17) feet to a point of curvature

2) Easterly by said Garsoe Drive following a curve to the left having a radius of One Hundred Seventy-Five and 00/100 (175.00) feet, an arc distance of Thirty-Six and 69/100 (36.69) feet to a point.

3) N 57°03'55" W a distance of Sixty Two and 71/100 (62.71) feet to a point in the easterly sideline of the above described parcel.

4) S 07°28'12" W by the said easterly sideline of the above described parcel a distance of Thirty and 39/100 (30.39) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The above described easement contains 923 square feet. The above described easement lies over a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.



\*0599900\*

**RETTD**

00

**MAINE REVENUE SERVICES  
REAL ESTATE TRANSFER TAX  
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

**PLEASE TYPE OR PRINT CLEARLY**

1. COUNTY  
CUMBERLAND

**DO NOT USE RED INK!**

2. MUNICIPALITY/TOWNSHIP  
PORTLAND

BOOK/PAGE—REGISTRY USE ONLY

3. GRANTEE/PURCHASER  
3a) Name (LAST, FIRST, MI) HAMMOND, TOBY B. 3b) SSN or Federal ID 004-44-2142

3c) Name (LAST, FIRST, MI) HAMMOND, BARBARA J. (SEE ATTACHED) 3d) SSN or Federal ID 006-46-3064

3e) Mailing Address P.O. BOX 488  
3f) City NAPLES 3g) State ME 3h) Zip Code 04055

4. GRANTOR/SELLER  
4a) Name (LAST, FIRST, MI) MADD, LLC 4b) SSN or Federal ID 20-2822629

4c) Name (LAST, FIRST, MI) \_\_\_\_\_ 4d) SSN or Federal ID \_\_\_\_\_

4e) Mailing Address 543 ALLEN AVENUE  
4f) City PORTLAND 4g) State ME 4h) Zip Code 04103

5. PROPERTY  
5a) Map 386A - B - 40 - Block Lot Sub-Lot Check any that apply:  
 No tax maps exist  
 Multiple parcels  
 Portion of parcel  
5b) Type of property—Enter the code number that best describes the property being sold. (See instructions)  
5c) Physical Location 2 GARSOE DRIVE PORTLAND  
5d) Acreage: \_\_\_\_\_

6. TRANSFER TAX  
6a) Purchase Price (If the transfer is a gift, enter "0") 6a \$ 120000.00  
6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value 6b \$ 120000.00  
6c) Exemption claim -  Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.

7. DATE OF TRANSFER (MM-DD-YYYY)  
05 15 2009  
MONTH DAY YEAR

8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use.  CLASSIFIED

9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain:

10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because:  
 Seller has qualified as a Maine resident  
 A waiver has been received from the State Tax Assessor  
 Consideration for the property is less than \$50,000

11. OATH  
Aware of penalties as set forth by Title 36 S 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief it is true, correct and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below:  
Grantee [Signature] Date 5/15/09 Grantor [Signature] Date 5/15/09  
Grantee [Signature] Date 5/15/09 Grantor \_\_\_\_\_ Date \_\_\_\_\_

12. PREPARER  
Name of Preparer Jewell & Boutin, P.A. Phone Number 207-774-6665  
Mailing Address 477 Congress Street Suite 1104 E-Mail Address tjewell@jewellandboutin.com  
Portland, Maine 04101

**MAINE REVENUE SERVICES  
SUPPLEMENT TO THE REAL ESTATE TRANSFER TAX FORM**

This form is to be used in conjunction with the Real Estate Transfer Tax Form and provides additional information when necessary.  
Please attach this form to the original transfer tax form before submitting to the County Registry of Deeds.  
Use additional forms as necessary.

If you have any questions, please contact the property Tax Division at 207-287-2013 or e-mail: prop.tax@maine.gov.

<b>Additional Grantees/Purchasers – Last Name First</b>	<b>Social Security or Fed. ID #</b>
1. HAMMOND, ROBYN E.	007-80-2129
2. SALA, JOSEPH D.	098-70-2498
3. 41 NORTHWOOD DRIVE, PORTLAND, ME 04103	
4.	
5.	
6.	
7.	
8.	
<b>Additional Grantors/Sellers – Last Name First</b>	<b>Social Security or Fed. ID #</b>
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

<b>Additional Municipalities</b>	<b>Map—Block—Lot—Sub-Lot</b>
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

**1099-S DATA ENTRY FORM - REAL ESTATE TRANSACTION**

FEDERAL LAW REQUIRES THAT THIS FIRM, AS CLOSING AGENT, REPORT GROSS PROCEEDS OF REAL ESTATE TRANSACTIONS TO THE INTERNAL REVENUE SERVICE. NEXT JANUARY, BASED ON THE INFORMATION GIVEN BELOW, YOU WILL BE SENT A COPY OF A COMPLETED 1099-S FORM FOR YOUR TAXES. IF YOU HAVE ANY QUESTIONS ABOUT LOSS OR GAIN FROM THIS TRANSACTION AND ITS EFFECT ON YOUR TAXES, YOU SHOULD CONTACT YOUR TAX ADVISOR.

*As the transferor in a "real estate transaction," as defined in the regulations under Section 6045 of the Internal Revenue Code of 1986, as amended, you are required by law to provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number. If you do not provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number, you may be subject to civil or criminal penalties imposed by law. This information will be provided to the Internal Revenue Service.*

- i) NAME OF TRANSFEROR: MADD, LLC
- ii) ADDRESS OF TRANSFEROR: 543 Allen Avenue  
Portland, Maine 04103
- iii) TAXPAYER IDENTIFICATION NUMBER (fill in one of the following):
  - a) Federal Tax ID Number: 20-2822629
- iv) CLOSING DATE: May 15, 2009
- v) TOTAL GROSS PROCEEDS: \$120,000.00  
  
(If there is more than one seller, the amount of total gross proceeds to be reported for this seller is: \$ \_\_\_\_\_).
- vi) PROPERTY DESCRIPTION: 2 Garsoe Drive  
Portland, Maine
- vii) If you received or will receive property or services as part of the consideration, check here: \_\_\_\_\_
- viii) PRORATION OF REAL ESTATE TAXES REIMBURSED TO SELLER AT CLOSING: \$ 214.34

**CERTIFICATION**

**UNDER PENALTIES OF PERJURY, I CERTIFY THAT THE NUMBER SHOWN ON THIS STATEMENT IS MY CORRECT TAXPAYER IDENTIFICATION NUMBER.**

Date

MADD, LLC

BY: 

Leonard Anderson

Its: Manager

**CERTIFICATION - TRANSFEROR**

RE: MADD, LLC to Toby B. Hammond, Barbara J. Hammond,  
Robyn E. Hammond and Joseph D. Sala

Legal: 2 Garsoe Drive, Portland, Maine

Section 1445 of the Internal Revenue Code provides that a transferee of a U. S. real property interest must withhold tax if the transferor is a foreign person. To inform the transferee that withholding of tax is not required upon the disposition of a U. S. real property interest by MADD, LLC:

1. MADD, LLC's is/are not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations);


2. MADD, LLC's federal tax ID No. is: 20-2822629; and

3. MADD, LLC's mailing address is 543 Allen Avenue, Portland, Maine 04103.

The undersigned understands that this certification may be disclosed to the Internal Revenue Service by transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

Under penalties of perjury, I declare that I have examined this certification and to the best of my knowledge and belief, it is true, correct and complete.

5-15-09  
Date

MADD, LLC  
BY:   
Leonard Anderson  
Its: Manager

**NOTE:** *The transferee must retain this certification until the end of the fifth taxable year following the taxable year in which the transfer takes place. The Internal Revenue Service may require this certificate to be filed with it. This certificate is furnished for the information of the transferee; the transferee should seek legal advice as to the effect of same.*

FORM REW-3

MAINE REVENUE SERVICES  
Income Tax Division - REW  
P. O. Box 1068  
Augusta, Maine 04332-1068

**RESIDENCY AFFIDAVIT, ENTITY TRANSFEROR,  
MAINE EXCEPTION 3(A).**

*Title 36 M.R.S.A. §5250-A provides that a transferee (buyer) of real property located in Maine must withhold tax if the transferor (seller) is not, as of the date of transfer, a resident of the State of Maine. To inform the transferee (buyer) that withholding of tax is not required upon the disposition of a State of Maine property interest, the undersigned hereby certifies the following on behalf of MADD, LLC:*

\_\_\_\_\_ The above-named entity is a resident corporation, who is incorporated in the State of Maine or maintains a permanent place of business in Maine as of the date of transfer.

\_\_\_\_\_ The above-named entity is resident estate or trust, which has not established domicile outside of Maine as of the date of transfer.

✓ \_\_\_\_\_ The above-named entity is a resident partnership of which at least 75% of ownership interest is held by residents of this state.

1. Transferor's employer identification number is 20-2822629
2. Transferor's Maine office address is 543 Allen Avenue, Portland, Maine 04103
3. Transferor's mailing address: See Above.

The above-named entity understands that this certification may be disclosed to the Executive Director by the transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

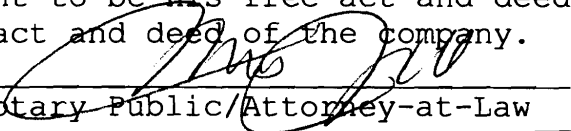
5-15-09  
Date

MADD, LLC  
BY:   
Leonard Anderson, Manager

STATE OF MAINE  
CUMBERLAND, ss.

May 15, 2009

Personally appeared the above named Leonard Anderson, and acknowledged the above instrument to be his free act and deed in his said capacity and the free act and deed of the company.

  
Notary Public/Attorney-at-Law

NOTICE PURSUANT TO 38 M.R.S.A. §563(6)

MADD, LLC, as seller of the real property located at 2 Garsoe Drive, Portland, Maine (the "Premises"), hereby files this written notice with Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala, as purchaser(s) of the Premises, in accordance with 38 M.R.S.A. §563(6). (Check A or B, as appropriate, and if B is checked, complete the information in B-1 and B-2.)

- A. To the best of my knowledge, no underground storage facility for the storage of oil or petroleum products exists on the Premises.
- B. An underground oil storage facility exists on the Premises.

B-1. The State of Maine Registration numbers for all oil storage facilities on the Premises are as follows:

No. \_\_\_\_\_  
No. \_\_\_\_\_  
No. \_\_\_\_\_

(Use additional space at bottom of this page if necessary.)

B-2. (Check one) The oil storage facilities have  have not  been abandoned in place (taken out of service for more than 12 months), pursuant to 38 M.R.S.A. Section 566-A.

B-3. The facility is subject to regulation, including registration requirements, by the Maine Department of Environmental Protection under 38 M.R.S.A. §§561 et. seq.

MADD, LLC

BY:   
Leonard Anderson  
Its: Manager

Date: 5/15/09



MADD, LLC

**ACTION TAKEN BY UNANIMOUS WRITTEN  
CONSENT OF MEMBERS AND MANAGERS WITHOUT MEETING**

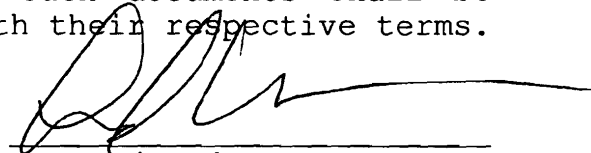
Pursuant to 31 M.R.S.A. § 651, the undersigned being all the Members of MADD, LLC, hereby consent to and approve the adoption of, and hereby adopt, the actions below in the form of the following votes the effective date of which shall be May 15, 2009:

VOTED: That the Company be and hereby is authorized to sell the real estate located at 2 Garsoe Drive in Portland, Maine, to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammon and Joseph D Sala for the sale price of \$120,000.00 pursuant to a purchase and sale agreement dated April 13, 2009.

VOTED: That the Company, by and through its Manager, Leonard Anderson, on behalf of the Company is hereby authorized and empowered to take all action necessary and to execute and deliver any and all documents reasonably deemed necessary to consummate the above transaction and that upon his due execution and delivery, such documents shall be binding in accordance with their respective terms.

Dated:

5/15/09

  
Leonard Anderson

**Ticor Title Insurance Company**

**Notice of Availability of Owner's Title Insurance**

Case No. 683.00

Date: April 21, 2009

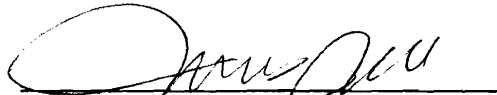
To: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala

Regarding property located at 2 Garsoe Drive, Portland, Maine

A Mortgagee's Policy of title insurance insuring the title to the property referenced above is being issued to your mortgage lender, but that policy does not provide title insurance coverage to you.

You may obtain an Owner's Policy of title insurance which provides title insurance coverage to you. The additional cost to you for an Owner's Policy of title insurance in the amount of \$120,000.00 is \$360.00, if you request it at this time.

If you are uncertain as to whether you should obtain an Owner's Policy of title insurance, you are urged to seek independent advice.

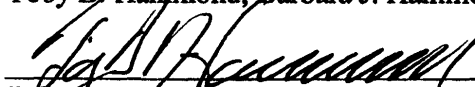
  
Thomas F. Jewell, Agent

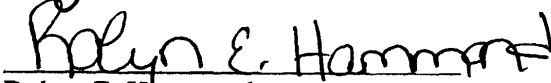
I/We do request an Owner's Policy of title insurance. (Payment of the additional premium is attached hereto.)

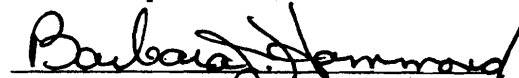
I/We do not request an Owner's Policy of title insurance.

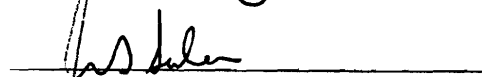
Date: \_\_\_\_\_

Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Borrowers:

  
Toby B. Hammond

  
Robyn E. Hammond

  
Barbara J. Hammond

  
Joseph D. Sala

TICOR TITLE INSURANCE COMPANY

Owners(s) and Purchaser(s) Affidavit and Indemnity

On oath, the undersigned depose(s) and state(s) that in connection with the premises located at 2 Garsoe Drive, Portland, Maine, which is being conveyed today by MADD, LLC to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala:

OWNERS AFFIDAVIT AND INDEMNITY: (I) (We) certify that there are no tenants or other occupants presently in possession of the premises (except as shown on Exhibit A attached) and that there is no person to whom a debt is due for personal labor or services performed or materials used in the erection, alteration, repair, improvement or removal of a building or other structure upon the above land and buildings, by virtue of an agreement with, or by the consent of the undersigned, or of a person having authority from or rightfully acting for the undersigned in promising or furnishing such labor, services or materials, for work actually performed during the past one hundred twenty (120) days, and have no knowledge of any real estate licensee (broker or agent) who may assert a lien against the property based on nonpayment of professional services rendered by the licensee to facilitate the sale of the property. In the event that a debt is due for such work done or materials used or services rendered, the undersigned hereby agree(s) to indemnify and hold harmless the Buyer(s), Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

Dated at Portland, State of Maine, this 15 day of May, 2009.

MADD, LLC, Owner of the Property

BY: [Signature]  
Leonard Anderson, Manager

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009.

[Signature]  
Notary Public/Attorney-at-Law  
Expiration Date of Commission: \_\_\_\_\_

PURCHASER(S) AFFIDAVIT: (I)(We) hereby certify that (I)(we) have not received notice of any lien or potential lien filed or to be filed by a Real Estate Licensee who provided professional services to facilitate the sale of the property described above. In the event that a debt is due for such services rendered, the Undersigned hereby agree(s) to indemnify and hold harmless Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

By: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Purchasers of the property.

[Signature] [Signature] [Signature] [Signature]  
Toby B. Hammond Barbara J. Hammond Robyn E. Hammond Joseph D. Sala

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009.

[Signature]  
Notary Public/Attorney-at-Law  
Expiration Date of Commission: \_\_\_\_\_

**JEWELL & BOUTIN, P. A.**  
**Attorneys at Law**  
477 Congress Street  
Suite 1104  
Portland, ME 04101-3427

Thomas F. Jewell  
Daniel W. Boutin

Email: [tjewell@jewellandboutin.com](mailto:tjewell@jewellandboutin.com)  
Email: [dboutin@jewellandboutin.com](mailto:dboutin@jewellandboutin.com)

Telephone: 207-774-6665  
Fax: 207-774-1626

May 8, 2009

Toby Hammond  
P.O. Box 488  
Naples, Maine 04055

Leonard Anderson  
MADD, LLC  
543 Allen Avenue  
Portland, Maine 04103

Re: Sale of 2 Garsoe Drive, Portland, Maine

Dear Toby and Len:

I have been asked to prepare documents evidencing transfer of ownership interest in the above property from MADD, LLC to Toby Hammond. Ideally, you should engage separate attorneys to represent your respective interests. In an effort to reduce costs, and because you have worked out an agreement between you without attorneys, you have asked me to prepare all the documents in this closing.

I have prepared these documents to conform to the directions I have received from each party with whom I have discussed this. There are too many potential conflicts of interest to represent any particular party in this transaction. Therefore, I am preparing the documents as a "mere scrivener," without representation of any party's particular interests. If you have any concerns with the effect these transactions will have on your position, you should engage independent counsel.

At this juncture, I have not been asked to provide any advice on the potential tax consequences of this transaction and trust that you have heeded my suggestion that you discuss this matter with an accountant.

I ask that each of you sign a copy of this letter indicating that you have reviewed this disclosure and that you understand and consent to my limited role.

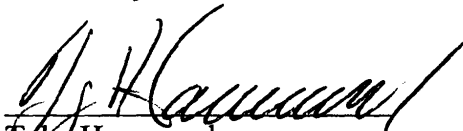
Yours truly,

  
Thomas F. Jewell, Esq.


TFJ/maj

I/We acknowledge that I/we have read this disclaimer and understand that the legal services being provided to me/us in this transaction are limited only to that stated above. I/We further acknowledge that I/we am/are not represented by counsel in this transaction, grant my/our consent to proceed and understand that I/we do so at my/our own risk.

5/13/09  
Date

  
Toby Hammond

5-15-09  
Date

MADD, LLC  
BY:   
Leonard Anderson  
Its: Manager

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	386A B029001
<b>Location</b>	34 GARSOE DR
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	BELAIR NORMAN D & PAMELA J BELAIR JTS 34 GARSOE DR PORTLAND ME 04103
<b>Book/Page</b>	25176/122
<b>Legal</b>	386A-B-29 GARSOE DR 16-40 21633 SF

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$95,900	\$171,200	\$267,100

**Property Information**

<b>Year Built</b> 2000	<b>Style</b> Ranch	<b>Story Height</b> 1	<b>Sq. Ft.</b> 1784	<b>Total Acres</b> 0.497	
<b>Bedrooms</b> 3	<b>Full Baths</b> 2	<b>Half Baths</b>	<b>Total Rooms</b> 6	<b>Attic</b> None	<b>Basement</b> Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
-------------	-----------------	-------------------	-------------	--------------	------------------

**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
06/07/2007	LAND + BLDING	\$370,000	25176-122
01/01/2003	LAND + BLDING	\$242,500	18642-122
12/18/2001	LAND + BLDING	17095-157	
11/15/2000	LAND	\$231,252	15849-074

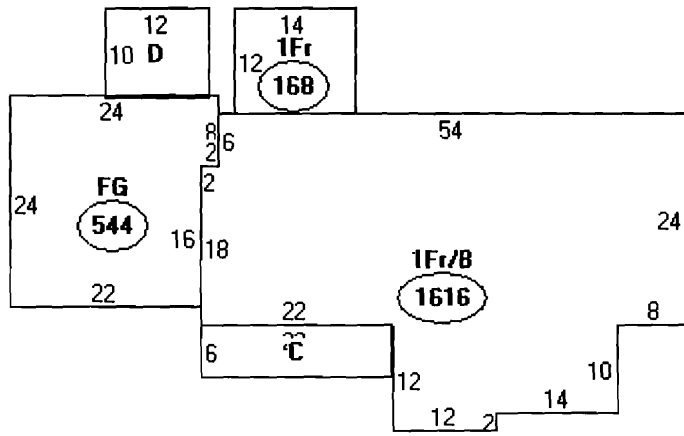
**Picture and Sketch**

<u><a href="#">Picture</a></u>	<u><a href="#">Sketch</a></u>	<u><a href="#">Tax Map</a></u>
--------------------------------	-------------------------------	--------------------------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



Descriptor/Area

A: 1Fr/B  
1616 sqft

B: FG  
544 sqft

C: OFF  
132 sqft

D: WD  
120 sqft

E: 1Fr  
168 sqft

≥ 2530





**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2006-0188

Application I. D. Number

9/29/2003

Application Date

**Amendment to Plan - Auburn Pines Su**  
Project Name/Description

**Jordan Charlene M &**

Applicant

**34 Garsoe Dr , Portland, ME 04103**

Applicant's Mailing Address

**34 - 34 Garsoe Dr, Portland, Maine**

Address of Proposed Site

**386A B029001**

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

**Applicant Ph: (207) 632-3175 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units

Acreeage of Site

**R2**

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 9/29/2006

**Zoning Approval Status:**

Reviewer Marge S. - Quap.

- Approved  Approved w/Conditions  
See Attached  Denied

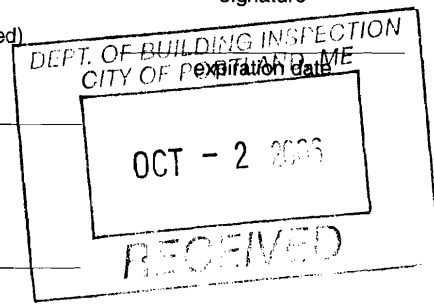
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance \_\_\_\_\_  
signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | signature       |
| <input type="checkbox"/> Final Inspection                   | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  | _____           |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



**MITCHELL & ASSOCIATES**  
LANDSCAPE ARCHITECTS

September 27, 2006

Mr. William Needleman, Senior Planner  
Department of Planning & Development  
City of Portland  
389 Congress Street  
Portland, Maine 04101

**RE: Auburn Pines Subdivision Amendment  
Lot #29**

Dear Bill:

On behalf of Philip and Charlene Jordan, I am writing to request an amendment to Auburn Pines Subdivision, located at 34 Garsoe Drive, Portland. Auburn Pines was approved by the Portland Planning Board on July 13, 1999.

Specifically, the owners of lot #29, Mr. & Mrs. Jordan, request the approval to divide their lot into two lots, lot 29A and lot 29B. This division is being proposed so that Mr. & Mrs. Jordan can convey the second lot to their daughter.

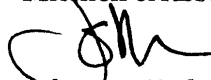
The lot division has been configured to conform with all zoning requirements of the R2 Residential district as well as creating a buildable window for a single family home. An updated wetland delineation was performed by Dale Brewer of Statewide Surveys, Inc. on August 19, 2006. Refer to the attached wetland report.

Please find enclosed six (6) copies of the following information:

1. Site Plan Application
2. Copy of Deed
3. Wetland Report
4. Amended Subdivision Plan

Should you have any questions or need further information, please do not hesitate to call. Thank you for your consideration to this matter.

Sincerely,  
Mitchell & Associates

  
John D. Mitchell

Enclosure

cc: Philip and Charlene Jordan

THE STAPLES SCHOOL  
70 CENTER STREET  
PORTLAND, MAINE 04101

Telephone (207) 774-4427  
Fax (207) 874-2460  
Website [www.mitchellassociates.biz](http://www.mitchellassociates.biz)

# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <b>34 GARSOE DRIVE</b>		Zone: <b>R2</b>
Total Square Footage of Proposed Structure: <b>N.A.</b>		Square Footage of Lot: <b>45,726 S.F.</b>
Tax Assessor's Chart, Block & Lot:  Chart# <b>386 A</b> Block# <b>B</b> Lot# <b>29</b>	Property owner's mailing address: <b>PHILIP &amp; CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103</b>	Telephone #: <b>632-3175</b>
Consultant/Agent, mailing address, phone # & contact person: <b>JOHN D. MITCHELL MITCHELL &amp; ASSOCIATES 70 CENTER STREET PORTLAND, ME 04101 TEL. 774-4427</b>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <b>PHILIP &amp; CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103 TEL. 632-3175</b>	Project name: <b>AUBURN PINES SUBDIVISION AMENDMENT</b>
<b>Fee For Service Deposit (all applications)</b> ___ (\$200.00)		
<b>Proposed Development (check all that apply)</b> <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots ___ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____ ) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
- Please see next page -		

**Minor Site Plan Review**

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

PHILIP & CHARLENE JORDAN  
 34 GARSOE DRIVE  
 PORTLAND, ME 04103  
 TEL. 632-3175

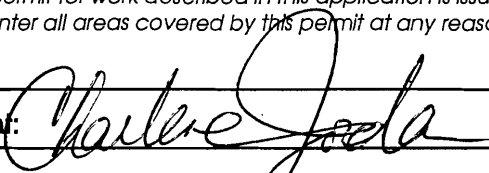
Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

**Amendment to Plans:** Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 9-27-06
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

**WARRANTY DEED**  
**Joint Tenancy**  
**Maine Statutory Short Form**

**KNOW ALL PERSONS BY THESE PRESENTS, That**

Susan W. Vines

of Portland, County of Cumberland, State of Maine,

for consideration paid, grant to **Charlene M. Jordan and Philip D. Jordan**

of Westbrook, County of Cumberland, State of Maine,

whose mailing address is PO Box 682, Westbrook, Maine 04098

with warranty covenants, as joint tenants the land in Portland, County of Cumberland, and State of Maine, described on the attached **EXHIBIT A.**

**WITNESS** our/my hand(s) and seal(s) this 31st day of December, 2002.

*Signed, Sealed and Delivered in  
presence of:*

*JM Amendolara*

*Susan W. Vines*  
Susan W. Vines

**STATE OF MAINE**

December 31, 2002

**COUNTY OF Cumberland**

Then personally appeared the above named Susan W. Vines and acknowledged the foregoing instrument to be his/her/their free act and deed.

Before me,

*JM Amendolara*

Notary Public

Printed Name: JAMES M. AMENDOLARA

My Commission Expires: ATTORNEY AT LAW

MAINE REAL ESTATE TAX PAID

EXHIBIT 'A'

A certain lot or parcel of land with any improvements thereon, in the City of Portland, County of Cumberland and State of Maine, and being Lot 29 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general notes and conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172. Also conveying an easement for access and installation and maintenance of utilities over and within the streets and way shown on said Plan.

Received  
Recorded Register of Deeds  
Jan 02, 2003 11:34:49A  
Cumberland County  
John B. O'Brien

STATEWIDE SURVEYS, INC.  
*LAND SURVEYORS & SOIL SCIENTISTS*  
35 Eastman Road Cape Elizabeth, ME. 04107  
Phone/Fax: 207 767 4200

06027W

**Mr. John Mitchell**  
Mitchell & Associates  
70 Center Street  
Portland, ME  
04107

Subject: **Jordan Wetlands Survey**  
**Garsoe Drive**  
**Portland, ME**

John,

As requested, we have completed the wetland delineation at the Jordan property in Portland, Maine. The property is shown as Lot #29 on the "Auburn Pines" Subdivision Plan provided by your office. The  $\pm 45,726 \text{ ft}^2$  (1.05 acre) lot has frontage on Auburn Street and Garsoe Drive and currently has a home located in the northerly portion of the lot. We established the perimeter in the field using the "Auburn Pines" survey plan prepared by Pinkham & Greer. We also used other supporting reference data including: the USDA *Soil Survey of Cumberland County*, and the *National Wetlands Inventory Map (NWI)*. We have prepared the following summary based on a field visit on August 19<sup>th</sup> and the reference materials used. We understand this information will be used for future planning for the property.

GPS equipment was used to map the project limits, wetland flagging and natural features in the field. These features are shown on the wetlands plan previously submitted to your office. Two wetlands were delineated at the site and designated as Wetland "A" (6,344  $\text{ft}^2$ ) and Wetland "B" (689  $\text{ft}^2$ ). The wetlands were further marked with sequentially numbered blue flags along the wetland/upland boundary to the project limits. The wetland boundaries have also been registered to the "Auburn Pines" subdivision plan. It should be noted that the wetland flagging was located with GPS equipment and could vary from actual survey locations.

The lot generally drains southerly toward the ditch along Auburn Street. The open areas of the site are "smooth" and appear to have been graded previously. There are scattered wheel ruts evident, possibly from timber harvesting or the grading efforts. The wetlands were previously delineated by

others as wetlands were shown on the "Auburn Pines" Subdivision Plan. We did not recover the previous wetland flagging in the field and re-delineated the jurisdictional wetlands at the site during our site visit. The previous wetland survey was likely completed prior to the construction involved with the "Auburn Pines" project.

The surrounding uplands have a limited variety of species including white oak (*Quercus alba*), red oak (*Quercus rubra*), white pine (*Pinus strobus*) and paper birch (*Betula papyrifera*) trees and saplings. These upland areas were mapped with the Elmwood series underlying the site by the SCS.

## 1.0 Wetland Characteristics

Three parameters are needed for jurisdictional wetlands, specifically the presence of hydric soils, the prevalence of hydrophytes, and indicators of wetland hydrology. Wetland "A" and Wetland "B" have been classified from field survey and further described below. Our observations of the natural wetlands characteristics are consistent with accepted wetland parameters found in the 1987 *Corps of Engineers Wetlands Delineation Manual* (ACOE) and addressed in the following:

- The wetland soils were poorly drained and "hydric" as defined in *Field Indicators for Identifying Hydric Soils in New England*, however intermixed very poorly or somewhat poorly drained soils may also exist. The USDA Soil Conservation Service formerly mapped the soils in the *Soil Survey of Cumberland County* as the poorly drained, Scantic silt loam (*Sn*). Our observations also found poorly drained soils resembling the Scantic Series.
- These freshwater (palustrine) wetlands have forested (*PFO-1*) areas in addition to intermixed scrub-shrubs (*PSS*) and open emergent areas (*PEM*). The wetlands typically have scattered red maple (*Acer rubrum*), gray birch (*Betula populifolia*) and american elm (*Ulmus americana*) trees and saplings with scattered speckled alder (*Alnus incana*), northern arrow-wood (*Viburnum dentatum*), broadleaf meadowsweet (*Spiraea latifolia*) and winterberry (*Ilex verticillata*) shrubs with sensitive fern (*Onoclea sensibilis*), flat-topped aster (*Aster umbellatus*), rattlesnake grass (*Glyceria canadensis*), pointed broom sedge (*Carex scoparia*), goldenrods (*Solidago spp.*) and sphagnum mosses in the herbaceous layer.
- Wetland hydrology was evident with saturated conditions in the mapped wetland depressions of the "pit and mound" topography. The *USGS Quadrangle Sheet* of the area does not indicate any perennial watercourses on the property.

## 2.0 Considerations and Recommendations

Wetlands at the site are regulated at the state and federal level in addition to the adopted local ordinances of the City of Portland. Wetlands have limitations regarding land use to ensure protection to the natural resource. We understand permit/s will be required to discharge fill exceeding 4,300 ft<sup>2</sup> into wetlands not classified as "*Wetlands of Special Significance*". However, the ordinances should be reviewed and followed prior to any new proposed use affecting the wetland areas. We recommend contacting the Code Enforcement Officer (*CEO*) to determine the application procedure



once the project has been designed. Further review of these ordinances will determine allowable practices and may identify any potential limitations in addition to protecting natural resources. It is unknown if the current land-use required any environmental permits or the dates they may have been obtained. Of note, further wetland alterations on this lot may be considered along with any previous impacts required for the "Auburn Pines" project, possibly resulting in a higher level of permitting with the regulatory agencies.

Wetlands are also regulated by the MDEP under the provisions of the Natural Resources Protection Act (NRPA- 38 M.R.S.A. §480 A-Y) and the associated Wetland Protection Rules (Chapter 310). Our understanding of current regulations would allow for filling wetlands not identified as "*Wetlands of Special Significance*" to the threshold limit of 4,300 ft<sup>2</sup> total impact. We believe these wetlands are "not" of special significance according to the regulations.

Wetlands at the site are also regulated by the Army Corps of Engineers (ACOE) under the provisions of Section 404 of the Clean Water Act. The ACOE will review the project should permitting be required in conjunction with the proposed project. Impacts to wetlands resulting from the placement of fill are addressed by the ACOE with a Programmatic General Permit for the State of Maine. Additional information may also be required as it is determined on a case-by-case basis. Please review the *Department of the Army Programmatic General Permit for the State of Maine, and the Natural Resources Protection Act (NRPA)* for additional regulations and permitting information.

We did not observe or identify any rare, threatened or endangered species (*RTE*) at the site. Our field survey was completed during the timeframe to make vernal pool determinations, however all areas were "dry" and not representative of significant vernal pool habitat. Further, the area appears to be manmade or at least altered in and adjacent to the road ditch.

We recommend implementing Best Management Practices (BMPs) prior to any site work and compliance with all environmental regulations. In the event you need further assistance, I would be happy to assist you with wetland permitting applications that may be required for future development plans. We trust this wetland report will aid in the project design and wish the best for your project.

Sincerely,

STATEWIDE SURVEYS, INC.



**Dale A. Brewer**

**President**

SWS/2006/WetlandSurveys/06027W

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1142	Issue Date:	CBL: 386A B040001
-----------------------	-------------	----------------------

Location of Construction: 14 GARSOE DR	Owner Name: HAMMOND TOBY B ETAL JTS	Owner Address: PO BOX 488	Phone:
Business Name:	Contractor Name: Quality Insulation	Contractor Address: 65 Downeast Drive Yarmouth	Phone 2078467745
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R5

Past Use: Single Family Home	Proposed Use: Single Family Home - install a Lennox Direct Vent Hearth	Permit Fee: \$40.00	Cost of Work: \$1,200.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: HVAC IRC 2003 ST ME GAS Regs	

Proposed Project Description: install a Lennox Direct Vent Hearth	Signature:	Signature: <i>Jm</i> 10/16/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 10/14/2009	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>OK</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>Jm</i> 10/16/09	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 10/16/09
---	--	---	--

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

**PERMIT ISSUED**

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE **OCT 16 2009** PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE **City of Portland** PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1142	<b>Date Applied For:</b> 10/14/2009	<b>CBL:</b> 386A B040001
------------------------------	--	-----------------------------

<b>Location of Construction:</b> 14 GARSOE DR	<b>Owner Name:</b> HAMMOND TOBY B ETAL JTS	<b>Owner Address:</b> PO BOX 488	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Quality Insulation	<b>Contractor Address:</b> 65 Downeast Drive Yarmouth	<b>Phone</b> (207) 846-7745
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> HVAC	

<b>Proposed Use:</b> Single Family Home - install a Lennox Direct Vent Hearth	<b>Proposed Project Description:</b> install a Lennox Direct Vent Hearth
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/16/2009

**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/16/2009

**Note:** **Ok to Issue:**

- 1) The installation must comply with the State of Maine Gas Regulations.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

PERMIT ISSUED

OCT 16 2009

City of Portland



FILL IN AND SIGN WITH INK

PERMIT ISSUED

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

OCT 16 2009

386-ATB 40

City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 2 GARSOE DR. PORTLAND Use of Building HOME Date 10/14/09  
 Name and address of owner of appliance TOBY HAMMOND  
PO BOX 458 NAPLES, ME  
 Installer's name and address QUALITY INSULATION  
65 DANWEST DR. YARMOUTH, ME. Telephone 207-846-7745

### Location of appliance:

- Basement
- Floor
- Attic
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: LENOX

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # \_\_\_\_\_
- Solid Fuel # \_\_\_\_\_
- Oil # \_\_\_\_\_
- Gas # PNT 4272
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
Factory built \_\_\_\_\_
- Metal  
Factory Built U.L. Listing # \_\_\_\_\_
- Direct Vent  
Type METAL UL# \_\_\_\_\_

### Type of Fuel Tank:

**RECEIVED**  
**OCT 14 2009**  
 Dept. of Building Inspections  
 City of Portland Maine

Gas

Size of Tank \_\_\_\_\_

Number of Tanks \_\_\_\_\_

Distance from Tank to Center of Flame \_\_\_\_\_ feet.

Cost of Work: \$ 1200.00

Permit Fee: \$ 7.00

### Approved

### Approved with Conditions

Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

See attached letter or requirement

Inspector's Signature \_\_\_\_\_

Date Approved \_\_\_\_\_

Signature of Installer Tony Anderson

White - Inspection

Yellow - File

Pink - Applicant's

Gold - Assessor's Copy

# LENNOX®

HEARTH PRODUCTS

RETAIN THESE INSTRUCTIONS  
FOR FUTURE REFERENCE

This appliance may be installed in an aftermarket permanently located, manufactured home (USA only) or mobile home, where not prohibited by local codes. This appliance is only for use with the type of gas indicated on the rating plate. This appliance is not convertible for use with other gases, unless a certified kit is used.

**WARNING: IF THE INFORMATION IN THIS MANUAL IS NOT FOLLOWED EXACTLY, A FIRE OR EXPLOSION MAY RESULT CAUSING PROPERTY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE.**

**FOR YOUR SAFETY:** Do not store or use gasoline or other flammable vapors or liquids in the vicinity of this or any other appliance.

**FOR YOUR SAFETY:** What to do if you smell gas:

- DO NOT light any appliance.
- DO NOT touch any electrical switches.
- DO NOT use any phone in your building.
- Immediately call your gas supplier from a neighbor's phone. Follow your gas suppliers instructions.
- If your gas supplier cannot be reached, call the fire department.

Installation and service must be performed by a qualified installer, service agency or the gas supplier.



OMNI-Test Laboratories, Inc.

OTL Report No. 116-F-13-4

## INSTALLATION INSTRUCTIONS

### DIRECT VENT MPD-33/35/40/45 SERIES

VENTED GAS FIREPLACE HEATERS - DIRECT VENT MODELS  
P/N 850,014M REV. L 10/2004

#### MODELS

##### Millivolt Models

MPDT-3328CNM	MPD-4035CNM
MPDT-3328CPM	MPD-4035CNM-B
MPDR-3328CNM	MPD-4035CPM
MPDR-3328CPM	MPD-4540CNM
MPD-3530CNM	MPD-4540CNM-B
MPD-3530CNM-B	MPD-4540CPM
MPD-3530CPM	

##### Electronic Models

MPDT-3328CNE	MPD-4035CNE
MPDT-3328CPE	MPD-4035CPE
MPDR-3328CNE	MPD-4540CNE
MPDR-3328CPE	MPD-4540CPE
MPD-3530CNE	
MPD-3530CPE	

**AVERTISSEMENT: ASSUREZ-VOUS DE BIEN SUIVRE LES INSTRUCTIONS DONNÉES DANS CETTE NOTICE POUR RÉDUIRE AU MINIMUM LE RISQUE D'INCENDIE OU POUR ÉVITER TOUT DOMMAGE MATÉRIEL, TOUTE BLESSURE OU LA MORT.**

**POUR VOTRE SÉCURITÉ:** Ne pas entreposer ni utiliser d'essence ni d'autre vapeurs ou liquides inflammables dans le voisinage de cet appareil ou de tout autre appareil.

**POUR VOTRE SÉCURITÉ:** Que faire si vous sentez une odeur de gaz:

- Ne pas tenter d'allumer d'appareil.
- Ne touchez à aucun interrupteur. Ne pas vous servir des téléphones se trouvant dans le bâtiment où vous vous trouvez.
- Evacuez la pièce, le bâtiment ou la zone.
- Appelez immédiatement votre fournisseur de gaz depuis un voisin. Suivez les instructions du fournisseur.
- Si vous ne pouvez rejoindre le fournisseur de gaz, appelez le service des incendies.

L'installation et service doit être exécuté par un qualifié installateur, agence de service ou le fournisseur de gaz.

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

**VERTICAL VENT FIGURES/TABLES**

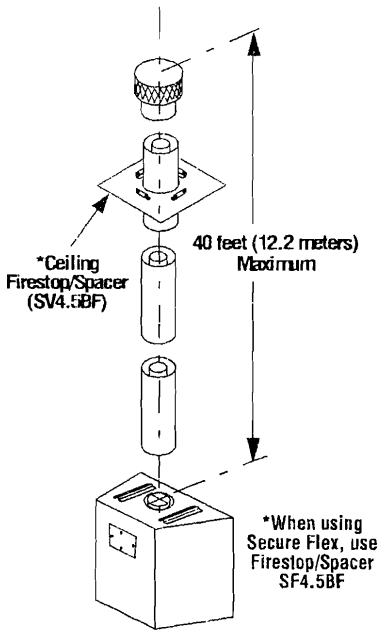
*Note: Secure Vent (rigid vent pipe) is shown in the figures; Secure Flex (flexible vent pipe) may also be used.*

**WARNING: UNDER NO CIRCUMSTANCES MAY SEPARATE SECTIONS OF CONCENTRIC FLEXIBLE VENT PIPE BE JOINED TOGETHER.**

*Note: It is very important that the horizontal/inclined run be maintained in a straight (no dips) and recommended to be in a slightly elevated plane, in a direction away from the fireplace of 1/4" rise per foot (20 mm per meter) which is ideal, though rise per foot run ratios that are smaller are acceptable all the way down to at or near level.*

*Note: SV4.5BF (Secure Vent), SF4.5BF (Secure Flex) firestop/spacer must be used anytime vent pipe passes through a combustible floor or ceiling. SV4.5HF (Secure Vent), SF4.5HF (Secure Flex) firestop/spacer must be used anytime vent pipe passes through a combustible wall.*

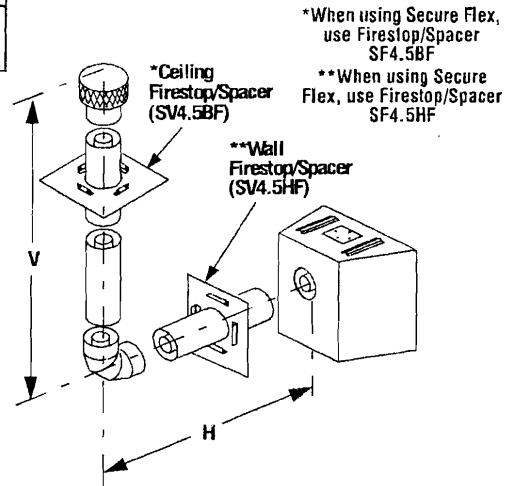
*Note: Two 45 degree elbows may be used in place of one 90 degree elbow. The same rise to run ratios, as shown in the venting figures for 90 elbows, must be followed if 45 degree elbows are used.*



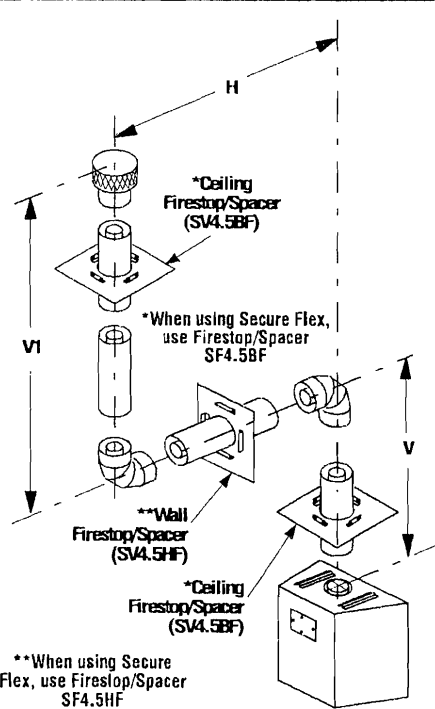
**Figure 27 - Top Vent - STRAIGHT**

V Minimum		H Maximum	
feet	(m)	feet	(m)
1	(0.305)	2	(0.61)
2	(0.61)	4	(1.222)
3	(0.914)	6	(1.86)
4	(1.22)	8	(2.4)

V + H = 40 feet (12.4 m) Max.  
H = 8 feet (2.4 m) Max.



**Figure 28 - Rear Vent - ONE 90 DEGREE ELBOW**



V Minimum		H Maximum	
feet	(meters)	feet	(meters)
1	(0.305)	5	(1.52)
2	(0.610)	10	(3.1)
3	(0.914)	15	(4.65)
4	(1.22)	20	(6.2)

V + V<sub>1</sub> + H = 40 feet (12.4 m) Max.  
H = 20 feet (6.2 m) Max.

**Figure 29 - Top Vent - TWO 90 DEGREE ELBOWS**

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE.

**VERTICAL VENT FIGURES/TABLES**  
(continued)

TABLE D					
V Minimum		H Maximum		H+H <sub>1</sub> Maximum	
feet	(m)	feet	(m)	feet	(m)
1	(0.305)	2	(0.610)	5	(1.52)
2	(0.610)	4	(1.22)	10	(3.1)
3	(0.914)	6	(1.86)	15	(4.65)
4	(1.22)	8	(2.48)	20	(6.2)

$V+V_1+H+H_1 = 40$  feet (12.4 m) Max.  
 $H = 8$  feet (2.48 m) Max.  
 $H + H_1 = 20$  feet (6.2 m) Max.

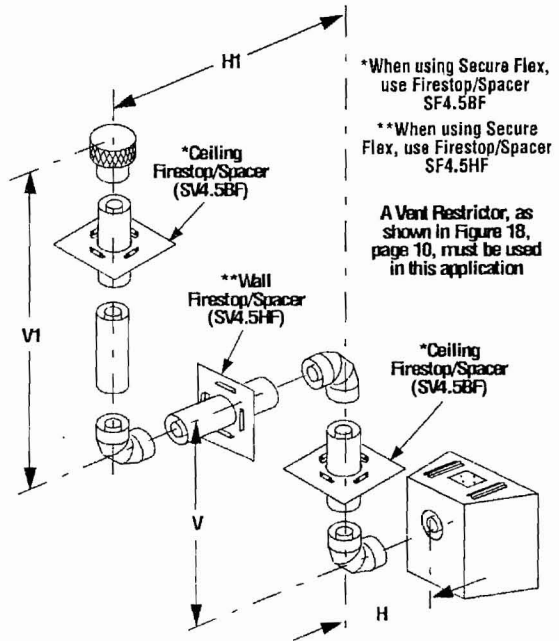


Figure 30 - Rear Vent - THREE ELBOWS

TABLE E			
V Minimum		H + H <sub>1</sub> Maximum	
feet	(m)	feet	(m)
1	(0.305)	5	(1.52)
2	(0.610)	10	(3.1)
3	(0.914)	15	(4.65)
4	(1.22)	20	(6.2)

$H + H_1 = 20$  feet (6.2 m) Max.  
 $V+V_1+H+H_1 = 40$  feet (12.4 m) Max.

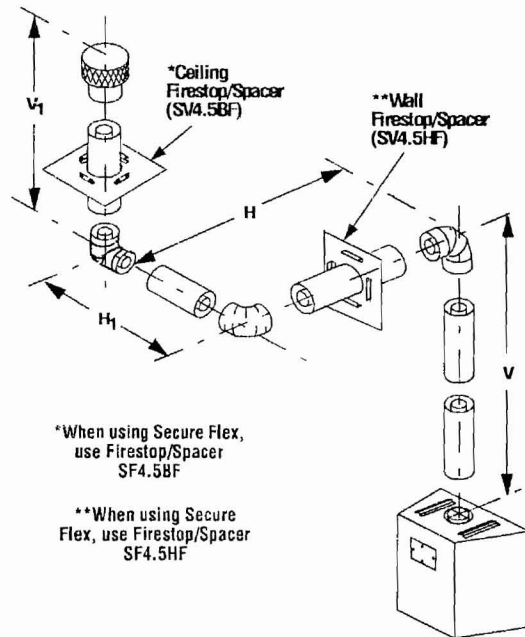


Figure 31 - Top Vent - THREE ELBOWS

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

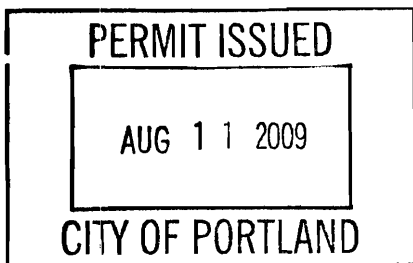
Permit No: 09-0808	Issue Date:	CBL: 386A B040001
-----------------------	-------------	----------------------

Location of Construction: 14 GARSOE DR	Owner Name: HAMMOND TOBY B ETAL JTS	Owner Address: PO BOX 488	Phone: 207-637-2715
Business Name:	Contractor Name: Barry Gammon Sr.	Contractor Address: 295 Boothby Road Limington	Phone: 2076372715
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone:

Past Use: Single Family Home	Proposed Use: Single Family Home - Install Biasi Direct Vent Oil Burner	Permit Fee: \$110.00	Cost of Work: \$8,500.00	CEO District: 5
Proposed Project Description: Install Biasi Direct Vent Oil Burner		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i> Signature:	INSPECTION: Use Group: <i>U</i> Type: <i>HVAC</i> <i>TAC 2003</i> Signature:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: lmd	Date Applied For: 07/29/2009	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Mjnor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/10/09</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>8/10/09</i>
---	--	---	---



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0808	<b>Date Applied For:</b> 07/29/2009	<b>CBL:</b> 386A B040001
------------------------------	--	-----------------------------

<b>Location of Construction:</b> 14 GARSOE DR	<b>Owner Name:</b> HAMMOND TOBY B ETAL JTS	<b>Owner Address:</b> PO BOX 488	<b>Phone:</b> 207-637-2715
<b>Business Name:</b>	<b>Contractor Name:</b> Barry Gammon Sr.	<b>Contractor Address:</b> 295 Boothby Road Limington	<b>Phone</b> (207) 637-2715
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> HVAC	

<b>Proposed Use:</b> Single Family Home - Install Biasi Direct Vent Oil Burner	<b>Proposed Project Description:</b> Install Biasi Direct Vent Oil Burner
---	--

<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 08/10/2009
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 08/10/2009
<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>		
1) Installation shall comply with 2003 International Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules			



FILL IN AND SIGN WITH INK

09-0808

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



386A-B-040

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 14 GARSON 386A B040 Use of Building Res. Home Date 7-29-09

Name and address of owner of appliance \_\_\_\_\_

Installer's name and address Barry Gammon Sr  
A 295 Boothby Rd Limerick ME 04149 Telephone 207-637-2715

### Location of appliance:

- Basement
- Floor
- Attic
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid JUL 29 2009

Appliance Name: Biasi

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # 07158
- Solid Fuel # \_\_\_\_\_
- Oil # MS 20007141
- Gas # \_\_\_\_\_
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
Factory built \_\_\_\_\_
- Metal  
Factory Built U.L. Listing # \_\_\_\_\_
- Direct Vent  
Type Side shot Power Vent UL# \_\_\_\_\_

### Type of Fuel Tank

- Oil
- Gas

Size of Tank 275 Vert

Number of Tanks 1

Distance from Tank to Center of Flame 5 FT feet.

Cost of Work: \$ 8500

Permit Fee: \$ 110

### Approved

### Approved with Conditions

Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

See attached letter or requirement

Inspector's Signature

Date Approved

Signature of Installer Barry H Gammon Sr



Strengthening a Remarkable City, Building a Community for

PLANNING & DEVELOPMENT DEPARTMENT  
Housing & Neighborhood Services Division

Lisa Danforth, Administrative Assistant  
lmd@portlandmaine.gov

389 Congress Street • Portland, Maine 04101-3509  
www.portlandmaine.gov • Ph(207) 874-8703 • Fx874-8716 • TTY 874-89

Attn:



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

JUL 29 2009

July 29 20 09

Received from

Barry RAMMON, SR.

Location of Work

14 GARSOE DRIVE

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL) \_\_\_\_\_ Plumbing (I5)  Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other HVAC PLUMBING - 100.00  
HVAC 110.00

CBL: 386A-B-040

Check #: 1296 Total Collected \$ 210.00

No work is to be started until permit issued.  
Please keep original receipt for your records.

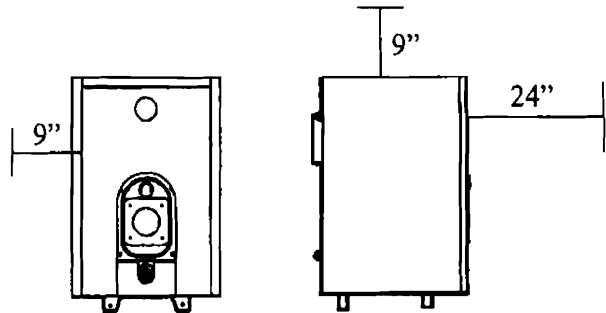
Taken by: L. Danforth

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

### 3. Boiler Location

The following are the minimum clearance to construction or combustible materials:

1. 9" from the top, sides, and rear of the boiler.
2. 18" from the flue pipe in any direction.
3. 24" from the front of the boiler.



### DANGER

The boiler must be located on a non-combustible floor. A smooth, level concrete floor is recommended. Locate the boiler as close as possible to the chimney. If boiler is installed on combustible flooring, consult local authorities for proper method of covering floor. The boiler must not be installed on carpeting.

**Caution: Do not store or use flammable materials, chemicals or flammable liquids, especially gasoline, in the vicinity of this heating appliance.**

If the boiler is to be installed in a "direct vent" configuration, please refer to the B10 Direct Vent Addendum supplied with the Direct Vent Kit.

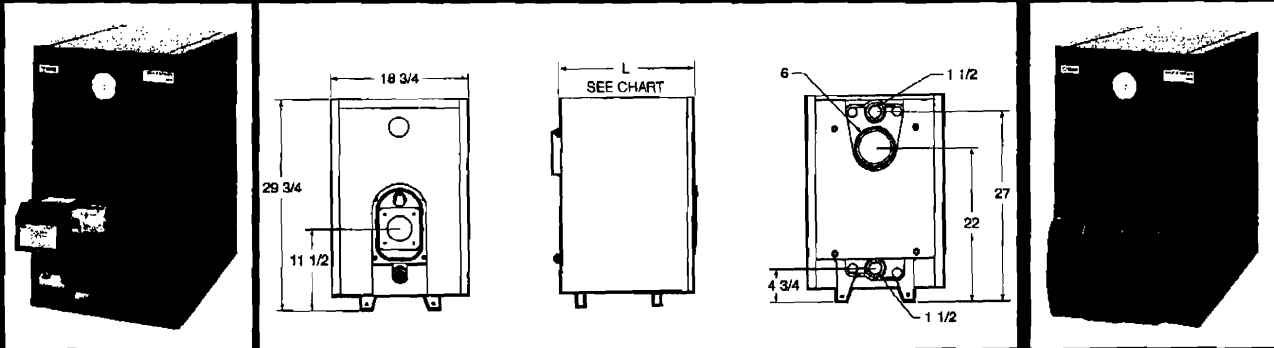
PROVISIONS FOR COMBUSTION AIR AND VENTILATION AIR MUST BE IN ACCORDANCE WITH SECTION 5.3, "AIR FOR COMBUSTION AND VENTILATION", OF THE NATIONAL FUEL GAS CODE, ANSI Z223.1, OR APPLICABLE PROVISIONS OF THE LOCAL BUILDING CODES. **DO NOT INSTALL THE BOILER UNTIL PROPER COMBUSTION AIR HAS BEEN ARRANGED.**

### WARNING

Boiler is certified as an indoor appliance. Do not install boiler outdoors or locate where it will be exposed to freezing temperatures

## BIASI...The Style of Warmth

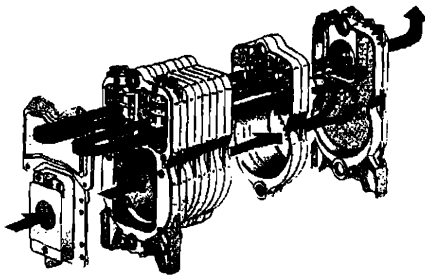
The B-10 boiler system has been heating residential buildings throughout the world for years. It has proven its fuel efficiency and durability in countries where fuel can cost up to four times as much as in the U.S. The same fuel saving technology is now available here in North America. With the three pass boiler design and low water content, heat is quickly supplied for your heating zones and hot water needs. Combined with an electronic optimizing control, you can achieve a fuel savings of up to 40% over conventional single pass boilers. You will also have peace of mind since the B-10 boiler package complies with ASME and UL standards and is IBR rated. The B-10 boiler system is the cost-competitive heat and hot water system of choice.



### The BIASI B-10 Residential Series

Boiler Model #	D.O.E. Heating Capacity	Gross Input Burner Capacity		Net I.B.R. Output (MBH)	AFUE Efficiency (%)	Water Content (Gals.)	Length (L) (Inches)	Weight (Lbs.)
		G.P.H.	MBH					
B-3	67	0.55	80	58	86.6	3.7	15.5	247
B-4	97	0.80	112	84	86.8	4.7	19.5	307
B-5	124	1.00	140	108	87.2	5.7	23.5	367
B-6	153	1.25	175	133	86.7	6.7	27.5	427
B-7	185	1.50	215	161	86.8	7.7	31.5	486
B-8	211	1.80	257	183	86.8	8.7	35.5	546
B-9	257	2.10	298	223	86.5	9.7	39.5	606

Maximum water working pressure: 58 PSI. (1) The burner input is based on oil with a heat value of 140,000 BTU/Gal.; (2) The net output ratings shown are based on piping and pick-up allowance of 1.15; (3) The efficiency ratings are based on a combustion condition of 12.5% CO<sub>2</sub>. Warranty: The BIASI B-10 boiler has a limited lifetime warranty. A copy is provided with each boiler or is available from your dealer. Built in accordance with the requirements of ASME boiler and pressure vessel code.



A 3-pass boiler design is the most efficient way to get the maximum amount of heat from the fuel, since it contains three times as much interior surface area (compared to a single-pass boiler) to extract heat from.

### Technical Advantages

- Gas or oil burner compatible
  - Easy access swing door
- No flue required; can be direct vented outdoors
- Low water content boiler heats up faster with less fuel
  - Efficient 3-pass heat exchanger boiler design
  - GG20 cast-iron construction for superior heat retention and durability
    - ASME, UL, and IBR listed
    - 58 psi cast-iron construction

Exclusively distributed by:

**QHT**  
INCORPORATED

Quincy Hydronic Technology, Inc. • 1-800-501-7697 • E-mail: info@qhtinc.com





## General Description

The SS2 is a mechanical vent system designed and listed for use with natural draft oil and gas heating equipment. It is factory assembled and wired. The SS2 automatically vents the flue gases from heating equipment to the outdoors. By recirculating indoor air with a cooling fan, surrounding combustible materials remain at safe temperatures. After each burner cycle the SS2

will continue to operate for an adjustable period to purge the heater and vent of residual flue gases. The SS2 features a safety system consisting of a Fan Proving Switch and a High Limit Temperature Control. These devices monitor the SS2 performance and will interrupt the main burner if a vent system malfunction is detected.

## Application Table

Verify that the total BTU/hr. input of the heating appliance(s) falls within the proper category listed below. All BTU/hr. capacity ranges are based on a maximum of 50 equivalent feet. To determine equivalent feet, add the total length of straight vent

pipe plus 10 feet for each 90 degree elbow and 5 feet for each 45 degree elbow. Vent runs of over 15 linear feet should use an approved insulated vent connector to prevent problems related to condensation.

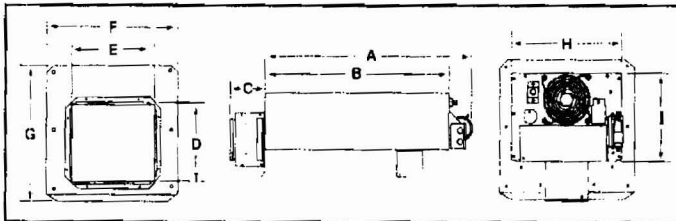
NOTE: BTU inputs less than 105,000 may require use of insulated vent pipe for linear runs exceeding 10 feet.

The SS2 Vent System may only be used on Flame Retention Head Burners.

MODEL	Flame Retention Oil Burner	Fan Assisted Natural & LP Gas	Atmospheric Natural & LP Gas	Max. Equivalent Feet
SS2	70,000-168,000*	Use SS2G	Use SS2G	50
SS2G	Not For Use On Oil Burners	40,000--150,000 BTU/hr	40,000--125,000 BTU/hr	50

\*Maximum capacity based on 13% CO<sub>2</sub> and Max. 500° F Inlet temperature. Consult factory for details.

## Dimensions



A	B	C	D	E	F	G	H	I
34-1/4"	28-1/2"	5-1/2"	7-3/4"	8"	12-1/2"	13-1/4"	10-1/2"	8-1/2"

Optional Burner Motor Post Purge Kit (Part No. 950-2043) includes oil solenoid and relay so burner motor blower operates during the SS2 post purge cycle.

## You Can Count On Tjernlund Venting Products With Confidence



Since 1938, Tjernlund has built a solid reputation throughout North America for innovative products and venting solutions. Through four generations of family ownership, your complete satisfaction continues to be our primary focus.

The SS2 is available from:



## TJERNLUND PRODUCTS, INC.

1601 Ninth Street White Bear Lake, MN 55110-6794  
 Phone: 651.426.2993 800.255.4208 Fax: 651.426.9547  
 Visit our web site: [www.tjernlund.com](http://www.tjernlund.com)

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THE NEXT  
GENERATION  
IN SIDEWALL VENTING



**SideShot**

*By Tjernlund Products*

# Side Wall Venting System for Oil and Gas Heating Equipment



**A breakthrough in reliable  
performance, ease of installation and  
care-free maintenance ... at an affordable price.**

# Affordable, trouble-free side wall venting has arrived

Venting for heating appliances doesn't have to go through the roof, either does the cost. In over one million installations, Thermund side wall vent systems have proven superior to other venting alternatives in performance and safety. And they significantly reduce heating installation costs.



The SS2's innovative design is the result of an extensive research and development program involving heating contractors and end users. Due to its simplicity and practical built-in features, the SS2 takes side wall venting to a higher level of installation and performance, convenience, operation and energy saving. Available at a very affordable price.

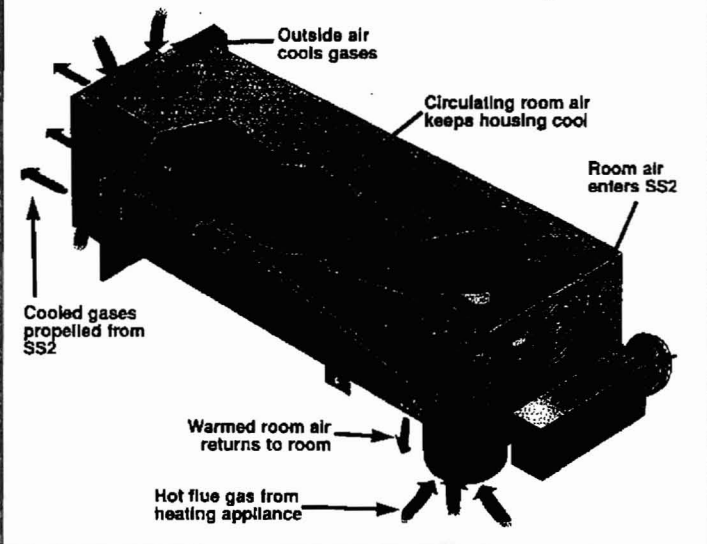
## Specify the SS2 for:

- New single family and multi-family homes
- Replacing electric rated chimneys

- Conversions from electric to oil or gas heat
- Replacements in all apartment buildings



## An Inside Look At The SS2 System





## Eliminates Chimney

Save costly installation or repair of chase and chimney by side wall venting. Also eliminating chase increases living space.

## Easy, One-Person Installation

There's no pre-installation assembly required. To minimize weight during installation, the entire mechanical/electrical portion of the SS2 slides out of the housing, then easily slides back to complete installation after housing has been installed. Wiring panel is conveniently located on back of unit.



1. Cut opening in exterior wall



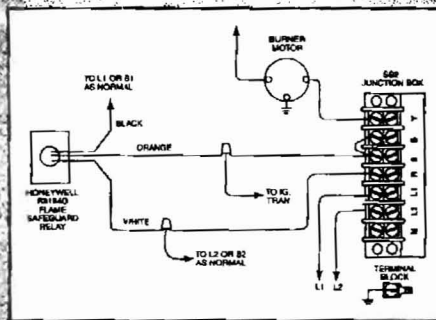
2. Unscrew and slide out mechanical portion



3. Install lightweight housing



4. Slide mechanical portion back into housing and secure



5. Wire burner circuit to terminal block (wiring shown)

## No Annual Maintenance

"Self-cleaning" impeller blades and sealed motor bearings make the SS2 virtually maintenance-free. If service is necessary, all parts are accessible from indoors.



Specially designed centrifugal impeller blades have no exposed corners where particulates can build up to cause reduced performance and out-of-balance condition.

## Two-Way Safety Protection

SS2's controls make side wall venting safer than a chimney.

1. Pressure switch — monitors draft and detects flue outlet blockages.
2. High limit — interrupts burner if the SS2 housing exceeds safe temperatures.



## Patented High Velocity Exhaust

All gases from heating appliances are propelled from the SS2 well beyond the exhaust hood to prevent staining of building exterior.



## Weather Protected Operating Components

All mechanical and electrical parts are easily accessible from inside, where they belong, away from potentially damaging cold or wet weather.

## Whisper Quiet

The SS2 doesn't touch joists or subfloor. Special vibration absorbing wall mounting bracket reduces operating noise to a minimum.

## Energy Efficient

Consumes less electricity than a 50 watt light bulb. To conserve energy and maximize comfort, room air is drawn into the SS2 for cooling, then recirculated back into the room.

## Zero Clearance

The SS2 may be installed in direct contact with combustible surfaces for increased flexibility to terminate above grade. Requires only an 8 1/2" x 10 1/2" opening through the wall.

## Indoor Draft Adjustment

Precise draft is achieved by simply turning knob located on back of unit.





## General Description

The SS2 is a mechanical vent system designed and listed for use with natural draft oil and gas heating equipment. This factory assembled and wired. The SS2 automatically vents the flue gases from heating equipment to the outdoors. By recirculating indoor air with a cooling fan, surrounding combustible materials remain at safe temperatures. After each burner cycle, the SS2

will continue to operate for an adjustable period to purge the heater and vent of residual flue gases. The SS2 features a safety system consisting of a Fan Proving Switch and a High Limit Temperature Control. These devices monitor the SS2 performance and will interrupt the main burner if a vent system malfunction is detected.

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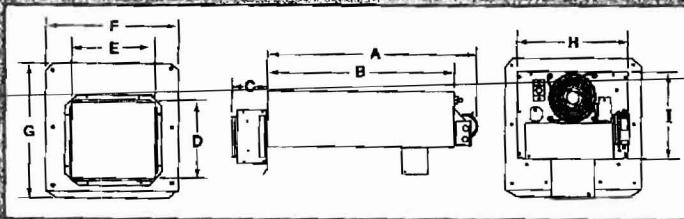
pipe plus 10 feet for each 90 degree elbow and 5 feet for each 45 degree elbow. Vent runs of over 15 linear feet should use an approved insulated vent connector to prevent problems related to condensation.

NOTE: BTU inputs less than 105,000 may require use of insulated vent pipe for linear runs exceeding 10 feet.

The SS2 Vent System may only be used on Flame Retention Head Burners.

MODEL	Flame Retention Oil Burner	Fan Assisted Natural & LP Gas	Atmospheric Natural & LP Gas	Max. Equivalent Feet
SS2	70,000-168,000*	Use SS2G	Use SS2G	50
SS2G	Not For Use On Oil Burners	40,000-150,000 BTU/hr	40,000-125,000 BTU/hr	50

## Dimensions



A	B	C	D	E	F	G	H	I
34-1/4"	28-1/2"	5-1/2"	7-3/4"	8"	12-1/2"	13-1/4"	10-1/2"	8-1/2"

Optional Burner Motor Post-Purge Kit (Part No. 850-2042) includes a solenoid and relay so burner motor blower operates during the SS2 post-purge cycle.

## You Can Count On Tjernlund Venting Products With Confidence



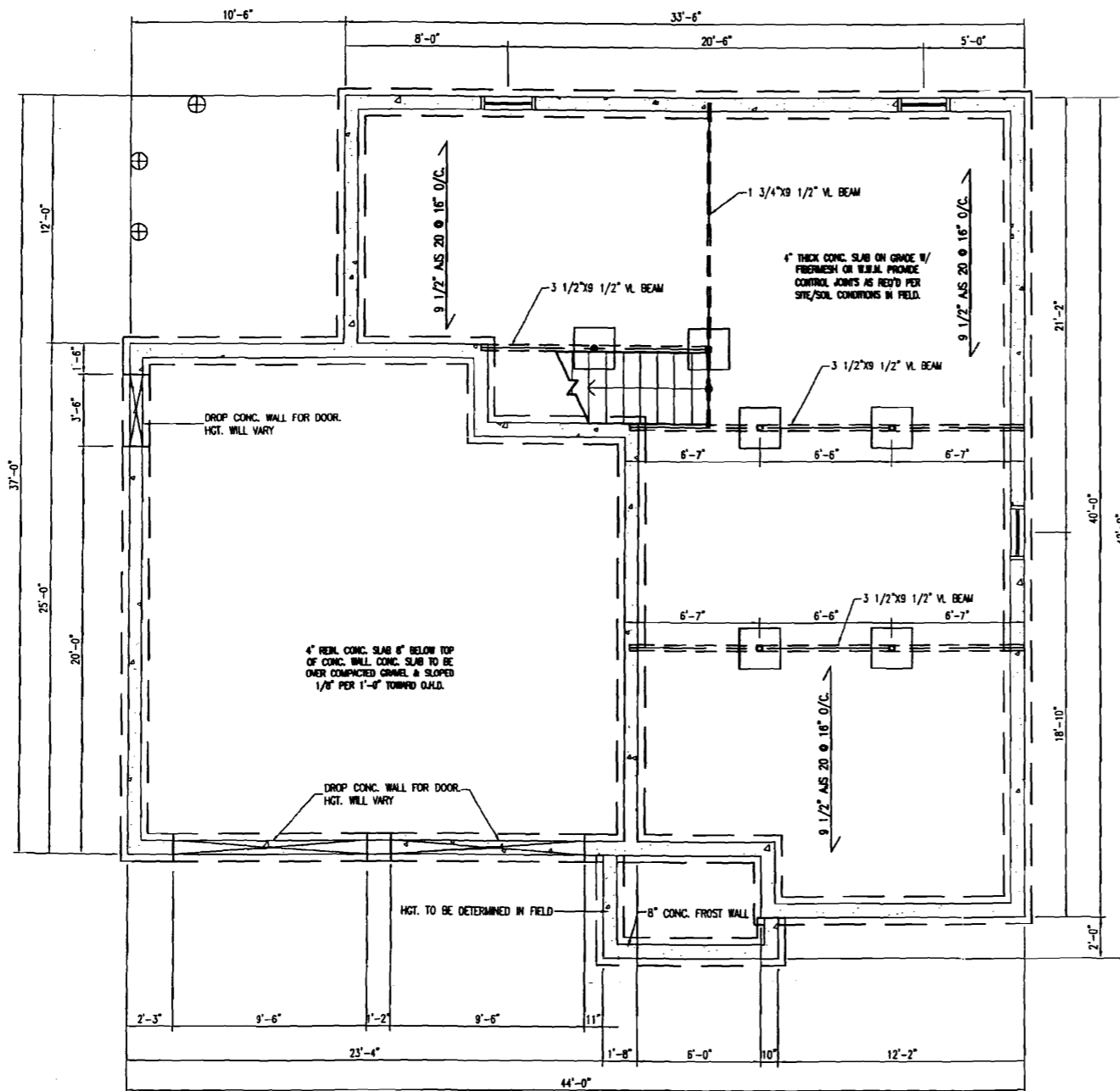
The SS2 is available from:

Since 1938, Tjernlund has built a solid reputation throughout North America for innovative products and venting solutions. Through four generations of family ownership, your complete satisfaction continues to be our primary focus.

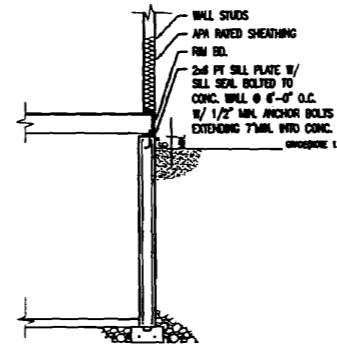


## TIERNLUND PRODUCTS, INC.

Year Ninth Street, White Bear Lake, MN 55118-6794  
 Phone: 651-426-2993 • 800-255-4208 • Fax: 651-426-9547  
 Visit our Web site: [www.tjernlund.com](http://www.tjernlund.com)



FOUNDATION PLAN

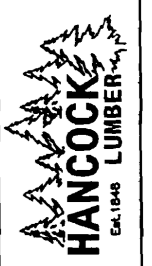


NOTE:  
1. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 1/2" VERTICAL TO 12" HORIZONTAL FOR A MINIMUM DISTANCE OF 8'-0". THIS CONDITION SHALL EXIST AFTER SETTLEMENT OF BACKFILL HAS OCCURRED.

TYPICAL FOUNDATION WALL DETAIL  
1/4" = 1'-0"

- FOUNDATION NOTES:**
- 4" DIA. CONTINUOUS PERIM. PERMEER DRAIN WITH HOLES ORIENTED DOWN. SLOPED TO DRAINAGE OR TO STORM SEWER OR DRYWELL.
  - ALL LULLY COLUMNS THIS SHEET ASSUMED TO BE TYP.
  - ALL INTERIOR FOOTINGS TO BE DESIGNED PER SOIL CONDITIONS. CONTRACTOR TO VERIFY.
  - DECK SUPPORTS ASSUMED TO BE 10" DIA. SCHEDULES. SOIL CONDITIONS TO DETERMINE FOOTING DESIGN. CONTRACTOR TO VERIFY.
  - FOR PLUMBING LOCATION/LAYOUT, SEE GROUND FLOOR PLAN.
  - CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND STEP FIN./TYS AS REQUIRED PER GRADE AND SOIL CONDITIONS.
  - BASEMENT FINISHES PER OWNER/CONT. (TO BE DETERMINED)
  - CONTRACTOR TO VERIFY GRADE IN FIELD BEFORE CONSTRUCTION OF TYPICAL FOUNDATION WALLS OR DRAINAGE BASEMENT. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. AND LOCAL CODES.

**CONSTRUCTION NOTE**  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD OF EXISTING STRUCTURE BEFORE NEW CONSTRUCTION IS STARTED. FOUNDATION DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/CONT. AND LOCAL CODES.



FOUNDATION PLAN  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE

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Revisions:


Date: 5/19/09  
Scale: 1/8" = 1'-0"  
Drawn By: MTA  
Project: 018041409  
Sheet Number:

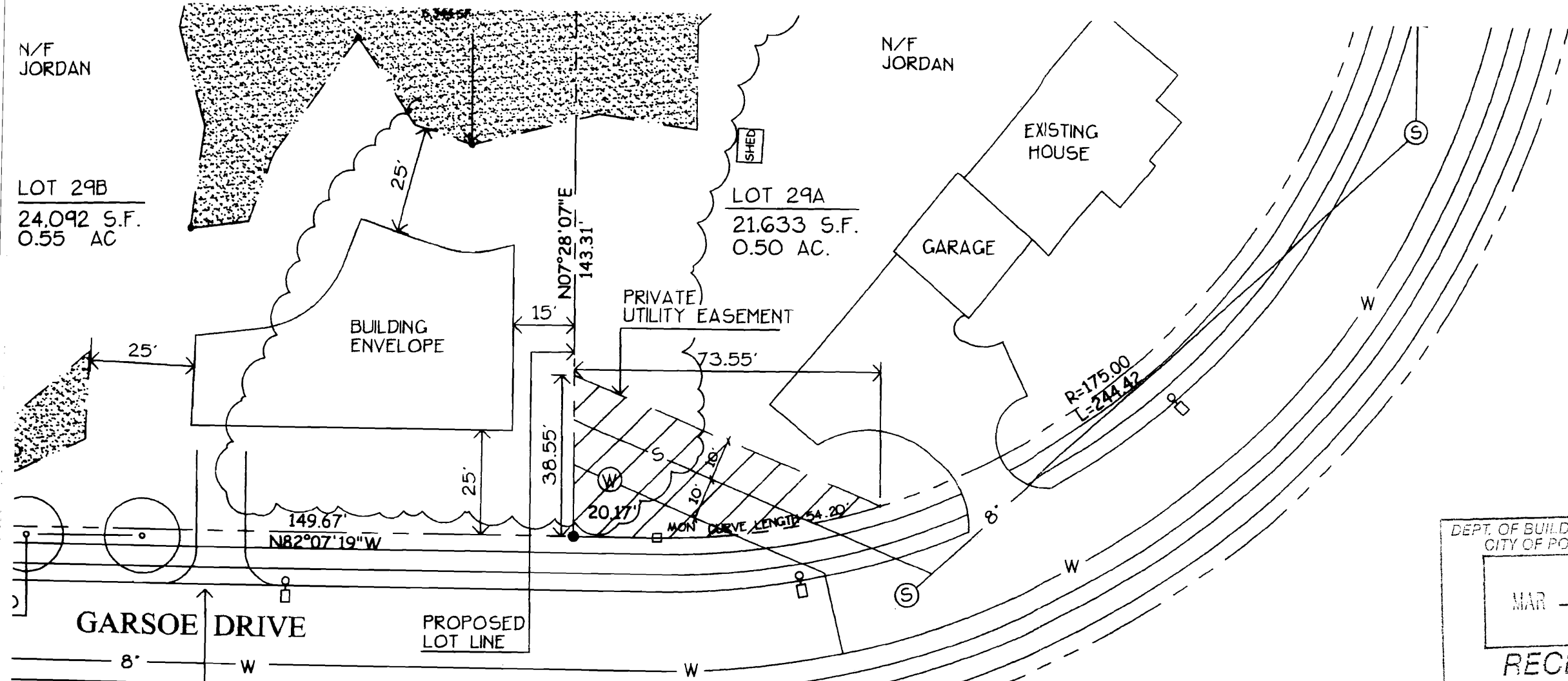


N/F JORDAN

N/F JORDAN

LOT 29B  
24,092 S.F.  
0.55 AC

LOT 29A  
21,633 S.F.  
0.50 AC



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR - 7 2007  
RECEIVED

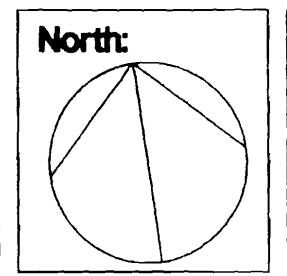
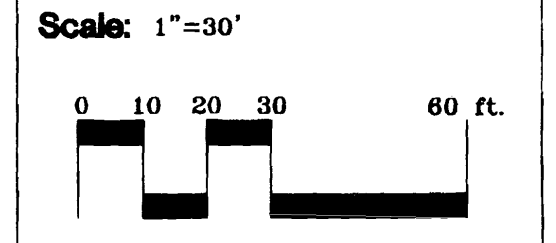
Date:  
SEPTEMBER 27, 2006

Issued For:  
LOT DIVISION  
APPROVAL

Revisions:  
REVISED DECEMBER 4, 2006 TO  
ADDRESS PLANNING BOARD  
CONDITIONS OF APPROVAL  
REVISED - FEBRUARY 28, 2007

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Title:  
AMENDED  
SUBDIVISION PLAT  
34 GARSOE  
revised correct



Sheet No.:  
**1**

IN OF DRIVEWAY IS  
TO PROPOSED  
DESIGN AND

PROPOSED LOT DIVISION  
SCALE: 1"=30'

NAME	COMMON NAME	SIZE
SYLVANIA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

**CITY OF PORTLAND  
SUBDIVISION ALTERATION APPROVAL**

Alterations to the original approved recording plat have been approved by the City of Portland Department of Planning and Development in compliance with section 14-496(3) of the subdivision ordinance. Approved alterations include:

REVISING THE DIMENSIONS OF THE NORTHERLY BOUNDARY LINE TO CORRECT A MATHEMATICAL ERROR AND ADJUSTING THE LOT SQUARE FOOTAGE TO COMPENSATE FOR ERROR.

*Ree A. Wilson*  
Director of Planning and Development  
Date: February 26, 2007

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: \_\_\_\_\_

corrected

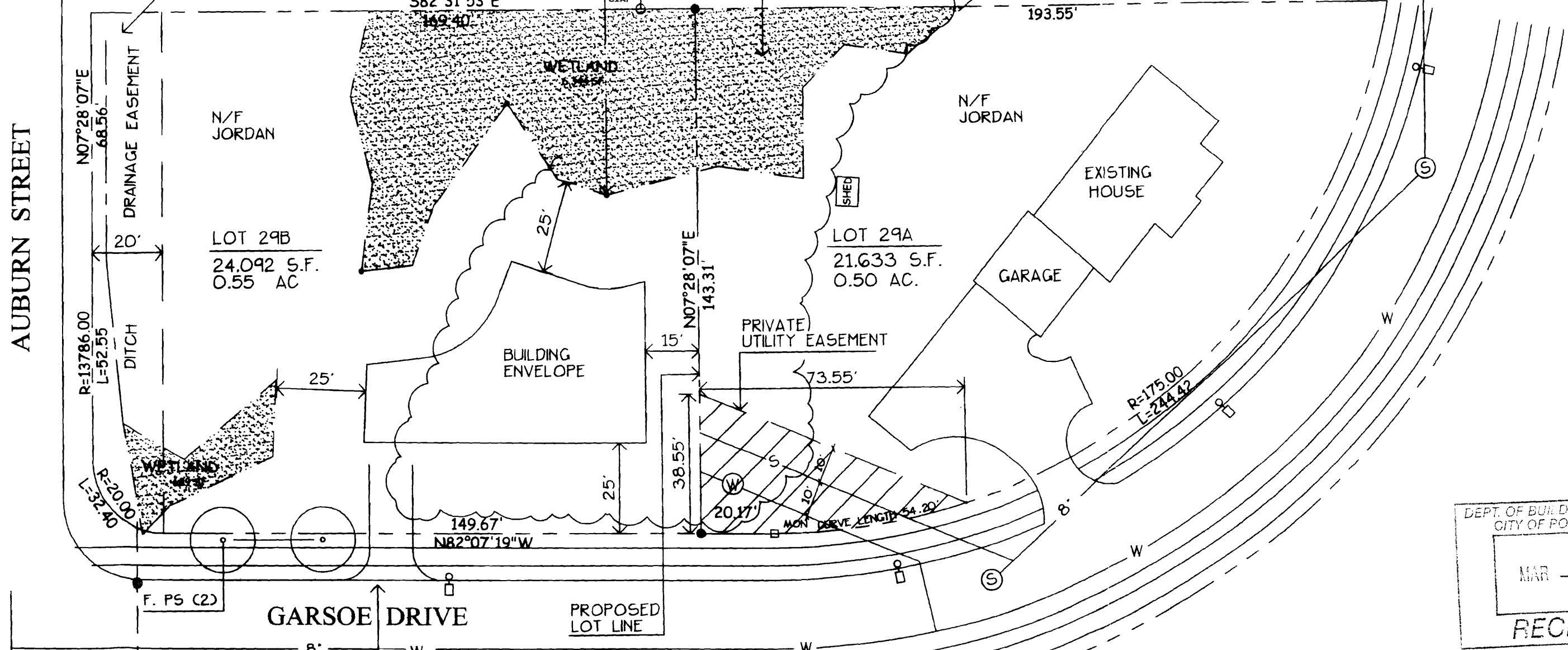
3/7/07

NOTE:  
 20 FT. WIDE DRAINAGE  
 EASEMENT TO THE CITY OF  
 PORTLAND.  
 PLAN BOOK 199, PAGE 393  
 AUGUST 11, 1999

LOT 28

NOTE: NO TREE CUTTING, NO  
 FILLING, NO YARD WASTE OR NOT  
 TO DISTURB WITHIN THE  
 DELINEATED WETLAND SHALL BE  
 PERMITTED

LOT 30  
 PROVIDE A MINIMUM OF  
 (3) IRON SURVEY PINS  
 AS SHOWN TO DELINEATE  
 EDGE OF WETLAND



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 MAR - 7 2007  
 RECEIVED

LOCATION OF DRIVEWAY IS  
 SUBJECT TO PROPOSED  
 HOUSE DESIGN AND  
 LAYOUT.

**PROPOSED LOT DIVISION**

SCALE: 1"=30'

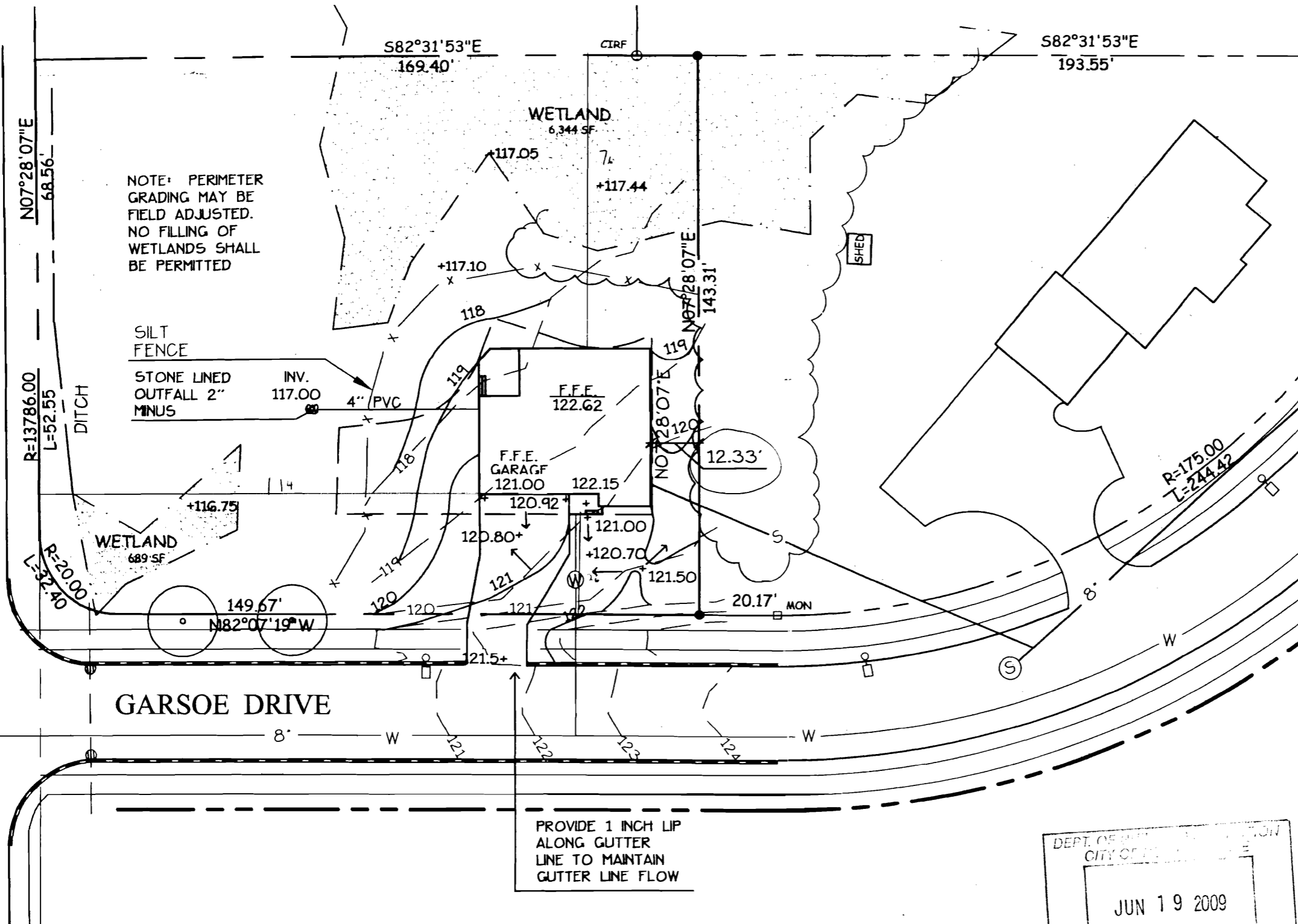
**CITY OF PORTLAND  
 SUBDIVISION ALTERATION APPROVAL**

Alterations to the original approved recording plat have been approved by the City of Portland Department of Planning and Development in compliance with section 14-496(3) of the subdivision ordinance. Approved alterations include

REVISING THE DIMENSIONS OF THE NORTHERLY BOUNDARY LINE TO CORRECT A MATHEMATICAL ERROR AND ADJUSTING THE LOT SQUARE FOOTAGE TO COMPENSATE FOR ERROR.

EAS  
 A  
 NKHAM  
 ORDED

AUBURN STREET



GRADING PLAN

SCALE: 1"=30'

NOTE: NO TREE CUTTING, FILLING OR DISPOSAL OF YARD WASTE SHALL BE PERMITTED IN DELINEATED WETLAND AREAS.

HAMMOND/S  
GARSOE DRIVE

Date: MAY 5, 2009

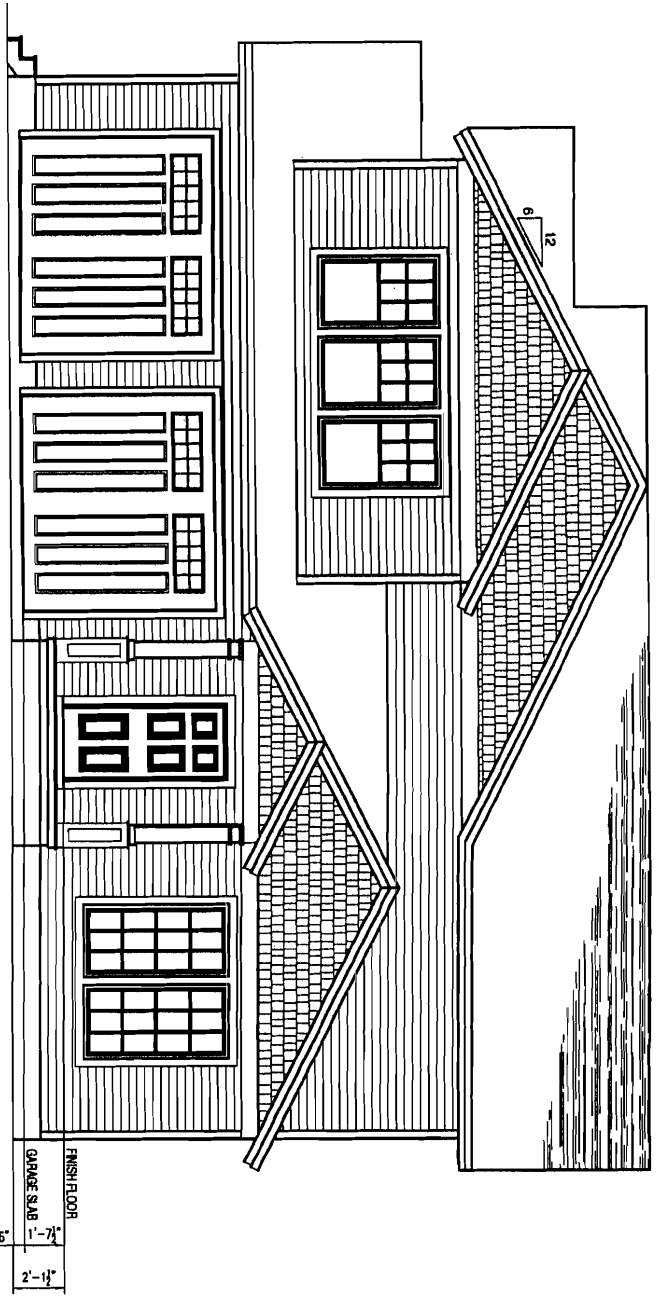
Issued For: SITE PLAN APPROVAL AND CONSTRUCTION

Revisions:

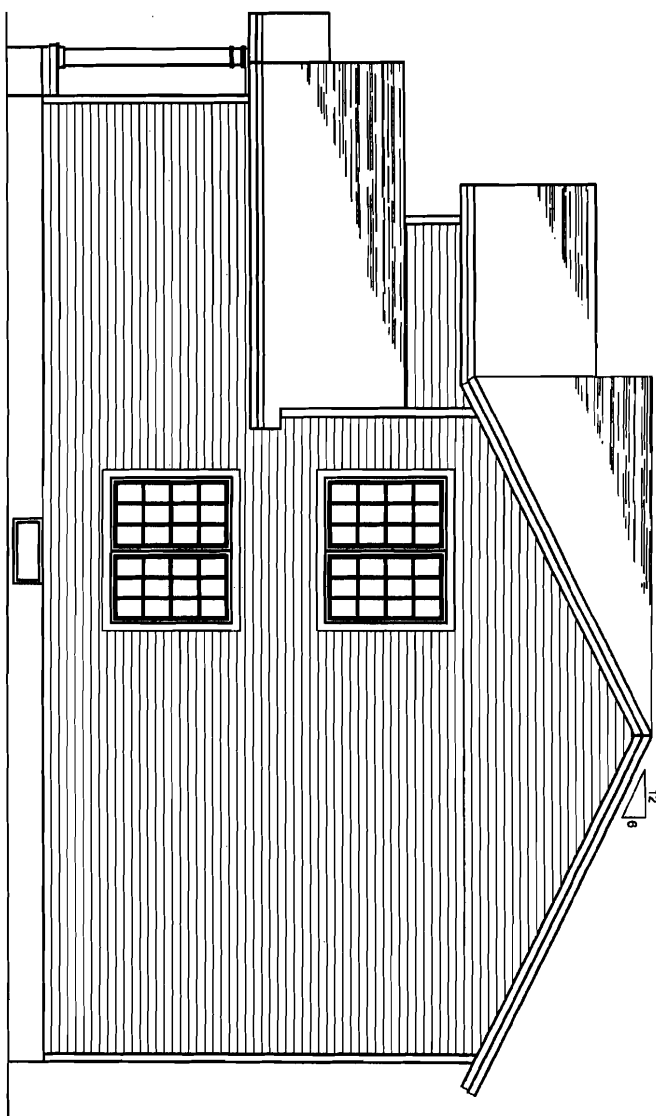
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Title: EROSION & SEDIMENTATION CONTROL PLAN, DETAILS & GRADING PLAN

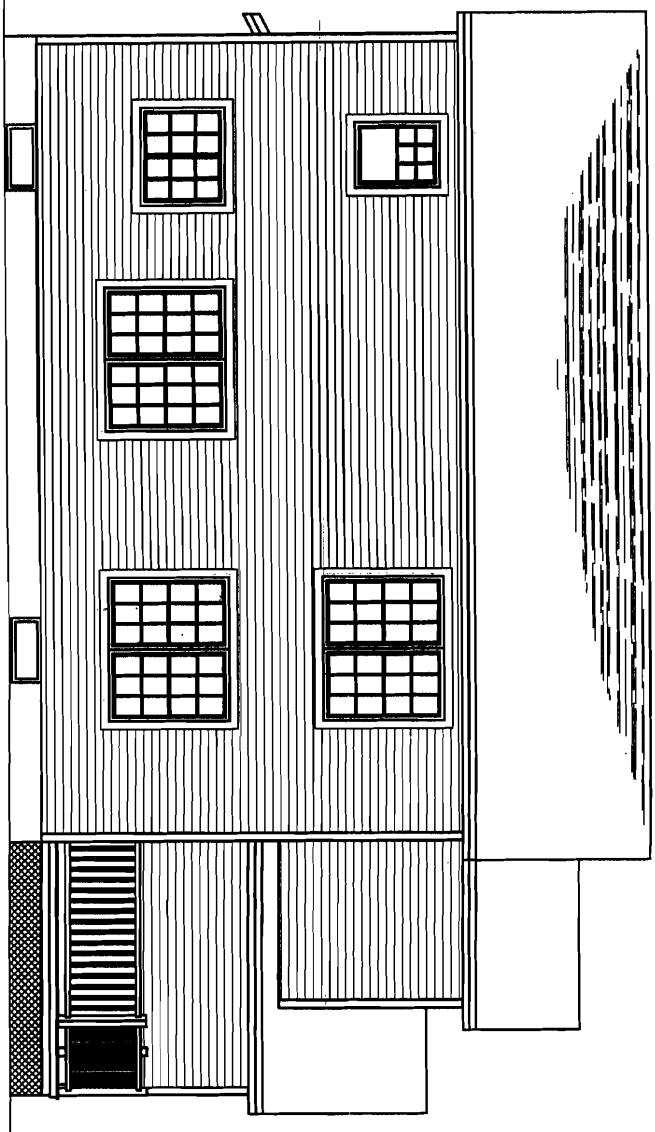
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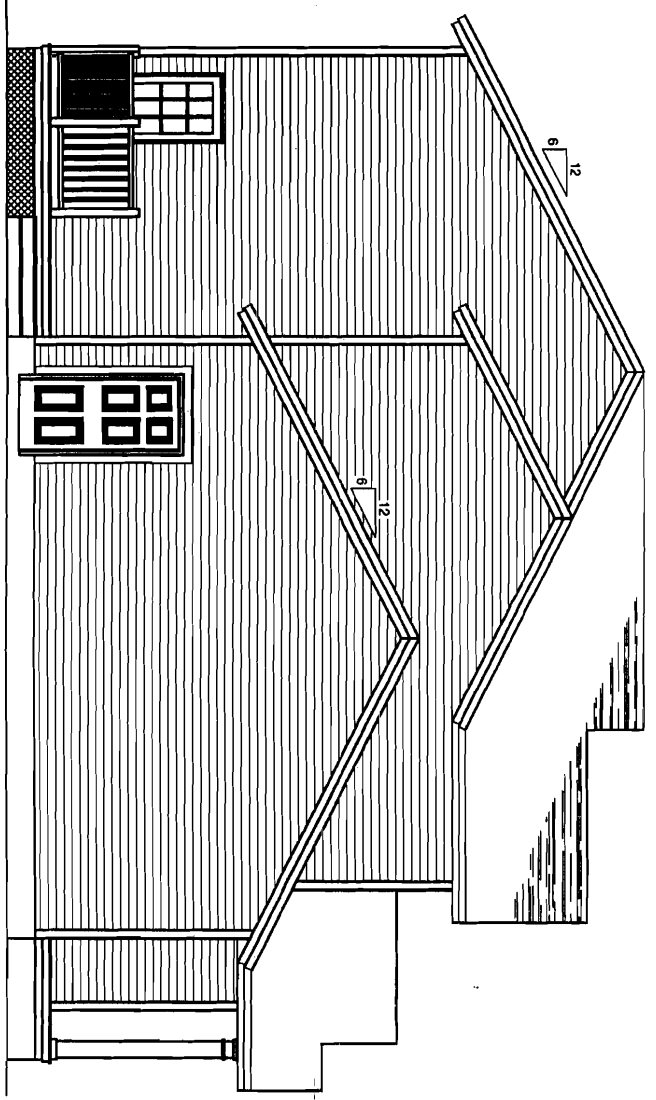
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

FRESH FLOOR  
GARAGE SLAB  
6'-1'-7 1/2"  
2'-1 1/2"

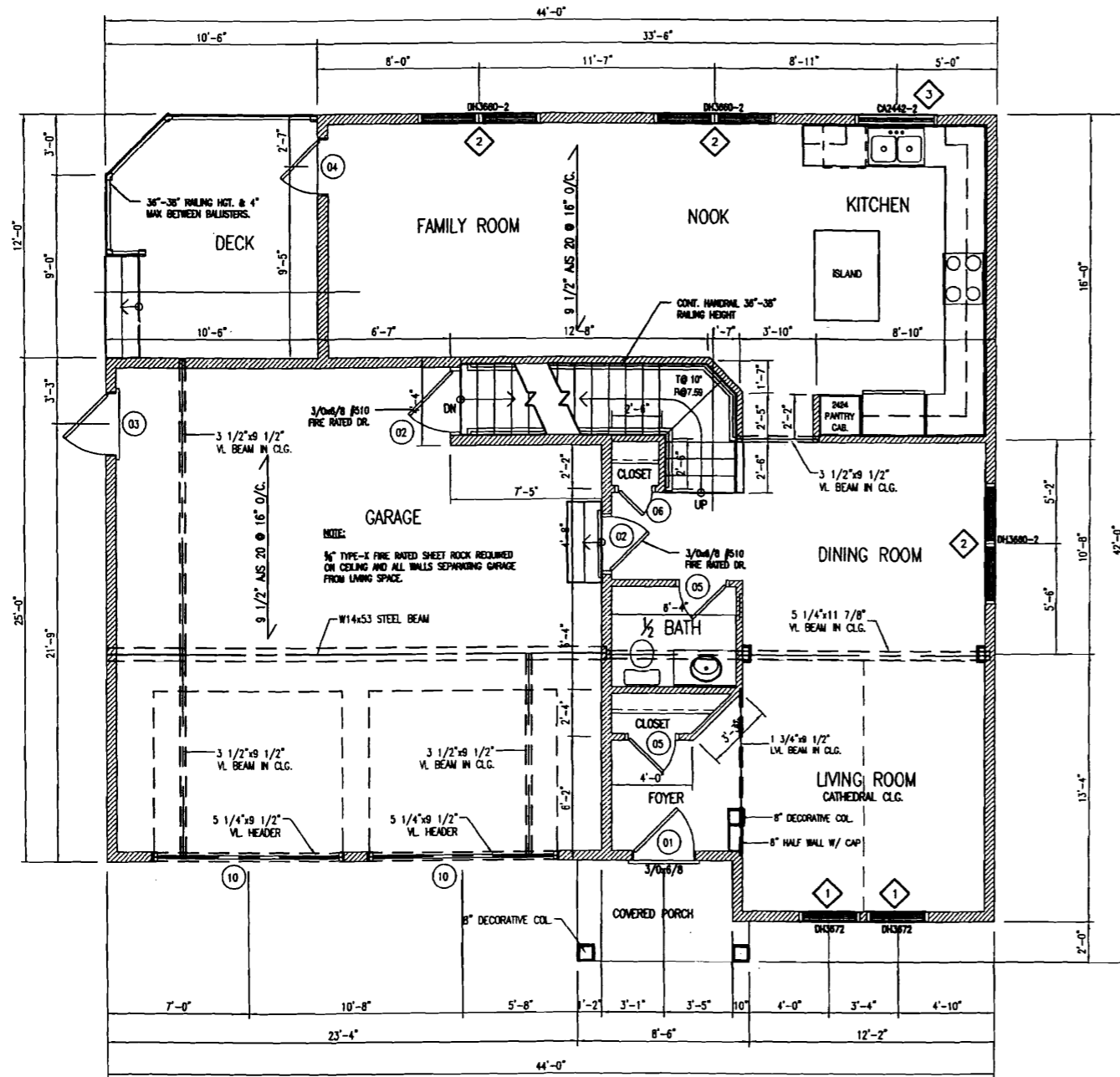
ELEVATIONS  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE



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Date:	5/19/09
Scale:	1/8"=1'-0"
Drawn By:	M/A
Project:	0201106
Sheet Number:	1-of-6

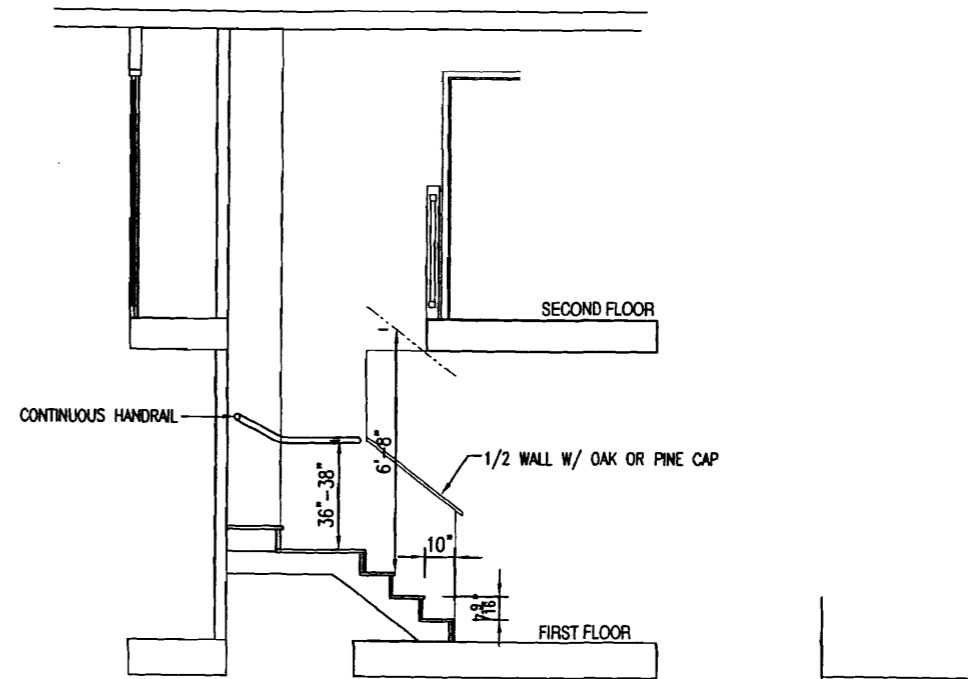




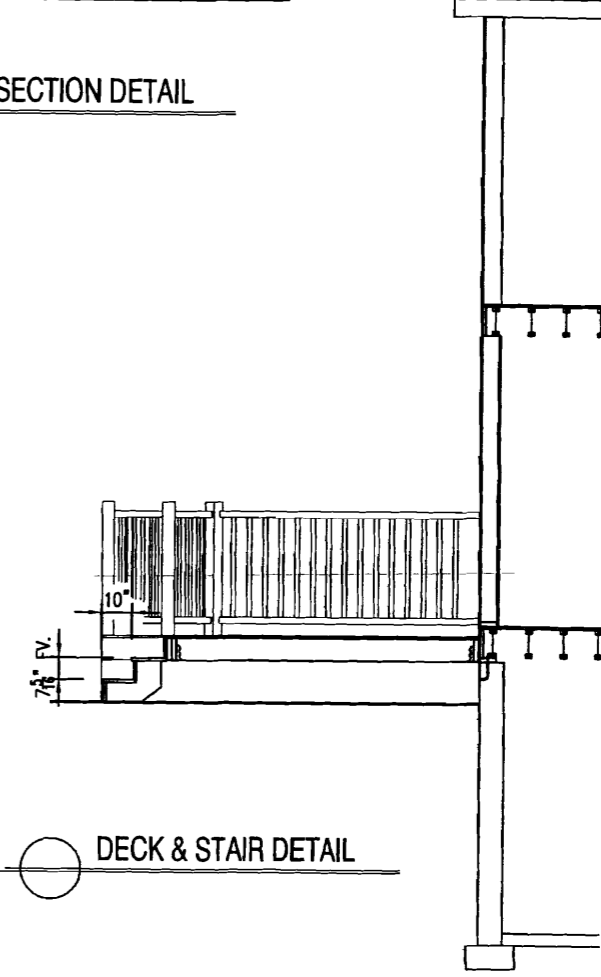
FIRST FLOOR PLAN  
 930 SQ. FT.

Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HP Low-E	
				Width	Height			U-Factor	R-Value
1	2	Mother Brothers	DN3672	3'-0"	8'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35	
2	4	Mother Brothers	DN3660	3'-0"	5'-0"	NO	(3) 2x10 w/ 1/2" Ply	35/35	
3	1	Mother Brothers	CA2442-2	4'-0"	3'-6"	NO	(3) 2x10 w/ 1/2" Ply	35/35	
4	2	Mother Brothers	DE3660-2	6'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35	
5	3	Mother Brothers	DE3660	3'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35	
6	1	Mother Brothers	DN3242	2'-8"	3'-6"	NO	(3) 2x10 w/ 1/2" Ply	35/35	

Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	1	3'-0"	8'-8"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	2	3'-0"	8'-8"	THERMA TRU STEEL FIRE RATED DOOR
03	1	3'-0"	8'-8"	THERMA TRU STEEL EXTERIOR DOOR
04	1	2'-8"	8'-8"	FULL VIEW GLASS W/ COVERS
05	4	2'-4"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
06	1	1'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
07	4	2'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
08	2	2'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
09	3	3'-0"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
10	2	9'-0"	8'-0"	STEEL GARAGE DOOR



STAIR CROSS SECTION DETAIL



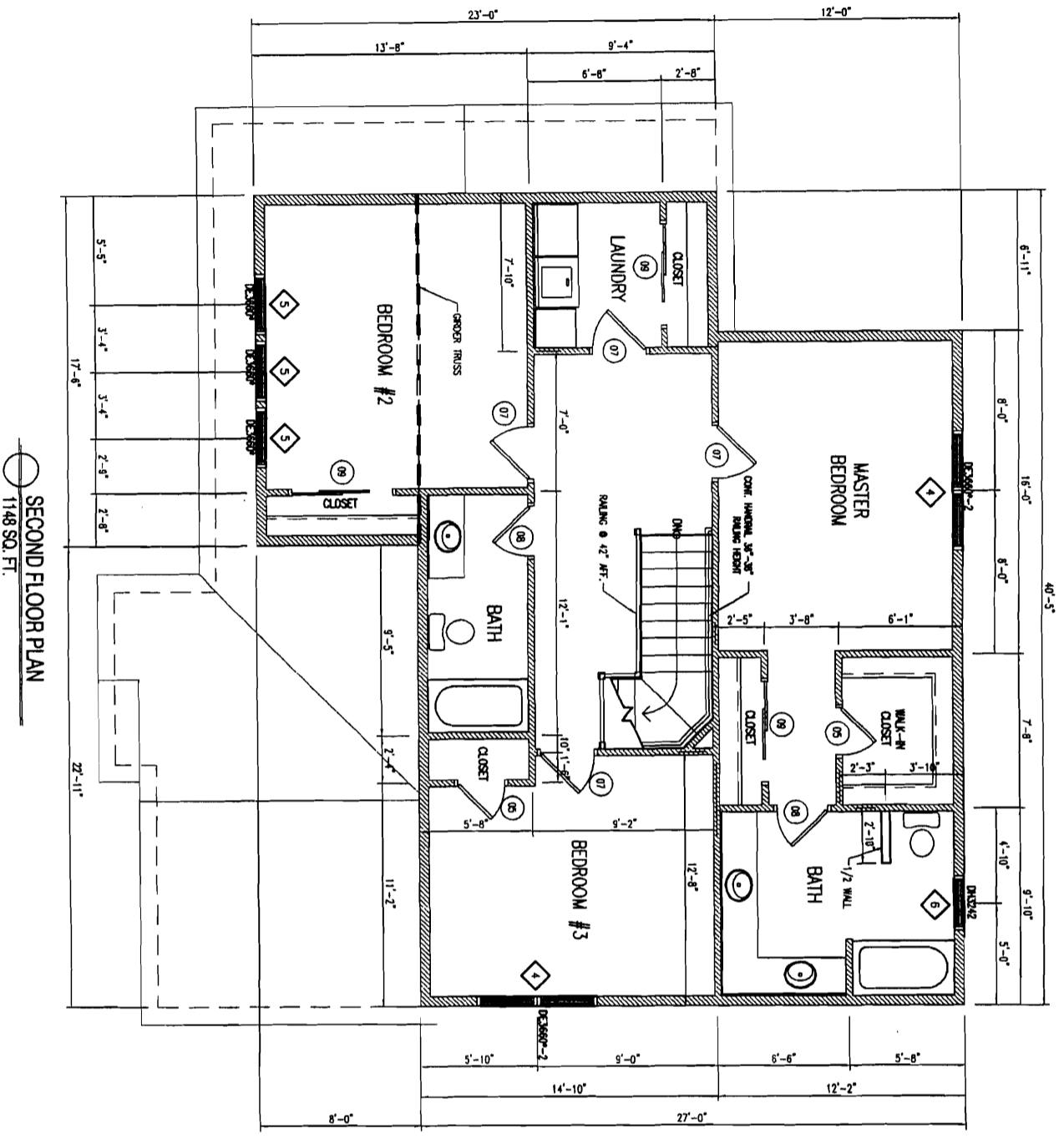
DECK & STAIR DETAIL



FIRST FLOOR PLAN  
 HAMMOND / SALA RESIDENCE  
 GARSOE DRIVE, PORTLAND, MAINE

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 Date: 5/19/09  
 Scale: 1/8"=1'-0"  
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 Project: CLB041409  
 Sheet Number:  
 2-of-6



SECOND FLOOR PLAN  
1148 SQ. FT.

- NOTE:**  
SOME ALIENS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. EACH SLEEPING AREA
  2. OUTSIDE EACH SERVING SLEEPING AREA
  3. IN THE BREAKING POINT OF THE
  4. ON EACH ADDITIONAL STORY OF THE
  5. IN EACH SLEEPING AREA
  6. ALL SLEEPING ALIENS SHALL BE
  7. INSTALLED PER TOWN OR LOCAL CODE WHEN REQUIRED.
- CONSTRUCTION NOTE:**  
CONFORM TO EVERY CODE AND ALL REQUIREMENTS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHALL NOT BE AFFECTED FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR SIZES, TO BE DETERMINED PER OWNER/CONTRACTOR ON LOCAL CODES.

Revisions:

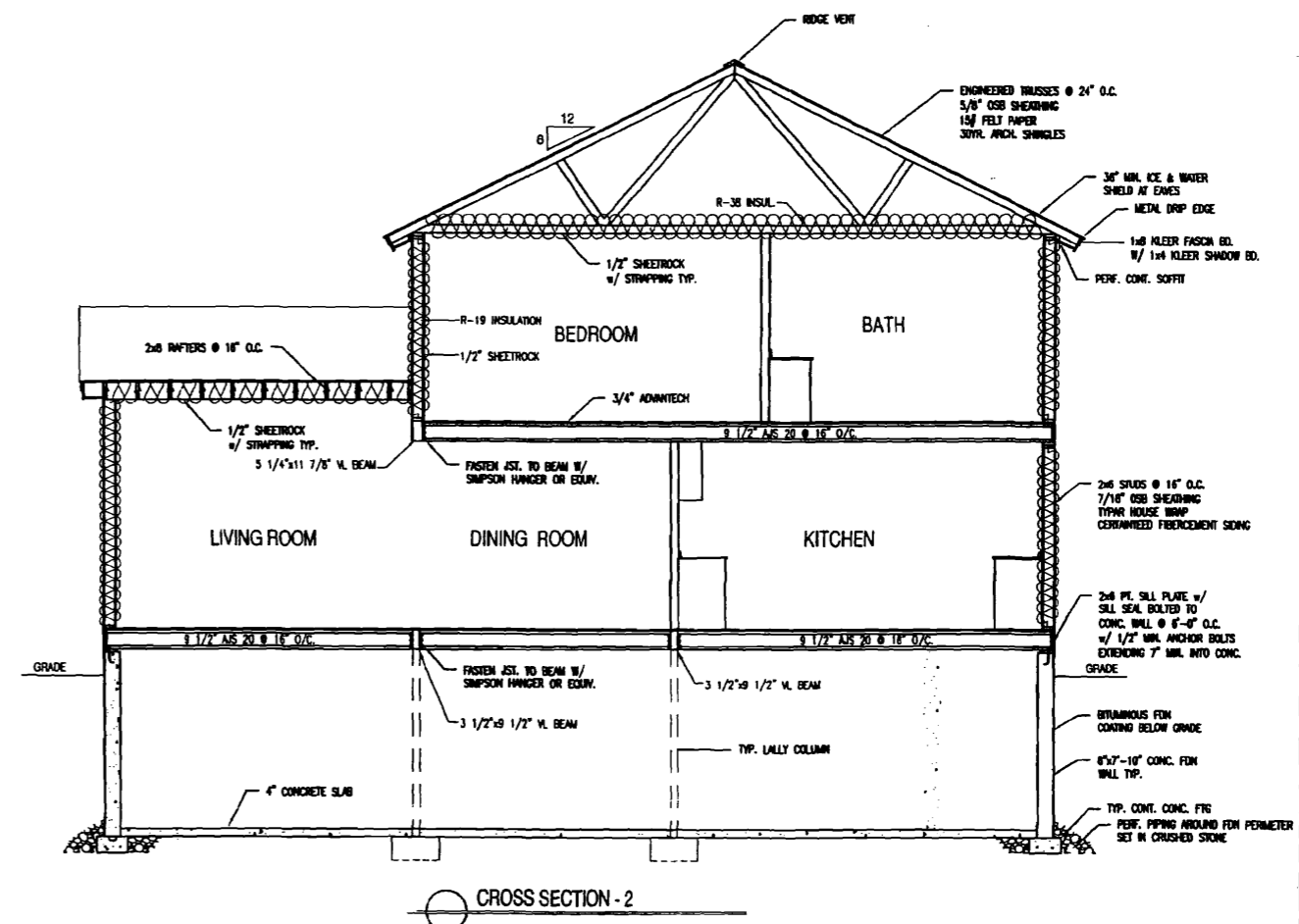
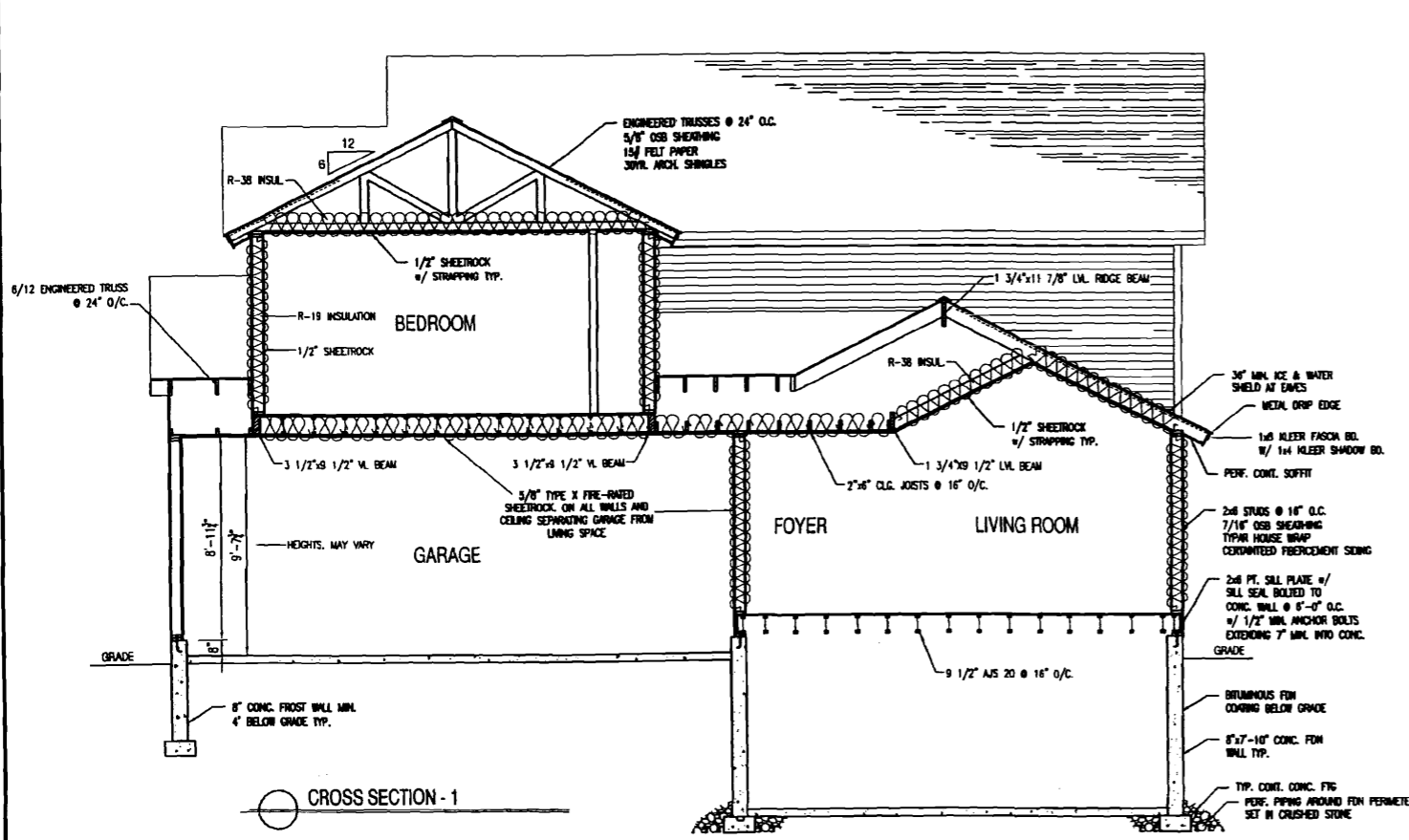

Date: 5/19/09  
Scale: 1/8"=1'-0"  
Drawn By: MTA  
Project: 02041109  
Sheet Number: 3 of 6

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SECOND FLOOR PLAN  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE



**CROSS SECTIONS**  
**HAMMOND / SALA RESIDENCE**  
**GARSOE DRIVE, PORTLAND, MAINE**



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Revisions:


Date: 5/19/09  
Scale: 1/8"=1'-0"  
Drawn By: MTA  
Project: CLB041409  
Sheet Number:

**TABLE R502.5(1)**  
GIRDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS  
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

GIRDERS AND HEADERS SUPPORTING	SIZE	SIZE GROUND SNOW LOAD (psf)					
		Building Width (feet)					
		20		28		36	
Span	NJ <sup>a</sup>	Span	NJ <sup>a</sup>	Span	NJ <sup>a</sup>		
Roof and ceiling	2-2x4	3-2	1	2-8	1	2-6	1
	2-2x6	4-8	1	4-1	1	3-8	2
	2-2x8	6-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-5	2	7-3	2	6-6	2
	3-2x6	7-5	1	6-5	2	5-9	2
	3-2x10	9-1	2	7-10	2	7-0	2
	3-2x12	10-7	2	9-2	2	8-2	2
	4-2x6	8-4	1	7-5	1	6-9	1
	4-2x10	10-8	1	9-1	2	8-2	2
	4-2x12	12-2	2	10-7	2	9-5	2
	2-2x4	2-6	1	2-5	1	2-2	1
2-2x6	4-1	1	3-7	2	3-3	2	
2-2x8	5-2	2	4-6	2	4-1	2	
2-2x10	6-4	2	5-8	2	5-0	2	
2-2x12	7-4	2	6-5	2	5-9	2	
3-2x6	6-5	2	5-8	2	5-1	2	
3-2x10	7-11	2	6-11	2	6-3	2	
3-2x12	9-2	2	8-0	2	7-3	2	
4-2x6	7-5	1	6-8	1	5-11	2	
4-2x10	9-7	2	8-0	2	7-2	2	
4-2x12	10-7	2	9-3	2	8-4	2	
2-2x4	2-7	1	2-3	1	2-0	1	
2-2x6	3-10	2	3-4	2	3-0	2	
2-2x8	4-10	2	4-2	2	3-8	2	
2-2x10	5-11	2	5-1	2	4-7	2	
2-2x12	6-10	2	5-11	2	5-4	2	
3-2x6	6-1	2	5-3	2	4-8	2	
3-2x10	7-5	2	6-5	2	5-8	2	
3-2x12	8-7	2	7-5	2	6-8	2	
4-2x6	7-0	1	6-1	2	5-5	2	
4-2x10	8-7	2	7-5	2	6-7	2	
4-2x12	9-11	2	8-7	2	7-8	2	
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2-2x6	3-8	2	3-2	2	2-10	2	
2-2x8	4-7	2	4-0	2	3-8	2	
2-2x10	5-8	2	4-11	2	4-5	2	
2-2x12	6-8	2	5-8	2	5-2	2	
3-2x6	5-9	2	5-1	2	4-7	2	
3-2x10	7-1	2	6-2	2	5-7	2	
3-2x12	8-2	2	7-2	2	6-3	2	
4-2x6	6-8	1	5-10	2	5-3	2	
4-2x10	8-2	2	7-2	2	6-5	2	
4-2x12	9-5	2	8-3	2	7-5	2	
2-2x4	2-0	1	1-8	1	1-5	2	
2-2x6	3-0	2	2-7	2	2-3	2	
2-2x8	3-10	2	3-4	2	2-11	2	
2-2x10	4-8	2	4-0	2	3-7	2	
2-2x12	5-5	2	4-8	2	4-2	2	
3-2x6	4-8	2	4-1	2	3-8	2	
3-2x10	5-10	2	5-0	2	4-8	2	
3-2x12	6-8	2	5-10	2	5-3	2	
4-2x6	5-8	2	4-8	2	4-3	2	
4-2x10	6-9	2	5-10	2	5-2	2	
4-2x12	7-9	2	6-8	2	6-0	2	

**TABLE R502.5(2)**  
GIRDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS  
(Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

HEADERS AND GIRDERS SUPPORTING	SIZE	Building Width (feet)					
		20		28		36	
		Span	NJ <sup>a</sup>	Span	NJ <sup>a</sup>	Span	NJ <sup>a</sup>
One floor only	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-8	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x6	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x6	5-10	1	5-1	2	4-8	2
	4-2x10	10-1	1	8-9	1	7-10	2
	4-2x12	11-9	1	10-2	2	9-1	2
	2-2x4	2-2	1	1-10	1	1-7	1
2-2x6	3-2	2	2-8	2	2-5	2	
2-2x8	4-1	2	3-8	2	3-2	2	
2-2x10	4-11	2	4-3	2	3-10	2	
2-2x12	5-9	2	5-0	2	4-5	2	
3-2x6	5-1	2	4-5	2	3-11	2	
3-2x10	6-2	2	5-4	2	4-10	2	
3-2x12	7-2	2	6-3	2	5-7	2	
4-2x6	4-2	2	3-7	2	3-2	2	
4-2x10	7-2	2	6-2	2	5-6	2	
4-2x12	8-4	2	7-2	2	6-5	2	

**HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE**

HANCOCK WINDOWS PRODUCT TYPE:	WITHOUT GRILLES HP LOW-E:	
CASEMENT	U-FACTOR	0.31
	R-VALUE	0.31
STANDARD DOUBLE-HUNG	U-FACTOR	0.35
	R-VALUE	0.35
PREMIUM DOUBLE-HUNG	U-FACTOR	0.48
	R-VALUE	0.48
TRANSOM	U-FACTOR	0.34
	R-VALUE	0.34
AWNING	U-FACTOR	0.31
	R-VALUE	0.31
GLIDER	U-FACTOR	0.33
	R-VALUE	0.33

\*MATHEN BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

**WINDOW SCHEDULE**

Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HP Low-E	
				Width	Height			U-Factor / R-Value	
1	2	Mathen Brothers	DH3672	3'-0"	6'-0"	YES	(3) 2x10 w/ 1/2" Ph	35/35	
2	3	Mathen Brothers	DH3680	3'-0"	5'-0"	NO	(3) 2x10 w/ 1/2" Ph	35/35	
3	1	Mathen Brothers	CA2442	4'-0"	3'-6"	NO	(3) 2x10 w/ 1/2" Ph	35/35	
4	2	Mathen Brothers	DE3680	6'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ph	35/35	
5	3	Mathen Brothers	DE3690	3'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ph	35/35	
6	1	Mathen Brothers	DH3242	2'-8"	3'-6"	NO	(3) 2x10 w/ 1/2" Ph	35/35	

**TABLE R602.3(1)**  
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

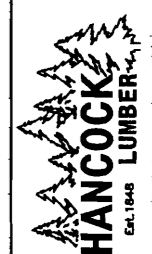
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (inches) <sup>1</sup>	Intermediate support <sup>2,3</sup> (inches)
wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing			
5/16" - 1/2"	8d common nail (subfloor, wall) 8d common nail (roof) <sup>1</sup>	6	12"
19/32" - 1"	8d common nail	6	12"
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12
Other wall sheathing <sup>4</sup>			
1/2" regular cellulose fiberboard sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	3	6
1/2" regular cellulose fiberboard sheathing	1-3/4" galvanized roofing nail 8d common nail staple 16ga., 1-3/4" long	3	6
25/32" structural cellulose fiberboard sheathing	1-1/2" galvanized roofing nail: 6d common nail; staple galvanized, 1-1/2" long 1-1/4" screws, type W or S	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail staple 16ga., 1-1/2" long	4	8
wood structural panels, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12

For St: 1inch = 25.4mm, 1foot = 304.8mm, 1mile per hour = 1.609km/h.

- All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80ksi (551 MPa) for shank diameter of .192inch (20d common nail), 90ksi (620 MPa) for shank diameters larger than 0.142inch but not larger than 1.177inch, and 100ksi (689 MPa) for shank diameters of 0.142inch less.
- Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
- Nails shall be spaced at not more than 6inches on center at all supports where spans are 48inches or greater.
- Four-foot- by-8-foot or 4-foot- by-8-foot panels shall be applied vertically.
- Spacing of fasteners not included in this table shall be based on table R602.3(1).
- For regions having basic wind speed of 110mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25feet, up to 35feet maximum.
- For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4inches on center to gable end wall framing.
- Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AIA 194.1 or ASTM C 208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

**DOOR SCHEDULE**

Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	1	3'-0"	6'-8"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	2	3'-0"	6'-8"	THERMA TRU STEEL FIRE RATED DOOR
03	1	3'-0"	6'-8"	THERMA TRU STEEL EXTERIOR DOOR
04	1	2'-8"	6'-8"	TULL VIEW GLASS W/ LOUVERS
05	4	7'-4"	6'-8"	6 PANEL SOLID CORE WOLDED DOOR
06	1	7'-4"	6'-8"	6 PANEL SOLID CORE WOLDED DOOR
07	4	2'-8"	6'-8"	6 PANEL SOLID CORE WOLDED DOOR
08	2	2'-8"	6'-8"	6 PANEL SOLID CORE WOLDED DOOR
09	3	5'-0"	6'-8"	6 PANEL SOLID CORE WOLDED DOOR
10	2	9'-0"	8'-0"	STEEL GARAGE DOOR



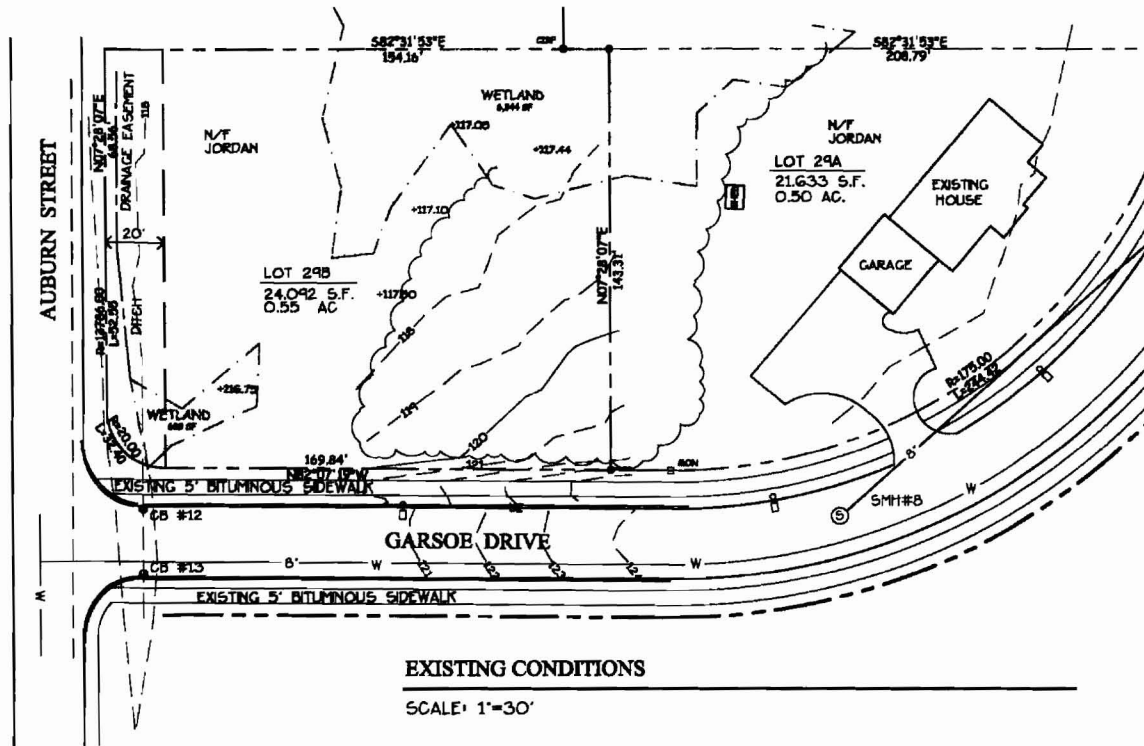
SCHEDULES  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. HANCOCK LUMBER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. HANCOCK LUMBER IS NOT A CONTRACTOR AND DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. HANCOCK LUMBER IS NOT A CONTRACTOR AND DOES NOT GUARANTEE THE SOUNDNESS OR RELIABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:  
Date: 5/19/09  
Scale: 1/8"=1'-0"  
Drawn By: MTA  
Project: QLB041409  
Sheet Number:  
6-of-6



**LOCATION MAP**  
SCALE: N.T.S.



**EXISTING CONDITIONS**  
SCALE: 1"=30'

ZONING REQUIREMENTS	REQUIRED	PROPOSED
1. ZONING DISTRICT:	R2 - RESIDENTIAL	
2. MINIMUM LOT SIZE (RESIDENTIAL):	10,000 S.F.	24,092 S.F.
3. MINIMUM AREA PER DWELLING UNIT:	10,000 S.F.	
4. MINIMUM STREET FRONTAGE:	50 FEET	169.84 FEET
5. MINIMUM YARD DIMENSIONS:		
FRONT YARD (PRINCIPAL STRUCTURE):	25 FEET	25 FEET
REAR YARD (PRINCIPAL STRUCTURE):	25 FEET	78.46 FEET
SIDE YARD:		12 FEET
2 STORIES:	14 FEET	
THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 12 FEET.		
NOTE: WEST SIDE AND REAR SETBACKS BASED ON 25FT SETBACK FROM WETLAND.		
6. MAXIMUM LOT COVERAGE:	20% OF AREA	7 PERCENT
7. MINIMUM LOT WIDTH:	80 FEET	169.84 FEET
8. MAXIMUM HEIGHT (PRINCIPAL STRUCTURE):	35 FEET	30 FEET

**GENERAL NOTES:**

- THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS, LOT #29A AND LOT #29B.
- ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION "AUBURN PINES SUBDIVISION, AUBURN ST., PORTLAND, ME. DATED APRIL 26, 1999" APPLY TO LOTS #29A AND LOT #29B. RECORDED C.O.R.D. PLAN BOOK 199 PAGE 393, DATED AUGUST 11, 1999.
- THE WETLANDS AS SHOWN WERE DELINEATED BY DALE A. BREWER OF STATEWIDE SURVEYS, INC. ON AUGUST 19, 2006.
- THE WETLAND BOUNDARIES WERE MAPPED USING A TRIMBLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
- BOUNDARY INFORMATION FOR "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM + GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99 RECORDED IN PLAN BOOK 199 PAGE 393.
- NEW HOME SHALL HAVE ITS NUMBER CLEARLY VISIBLE FROM THE ROAD.
- NEW LOT SHALL BE SERVICED BY PUBLIC SEWER AND WATER.
- POWER, TELEPHONE AND CABLE SHALL BE UNDERGROUND.
- NEW LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CONDITION OF APPROVAL: THAT ANY PRIMARY STRUCTURE (HOME AND/OR GARAGE) CONSTRUCTED ON LOT 29B IS REQUIRED TO UTILIZE THE BUILDING ENVELOPE AS SHOWN ON THE SUBDIVISION AMENDMENT PLAN, AND NO TREE CUTTING OR DISTURBANCE IS ALLOWED IN THE DELINEATED WETLANDS AS SHOWN. A REVISED AMENDMENT PLAN SHALL BE PREPARED FOR PLANNING BOARD SIGNATURE SHOWING THE WETLAND AREAS AS A "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" AREA. THE RECORDING PLAT AND THE "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" RESTRICTION IS TO BE REFERENCED IN THE DEED TRANSFERRING THE NEW LOT AND A MINIMUM OF THREE PERMANENT SURVEY MARKERS ARE TO BE SHOWN ON THE PLAT AND INSTALLED ON-SITE SHOWING THE LIMITS OF THE DELINEATED WETLANDS.
- THIS PLAN SUPERCEDES APPROVED PLAN REVISED DATED DECEMBER 4, 2006

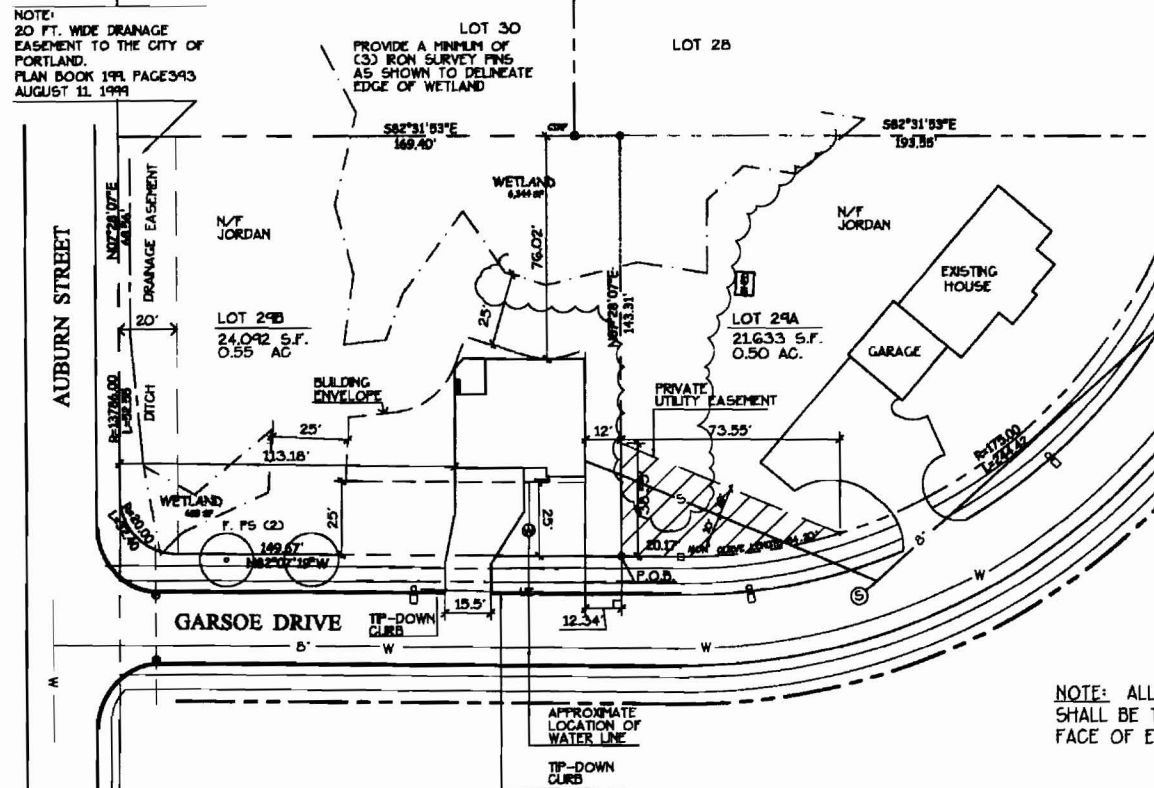
**LEGEND**

EXISTING IRON PIN	
PROPOSED IRON PIN	
EXISTING MONUMENT	
EXISTING LIGHT POLE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
LIMIT OF WETLAND	
EDGE OF PAVEMENT	
CONTOURS	
TREE LINE	
CATCHBASIN	
EXISTING SEWER	
EXISTING WATER	
PROPOSED SEWER	
PROPOSED WATER	
PROPOSED TREES	

**CERTIFICATION**

SURVEYORS CERTIFICATION IS TO THE CONFIGURATIONS AND AREAS OF THE PROPOSED PARCELS ONLY. INFORMATION FOR THE PERIMETER OF THE ORIGINAL LOT 29 IS BASED ENTIRELY ON A PLAN ENTITLED "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM & GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99, RECORDED IN PLAN BOOK 199 PAGE 393.

Rex J. Croteau, PLS #2273  
Titcomb Associates



**LAYOUT PLAN**  
SCALE: 1"=30'

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
F. PS	2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

**Prepared For:**

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**Prepared By:**

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**HAMMOND/ SALA PROPERTY**  
PORTLAND, MAINE  
**GARSOE DRIVE**

**Date:**

MAY 5, 2009

Issued For: **SITE PLAN APPROVAL AND CONSTRUCTION**

**Revisions:**

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Title: **EXISTING CONDITIONS AND LAYOUT PLAN**

Scale: 1"=30'



North:



Sheet No.:

**1**



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 14 GARSOE DR

CBL 386A B040001

Issued to Hammond Robyn E &/Port Construction / Dan Higgins

Date of Issue 06/07/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0521, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Residence

Use Group R3

Type 5B

IRC 2003

Limiting Conditions:

This certificate supersedes certificate issued 12-07-09

SCANNED

This certificate supersedes certificate issued

Approved:

6-7-10  
(Date)

*Sydney Hunt*  
Inspector

*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner unless property changes hands. Copy will be furnished to owner or lessee for one dollar.