

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BU **PERMIT** ION

Please Read
Application And
Notes, If Any,
Attached

Permit Number: 090521
PERMIT ISSUED
JUN 22 2009
CITY OF PORTLAND

This is to certify that Toby & Barbara Hammond/Portland Construction Services
has permission to New Single Family Home w/ 3 bedrooms, 2 baths, 28 sq ft of living space w/ 2 car garage
AT 14 GARSOE DR CP 386A B040001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

SCANNED

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas W. Madley 6/19/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0521	Issue Date: JUN 22 2009	CBL: 386A B040001
Owner Name: Toby & Barbara Hammond	Owner Address: P.O. 488	Phone: 207-415-3009
Business Name:	Contractor Name: Port Construction / Dan Higgins	Contractor Address: P.O. Box 1205 West CITY OF PORTLAND
Lessee/Buyer's Name	Phone:	Permit Type: Single Family
		Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage	Permit Fee: \$2,095.00	Cost of Work: \$200,000.00	CEO District: 5
Proposed Project Description: New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: [Signature] Date: 6/19/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 05/28/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone part 2 - zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2009-0054 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK w/cond. for Date: 6/3/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABM Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

- 7/7/09 - Footings and setbacks.
 - Survey letter to be provided.
 - Foenis + Reberz O.K.

Q

8/06/09 wall damp proofing,
 drain lines + stone ok
 ok to back fill
 Question: where does it drain to? No one on site.
 - to left of garage Smith
 confirmed installed since

10-1-09 - OK - CO (water patch hole under stone + fine down with closure)

11-24-09 Electric not grounded to the meter
 no union on the water head with 12"
 415-5009

11-30-09 Electric requires to
 be hooked to water system.
 called Tony -

12/04/09 violation corrected
 Temp CO to be issued until
 site work complete.

Location of Construction: 2 GARSOE DR	Owner Name: Toby & Barbara Hammond	Owner Address: P.O. 488	Phone: 207-415-5009
Business Name:	Contractor Name: Port Construction / Dan Higgins	Contractor Address: P.O. Box 1205 Well	Phone: (207) 337-2136
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	
<p>8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.</p> <p>9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.</p> <p>10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.</p>			
<p>Comments: 6/3/2009-amachado: Siteplan 2006-0188 was applied for to amend the Auburn Pines Subdivision. Lot 29 was to be split. It was approved on November 28, 2006 and a revision was approved February 28, 2007. This single family lot was created from this lot split. 6/19/2009-tm: reviews completed and waiting for DRC sign off before issuing. Permit is in Tom's Hold basket in his cube on floor.</p>			

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0521	Date Applied For: 05/28/2009	CBL: 386A B040001
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Location of Construction: 2 GARSOE DR	Owner Name: Toby & Barbara Hammond	Owner Address: P.O. 488	Phone: 207-415-5009
Business Name:	Contractor Name: Port Construction / Dan Higgins	Contractor Address: P.O. Box 1205 Well	Phone: (207) 337-2136
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage	Proposed Project Description: New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/03/2009
Note: **Ok to Issue:**
1) With the issuance of the building permit and certificate of occupancy, this property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/19/2009
Note: **Ok to Issue:**
1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 06/19/2009
Note: **Ok to Issue:**
1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. The site contractor shall provide positive drainage away from the foundation.
4) As-built record information for sewer and stormwater service connections must be submitted to Public Services Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>2 Garsoe Drive, Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>2078 sq. ft. living - 625 sq. ft. garage - 1000 sq. ft. porch</u>		Square Footage of Lot <u>24000 sq. ft.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>326A</u> Block# <u>B</u> Lot# <u>40</u> <u>2 Garsoe Drive Portland, ME 04101</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Toby B. Hammond</u> Address <u>PO Box 488</u> City, State & Zip <u>Naples, ME 04055</u>	Telephone: <u>P 207-693-3785</u> <u>C 207-415-5009</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Toby B. Hammond</u> <u>Robyn E. Hammond</u> <u>Barbara J. Hammond</u> <u>Joseph P. Sala</u> Address <u>PO Box 488</u> <u>41 Northwood Drive</u> City, State & Zip <u>Naples, ME 04055</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>200,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>vacant lot</u> If vacant, what was the previous use? <u>part of next lot</u> Proposed Specific use: <u>single family home</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Autumn Pines</u> Project description: <u>3 Bed 2.5 Baths 2078 sq. ft. of living space w/ garage</u>		
Contractor's name: <u>PAVE CONSTRUCTION</u> <u>Dan Higgins</u> Address: <u>PO Box 1205</u> City, State & Zip <u>WELL, ME 04090</u> Telephone: <u>207-337-2136</u> Who should we contact when the permit is ready: <u>Toby Hammond</u> Telephone: <u>207-415-5009</u> Mailing address: <u>PO Box 488, Naples, ME 04055</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/2/09 MAY 28 2009

This is not a permit; you may not commence ANY work until the permit is issue

Applicant: Toby B. Hammond

Date: 6/2/09

Address: 2 Garsee Dr.

C-B-L: 386A-B-040
permit 09-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-2

Interior or corner lot

Proposed Use/Work - build two story single family home w/ attached 2 car garage ^{≈ (44x40)}

Savage Disposal - city

Lot Street Frontage - 50' min. - 30 3 18' given

Front Yard - 25' min. - 25' scaled

Rear Yard - 25' min. - 75' 5' scaled

Side Yard - ^{1 1/2 story 12' min} ^{2 story 14' min} ^{right side 12.33' given - *can be reduced to 12' if added to other side.}

Projections - side yard / side street - 20 min. - 112.5 scaled - real minimum of 22' (OK)
porch 5x5, deck 10x12 (-1/2 (3x2))

Width of Lot - 80' min. - 169' scaled

Height - 35' max. - 23' scaled

Lot Area - 10,000 sq ft min. - 24092 sq ft given

Lot Coverage Impervious Surface - 29% = 4818.4 sq ft

Area per Family - 10,000 sq ft OK

Off-street Parking - 2 spaces required - garage 24x24 OK

Loading Bays - N/A

Site Plan - minor/minor 2009-0054

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - zone X

OK

34 x 37 =	1258
10 x 25 =	250
3 x 12 =	36
8 x 5 =	40
10 x 12 =	120
<hr/>	
	1704
-	3 (deck)
<hr/>	
	1701 sq ft

Applicant:

Date: 6/2/09

Address: 34 Garco Drive

C-B-L: 386 A-B-29

permit 09-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 2000

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage - 50' min. -

Front Yard - ~~20'~~ N/A

Rear Yard - N/A

Side Yard - 17' sky - 10' min leftside - 76' scaled

Projections -

Width of Lot - 80' min - 179' scaled (OK)

Height -

Lot Area - 10,000 sq ft - 21,633 sq ft

Lot Coverage/Impervious Surface - 20% = 4326.6 sq ft

existing 25800 sq ft

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

* making sure lot split - existing house lot - needs zoning requirements R-2 zone

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Polyn E. Hammond
Signature of Applicant/Designee

6/22/09
Date

Thomas N. Mahoney
Signature of Inspections Official

6/19/09
Date

TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: November 24, 2009
RE: C. of O. for #14 Garsoe Drive,
(Id#2009-0054) (CBL 386A B 040001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Lawn installation – loaming and seeding,
2. Installation of 2 street trees,
3. Miscellaneous minor site work,

I anticipate this work can be completed by **June 1, 2010**.

At this time, I **recommend issuing a temporary Certificate of Occupancy**.

Cc: Barbara Barhydt, Development Review Services Manager
Tammy Munson, Director of Code Enforcement & Inspections
File: Urban Insight

This data is provided by the Assessor's Office and is current as of **Sep. 8, 2009** Fees New Scheduling

Parcel ID	386A B040001	Acct No	0	Property Address	14 GARSOE DR	View Complaint	Close
Owner Name 1	HAMMOND TOBY B ETAL JTS &		Property Type	RESIDENTIAL	Dist: 5	View Inspection	Print Inv.
Owner Name 2	ROBYN E HAMMOND ETAL JTS		Description	386A-B-40 GARSOE DR 2-14 AUBURN ST 633-643 24092 SF		View Site Plan	View Permit
Mailing Address	PO BOX 488		County	NAPLES ME 04055			

[Prop Info](#) |
 [Inspections](#) |
 [Site Plans](#) |
 [Permits](#) |
 [Complaints](#) |
 [Food/Water/Odor](#) |
 [Documents](#) |
 [Letters](#) |
 [Property Mgmt](#) |
 [Fees](#) |
 [Taxes](#) |
 [Notes](#)

Date	Staff/Contact	Street	Parcel ID	Appl ID	Appl Type	Type
12/04/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Inspection
						Recheck for corrections on final, bond electric to water system and unions on w
11/24/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Certificate of Occupancy/Final
6:00 AM						415-5009 Toby
10/01/09	Mike Menario	14 GARSOE DR	386A B04000	90521	Prmt	Close-in/Elec./Plmb./Framing
10:30 AM						Toby Hammond @ 415-5009 for close in. /gg
08/18/09	Michael Collins	14 GARSOE DR	386A B04000	20094433	ElcPe	Electrical Service
6:00 AM						New service lateral inspection. CMP/WO #3-600-036. Jim Nichols. New servic
08/06/09	Suzanne Hunt	14 GARSOE DR	386A B04000	90521	Prmt	Foundation/Backfill
						Tim 829-4282 - foundation inspection needs morning appt. Okay to backfill found
07/27/09	Chris Hanson	14 GARSOE DR	386A B04000	90521	Prmt	Footings/Setbacks
1:00 PM						Scott Flynn @ 712-5686 for footings inspection per Chris Hanson, he just was n
07/24/09	Chris Hanson	2 GARSOE DR	386A B04000	90521	Prmt	Footings/Setbacks
1:00 PM	Port Construction / Dan Higgins					donna 829-4282 with time Not ready asked to schedule another inspection 1s

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 6/19/2009 9:39:24 AM
Subject: 2 Garsoe Drive, Single Family Site Plan Review

Hi all, this project meets the minimum site plan requirements for the issuance of the building permit. See UI for sign off.

Thanks.

phil

JEWELL & BOUTIN, P. A.
Attorneys at Law
477 Congress Street
Suite 1104
Portland, ME 04101-3427

Thomas F. Jewell
Daniel W. Boutin

Email: tjewell@jewellandboutin.com
Email: dboutin@jewellandboutin.com

Telephone: 207-774-6665
Fax: 207-774-1626

May 15, 2009

Toby Hammond
P.O. Box 488
Naples, Maine 04055

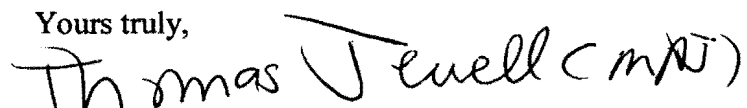
Re: Purchase of 2 Garsoe Drive, Portland, Maine

Dear Toby:

Enclosed please find copies of all of the documents executed at the closing of your purchase of 2 Garsoe Drive in Portland, Maine.

Please feel free to call if you have any questions.

Yours truly,


Thomas F. Jewell, Esq.

TFJ/maj
Enclosures

MAY 28 2009

SELLER'S STATEMENT

Buyer: Toby B. Hammond and Barbara J. Hammond
Robyn E. Hammond and Joseph D. Sala
Seller: MADD, LLC
Settlement Agent: Jewell & Boutin, P.A.
(207)774-6665
Place of Settlement: 477 Congress Street, Suite 1104
Portland, ME 04101-3427
Settlement Date: May 15, 2009
Property Location: 2 Garsoe Drive
Portland, ME 04101
Cumberland County, Maine

CREDITS

Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
Less Total Credits to Seller		TOTAL CREDITS
		<u>120,214.34</u>

DEBITS

Commissions - Total commissions:	% = 12,000.00	12,000.00
	Less Deposit Retained	
	12,000.00 Dan Anderson	
Document Preparation	Jewell & Boutin, P.A.	150.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
Deposit retained by seller		10,000.00
Less Total Reductions to Amount Due Seller		TOTAL DEBITS
		<u>22,414.00</u>

BALANCE

To Seller	<u>97,800.34</u>
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APPROVED:
MADD, LLC

BY: 
Leonard Anderson, Manager


Jewell & Boutin, P.A.

BUYER'S STATEMENT

Buyer: Toby B. Hammond and Barbara J. Hammond
Robyn E. Hammond and Joseph D. Sala
Seller: MADD, LLC
Settlement Agent: Jewell & Boutin, P.A.
(207)774-8665
Place of Settlement: 477 Congress Street, Suite 1104
Portland, ME 04101-3427
Settlement Date: May 15, 2009
Property Location: 2 Garsoe Drive
Portland, ME 04103
Cumberland County, Maine

DEBITS

Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
wire charges	Jewell & Boutin, P.A.	20.00
Attorney's Fees	Jewell & Boutin, P.A.	650.00
Title Insurance	Ticor Title Insurance Company	360.00
Recording Fees	Cumberland County Registry of Deeds	20.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
Gross Amount Due From Buyer	TOTAL DEBITS	121,528.34

CREDITS

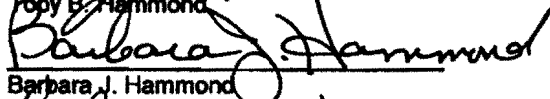
Deposit or Earnest money		10,000.00
Less Total Credits to Buyer	TOTAL CREDITS	10,000.00

BALANCE

From Buyer	111,528.34
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APPROVED:


Toby B. Hammond


Barbara J. Hammond


Robyn E. Hammond


Joseph D. Sala


Jewell & Boutin, P.A.

WARRANTY DEED

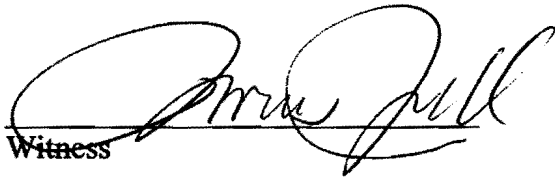
KNOW ALL MEN BY THESE PRESENTS, that **MADD, LLC**, a Maine limited liability company with a place of business in Portland, Maine, for consideration paid, grant to **TOBY B. HAMMOND** and **BARBARA J. HAMMOND** of Naples, Maine as joint tenants between them, and **ROBYN E. HAMMOND** and **JOSEPH D. SALA** of 41 Northwood Drive, Portland, Maine 04103, as joint tenants between them, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:


SEE EXHIBIT A ATTACHED HERETO

Further reference is made in an Amended Subdivision Plat prepared for Philip and Charlene Jordan, showing above described parcel as Lot 29-B. Said plat is recorded in said Registry in Book 207, Page 122.

Being the same premises conveyed to the Grantor herein by deed from Charlene M. Jordan and Philip D. Jordan dated September 15, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26348, Page 133.

IN WITNESS WHEREOF, the said MADD, LLC has been executed by its Manager Leonard Anderson has set his hand this 15 day of May, 2009.

Witness 

MADD, LLC
BY: 
Leonard Anderson
Its: Manager

STATE OF MAINE
COUNTY OF CUMBERLAND

May 15, 2009

Then personally appeared before me, Leonard Anderson in his capacity as Manager of MADD, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

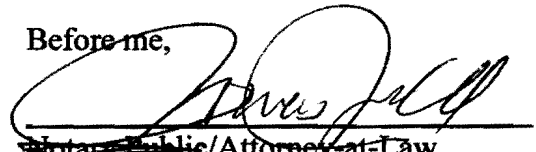
Before me, 
~~Notary Public/Attorney-at-Law~~
Thomas Jewell
Printed name of person taking
acknowledgment

EXHIBIT A

A certain lot or parcel of land lying on the northerly side of Garsoe Drive and the easterly side of Auburn Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point in the easterly sideline of said Auburn Street at the southwesterly corner of land now or formerly of Jenifer A. Lloyd and Phylliss S. Nichols as described in a deed recorded in the Cumberland County Registry of Deeds in Book 21202, Page 64. Thence:

1) S 82°31'53" E by said land of Lloyd and Nichols and by land now or formerly of Christopher S. Graviss and Anita I. Graviss as described in a deed recorded in said Registry of in Book 18249, Page 310 a distance of One Hundred Sixty-Nine and 40/100 (169.40) feet to a point.

2) S 07°28'12" W a distance of One Hundred Forty-Three and 31/100 (143.31) feet to a point in the northerly sideline of said Garsoe Drive.

3) N 82°07'19" W by said Garsoe Drive a distance of One Hundred Forty-Nine and 67/100 (149.67) feet to a point of curvature.

4) Northerly by said Garsoe Drive following a curve to the right having a radius of Twenty and 00/100 (20.00) feet, an arc distance of Thirty-Two and 40/100 (32.40) feet to a point in the easterly sideline of said Auburn Street, said point lying N 35°42'42" W a distance of Twenty-Eight and 97/100 (28.97) feet from the last described point.

5) Northerly by said Auburn Street following a curve to the left having a radius of Thirteen Thousand Seven Hundred Eighty-Six and 00/100 (13,786.00) feet, an arc distance of Fifty-Two and 55/100 (52.55) feet to a point, said point lying N 07°34'40" E a distance of Fifty-Two and 55/100 (52.55) feet from the last described point.

6) N 07°28'07" E by said Auburn Street a distance of Sixty-Eight and 56/100 (68.56) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, page 393.

The above described parcel contains 24,092 square feet. Meaning and intending to describe a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.

The above described premises are subject to notes, conditions, restrictions, and all other matters as set forth on Amended Subdivision Plat recorded March 1, 2007 in said Registry of Deeds in Plan Book 207, Page 122, including but not limited to General Note #10.

The above described parcel benefits from a utility easement lying on the northerly side of Garsoe Drive in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point in the northerly sideline of Garsoe Drive and the southeasterly corner of the above described parcel. Thence:

1) S 82°07'19" E by said Garsoe Drive a distance of Twenty and 17/100 (20.17) feet to a point of curvature

2) Easterly by said Garsoe Drive following a curve to the left having a radius of One Hundred Seventy-Five and 00/100 (175.00) feet, an arc distance of Thirty-Six and 69/100 (36.69) feet to a point.

3) N 57°03'55" W a distance of Sixty Two and 71/100 (62.71) feet to a point in the easterly sideline of the above described parcel.

4) S 07°28'12" W by the said easterly sideline of the above described parcel a distance of Thirty and 39/100 (30.39) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The above described easement contains 923 square feet. The above described easement lies over a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.



059900

00

RETTD

MAINE REVENUE SERVICES
REAL ESTATE TRANSFER TAX
DECLARATION

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

PLEASE TYPE OR PRINT CLEARLY

1. COUNTY CUMBERLAND		DO NOT USE RED INK!	
2. MUNICIPALITY/TOWNSHIP PORTLAND		BOOK/PAGE—REGISTRY USE ONLY	
3. GRANTEE/ PURCHASER	3a) Name (LAST, FIRST, MI) HAMMOND, TOBY B.		3b) SSN or Federal ID 004-44-2142
	3c) Name (LAST, FIRST, MI) HAMMOND, BARBARA J. (SEE ATTACHED)		3d) SSN or Federal ID 006-46-3064
	3e) Mailing Address P.O. BOX 488		3f) City NAPLES
		3h) Zip Code 04055	
4. GRANTOR/ SELLER	4a) Name (LAST, FIRST, MI) MADD, LLC		4b) SSN or Federal ID 20-2822629
	4c) Name (LAST, FIRST, MI)		4d) SSN or Federal ID
	4e) Mailing Address 543 ALLEN AVENUE		4f) City PORTLAND
		4h) Zip Code 04103	
5. PROPERTY	5a) Map 386A - Block B - Lot 40 - Sub-Lot	Check any that apply: <input type="checkbox"/> No tax maps exist <input type="checkbox"/> Multiple parcels <input type="checkbox"/> Portion of parcel	5b) Type of property—Enter the code number that best describes the property being sold. (See instructions) 5d) Acreage:
5c) Physical Location 2 GARSOE DRIVE PORTLAND			
6. TRANSFER TAX	6a) Purchase Price (If the transfer is a gift, enter "0")		6a \$ 120000.00
	6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value)		6b \$ 120000.00
	6c) Exemption claim - <input type="checkbox"/> Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.		
7. DATE OF TRANSFER (MM-DD-YYYY) 05 15 2009 MONTH DAY YEAR		8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use. <input type="checkbox"/> CLASSIFIED	
9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain: <input type="checkbox"/>		10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because: <input checked="" type="checkbox"/> Seller has qualified as a Maine resident <input type="checkbox"/> A waiver has been received from the State Tax Assessor <input type="checkbox"/> Consideration for the property is less than \$50,000	
11. OATH	Aware of penalties as set forth by Title 36 54641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief it is true, correct and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below: Grantee <i>[Signature]</i> Date <i>[Date]</i> Grantor <i>[Signature]</i> Date 5/15/19 Grantee <i>[Signature]</i> Date <i>[Date]</i> Grantor <i>[Signature]</i> Date <i>[Date]</i>		
12. PREPARER	Name of Preparer Jewell & Boutin, P.A. Mailing Address 477 Congress Street Suite 1104 Portland, Maine 04101	Phone Number 207-774-6665 E-Mail Address tjewell@jewellandboutin.	

**MAINE REVENUE SERVICES
SUPPLEMENT TO THE REAL ESTATE TRANSFER TAX FORM**

This form is to be used in conjunction with the Real Estate Transfer Tax Form and provides additional information when necessary.
Please attach this form to the original transfer tax form before submitting to the County Registry of Deeds.
Use additional forms as necessary.

If you have any questions, please contact the property Tax Division at 207-287-2013 or e-mail: prop.tax@maine.gov.

Additional Grantees/Purchasers – Last Name First	Social Security or Fed. ID #
1. HAMMOND, ROBYN E.	007-80-2129
2. SALA, JOSEPH D.	098-70-2498
3. 41 NORTHWOOD DRIVE, PORTLAND, ME 04103	
4.	
5.	
6.	
7.	
8.	
Additional Grantors/Sellers – Last Name First	Social Security or Fed. ID #
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

Additional Municipalities	Map—Block—Lot—Sub-Lot
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

1099-S DATA ENTRY FORM - REAL ESTATE TRANSACTION

FEDERAL LAW REQUIRES THAT THIS FIRM, AS CLOSING AGENT, REPORT GROSS PROCEEDS OF REAL ESTATE TRANSACTIONS TO THE INTERNAL REVENUE SERVICE. NEXT JANUARY, BASED ON THE INFORMATION GIVEN BELOW, YOU WILL BE SENT A COPY OF A COMPLETED 1099-S FORM FOR YOUR TAXES. IF YOU HAVE ANY QUESTIONS ABOUT LOSS OR GAIN FROM THIS TRANSACTION AND ITS EFFECT ON YOUR TAXES, YOU SHOULD CONTACT YOUR TAX ADVISOR.

As the transferor in a "real estate transaction," as defined in the regulations under Section 6045 of the Internal Revenue Code of 1986, as amended, you are required by law to provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number. If you do not provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number, you may be subject to civil or criminal penalties imposed by law. This information will be provided to the Internal Revenue Service.

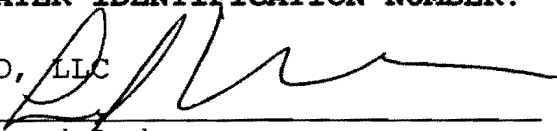
- i) NAME OF TRANSFEROR: MADD, LLC
- ii) ADDRESS OF TRANSFEROR: 543 Allen Avenue
Portland, Maine 04103
- iii) TAXPAYER IDENTIFICATION NUMBER (fill in one of the following):
 - a) Federal Tax ID Number: 20-2822629
- iv) CLOSING DATE: May 15, 2009
- v) TOTAL GROSS PROCEEDS: \$120,000.00

(If there is more than one seller, the amount of total gross proceeds to be reported for this seller is: \$ _____).
- vi) PROPERTY DESCRIPTION: 2 Garsoe Drive
Portland, Maine
- vii) If you received or will receive property or services as part of the consideration, check here: _____
- viii) PRORATION OF REAL ESTATE TAXES REIMBURSED TO SELLER AT CLOSING: 214.34

CERTIFICATION

UNDER PENALTIES OF PERJURY, I CERTIFY THAT THE NUMBER SHOWN ON THIS STATEMENT IS MY CORRECT TAXPAYER IDENTIFICATION NUMBER.

Date

MADD, LLC
BY: 
Leonard Anderson
Its: Manager

CERTIFICATION - TRANSFEROR

RE: MADD, LLC to Toby B. Hammond, Barbara J. Hammond,
Robyn E. Hammond and Joseph D. Sala

Legal: 2 Garsoe Drive, Portland, Maine

Section 1445 of the Internal Revenue Code provides that a transferee of a U. S. real property interest must withhold tax if the transferor is a foreign person. To inform the transferee that withholding of tax is not required upon the disposition of a U. S. real property interest by MADD, LLC:

1. MADD, LLC's is/are not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations);


2. MADD, LLC's federal tax ID No. is: 20-2822629; and

3. MADD, LLC's mailing address is 543 Allen Avenue, Portland, Maine 04103.

The undersigned understands that this certification may be disclosed to the Internal Revenue Service by transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

Under penalties of perjury, I declare that I have examined this certification and to the best of my knowledge and belief, it is true, correct and complete.

5-15-09
Date

MADD, LLC
BY: 
Leonard Anderson
Its: Manager

NOTE: *The transferee must retain this certification until the end of the fifth taxable year following the taxable year in which the transfer takes place. The Internal Revenue Service may require this certificate to be filed with it. This certificate is furnished for the information of the transferee; the transferee should seek legal advice as to the effect of same.*

MAINE REVENUE SERVICES
Income Tax Division - REW
P. O. Box 1068
Augusta, Maine 04332-1068

**RESIDENCY AFFIDAVIT, ENTITY TRANSFEROR,
MAINE EXCEPTION 3 (A).**

Title 36 M.R.S.A. § 5250-A provides that a transferee (buyer) of real property located in Maine must withhold tax if the transferor (seller) is not, as of the date of transfer, a resident of the State of Maine. To inform the transferee (buyer) that withholding of tax is not required upon the disposition of a State of Maine property interest, the undersigned hereby certifies the following on behalf of MADD, LLC:

_____ The above-named entity is a resident corporation, who is incorporated in the State of Maine or maintains a permanent place of business in Maine as of the date of transfer.

_____ The above-named entity is resident estate or trust, which has not established domicile outside of Maine as of the date of transfer.

✓ _____ The above-named entity is a resident partnership of which at least 75% of ownership interest is held by residents of this state.

1. Transferor's employer identification number is 20-2822629
2. Transferor's Maine office address is 543 Allen Avenue, Portland, Maine 04103
3. Transferor's mailing address: See Above.

The above-named entity understands that this certification may be disclosed to the Executive Director by the transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

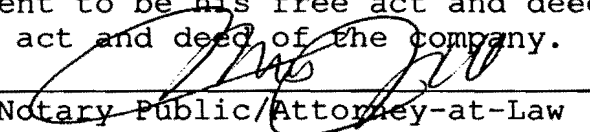
5-15-09
Date

MADD, LLC
BY: 
Leonard Anderson, Manager

STATE OF MAINE
CUMBERLAND, ss.

May 15, 2009

Personally appeared the above named Leonard Anderson, and acknowledged the above instrument to be his free act and deed in his said capacity and the free act and deed of the company.


Notary Public/Attorney-at-Law

NOTICE PURSUANT TO 38 M.R.S.A. §563(6)

MADD, LLC, as seller of the real property located at 2 Garsoe Drive, Portland, Maine (the "Premises"), hereby files this written notice with Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala, as purchaser(s) of the Premises, in accordance with 38 M.R.S.A. §563(6). (Check A or B, as appropriate, and if B is checked, complete the information in B-1 and B-2.)

A. To the best of my knowledge, no underground storage facility for the storage of oil or petroleum products exists on the Premises.

B. An underground oil storage facility exists on the Premises.

B-1. The State of Maine Registration numbers for all oil storage facilities on the Premises are as follows:

No. _____
No. _____
No. _____

(Use additional space at bottom of this page if necessary.)

B-2. (Check one) The oil storage facilities have _____ have not _____ been abandoned in place (taken out of service for more than 12 months), pursuant to 38 M.R.S.A. Section 566-A.

B-3. The facility is subject to regulation, including registration requirements, by the Maine Department of Environmental Protection under 38 M.R.S.A. §§561 *et. seq.*

MADD, LLC

BY: 
Leonard Anderson
Its: Manager

Date: 5/15/09

MADD, LLC

**ACTION TAKEN BY UNANIMOUS WRITTEN
CONSENT OF MEMBERS AND MANAGERS WITHOUT MEETING**

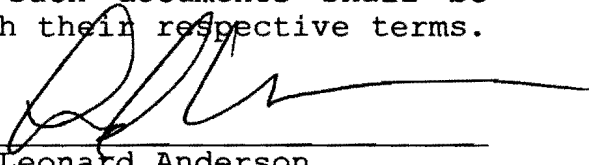
Pursuant to 31 M.R.S.A. § 651, the undersigned being all the Members of MADD, LLC, hereby consent to and approve the adoption of, and hereby adopt, the actions below in the form of the following votes the effective date of which shall be May 15, 2009:

VOTED: That the Company be and hereby is authorized to sell the real estate located at 2 Garsoe Drive in Portland, Maine, to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammon and Joseph D Sala for the sale price of \$120,000.00 pursuant to a purchase and sale agreement dated April 13, 2009.

VOTED: That the Company, by and through its Manager, Leonard Anderson, on behalf of the Company is hereby authorized and empowered to take all action necessary and to execute and deliver any and all documents reasonably deemed necessary to consummate the above transaction and that upon his due execution and delivery, such documents shall be binding in accordance with their respective terms.

Dated:

5/15/09


Leonard Anderson

Ticor Title Insurance Company

Notice of Availability of Owner's Title Insurance

Case No. 683.00

Date: April 21, 2009

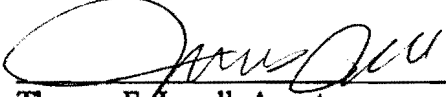
To: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala

Regarding property located at 2 Garsoe Drive, Portland, Maine

A Mortgagee's Policy of title insurance insuring the title to the property referenced above is being issued to your mortgage lender, but that policy does not provide title insurance coverage to you.

You may obtain an Owner's Policy of title insurance which provides title insurance coverage to you. The additional cost to you for an Owner's Policy of title insurance in the amount of \$120,000.00 is \$360.00, if you request it at this time.

If you are uncertain as to whether you should obtain an Owner's Policy of title insurance, you are urged to seek independent advice.


Thomas F. Jewell, Agent

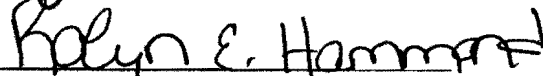
I/We do request an Owner's Policy of title insurance. (Payment of the additional premium is attached hereto.)


I/We do not request an Owner's Policy of title insurance.


Date: _____

Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Borrowers:


Toby B. Hammond


Robyn E. Hammond


Barbara J. Hammond


Joseph D. Sala

TICOR TITLE INSURANCE COMPANY

Owners(s) and Purchaser(s) Affidavit and Indemnity

On oath, the undersigned depose(s) and state(s) that in connection with the premises located at 2 Garsoe Drive, Portland, Maine, which is being conveyed today by MADD, LLC to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala:

OWNERS AFFIDAVIT AND INDEMNITY: (I) (We) certify that there are no tenants or other occupants presently in possession of the premises (except as shown on Exhibit A attached) and that there is no person to whom a debt is due for personal labor or services performed or materials used in the erection, alteration, repair, improvement or removal of a building or other structure upon the above land and buildings, by virtue of an agreement with, or by the consent of the undersigned, or of a person having authority from or rightfully acting for the undersigned in promising or furnishing such labor, services or materials, for work actually performed during the past one hundred twenty (120) days, and have no knowledge of any real estate licensee (broker or agent) who may assert a lien against the property based on nonpayment of professional services rendered by the licensee to facilitate the sale of the property. In the event that a debt is due for such work done or materials used or services rendered, the undersigned hereby agree(s) to indemnify and hold harmless the Buyer(s), Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

Dated at Portland, State of Maine, this 15 day of May, 2009.

MADD, LLC, Owner of the Property

BY: [Signature]
Leonard Anderson, Manager

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009

[Signature]
Notary Public/Attorney-at-Law
Expiration Date of Commission: _____

PURCHASER(S) AFFIDAVIT: (I)(We) hereby certify that (I)(we) have not received notice of any lien or potential lien filed or to be filed by a Real Estate Licensee who provided professional services to facilitate the sale of the property described above. In the event that a debt is due for such services rendered, the Undersigned hereby agree(s) to indemnify and hold harmless Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

By: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Purchasers of the property

[Signatures]
Toby B. Hammond Barbara J. Hammond Robyn E. Hammond Joseph D. Sala

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009.

[Signature]
Notary Public/Attorney-at-Law
Expiration Date of Commission: _____

JEWELL & BOUTIN, P. A.
Attorneys at Law
477 Congress Street
Suite 1104
Portland, ME 04101-3427

Thomas F. Jewell
Daniel W. Boutin

Email: tjewell@jewellandboutin.com
Email: dboutin@jewellandboutin.com

Telephone: 207-774-6665
Fax: 207-774-1626

May 8, 2009

Toby Hammond
P.O. Box 488
Naples, Maine 04055

Leonard Anderson
MADD, LLC
543 Allen Avenue
Portland, Maine 04103

Re: Sale of 2 Garsoe Drive, Portland, Maine

Dear Toby and Len:

I have been asked to prepare documents evidencing transfer of ownership interest in the above property from MADD, LLC to Toby Hammond. Ideally, you should engage separate attorneys to represent your respective interests. In an effort to reduce costs, and because you have worked out an agreement between you without attorneys, you have asked me to prepare all the documents in this closing.

I have prepared these documents to conform to the directions I have received from each party with whom I have discussed this. There are too many potential conflicts of interest to represent any particular party in this transaction. Therefore, I am preparing the documents as a "mere scrivener," without representation of any party's particular interests. If you have any concerns with the effect these transactions will have on your position, you should engage independent counsel.

At this juncture, I have not been asked to provide any advice on the potential tax consequences of this transaction and trust that you have heeded my suggestion that you discuss this matter with an accountant.

I ask that each of you sign a copy of this letter indicating that you have reviewed this disclosure and that you understand and consent to my limited role.

Yours truly,


Thomas F. Jewell, Esq

TFJ/maj


I/We acknowledge that I/we have read this disclaimer and understand that the legal services being provided to me/us in this transaction are limited only to that stated above. I/We further acknowledge that I/we am/are not represented by counsel in this transaction, grant my/our consent to proceed and understand that I/we do so at my/our own risk.

5/13/09
Date


Toby Hammond

MADD, LLC

5-15-09
Date

BY: 
Leonard Anderson
Its: Manager

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 386A B029001
Location 34 GARSOE DR
Land Use SINGLE FAMILY

Owner Address BELAIR NORMAN D & PAMELA J BELAIR JTS
 34 GARSOE DR
 PORTLAND ME 04103

Book/Page 25176/122
Legal 386A-B-29
 GARSOE DR 16-40
 21633 SF

Current Assessed Valuation

Land	Building	Total
\$95,900	\$171,200	\$267,100

Property Information

Year Built 2000	Style Ranch	Story Height 1	Sq. Ft. 1784	Total Acres 0.497		
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 6	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
06/07/2007	LAND + BLDING	\$370,000	25176-122
01/01/2003	LAND + BLDING	\$242,500	18642-122
12/18/2001	LAND + BLDING		17095-157
11/15/2000	LAND	\$231,252	15849-074

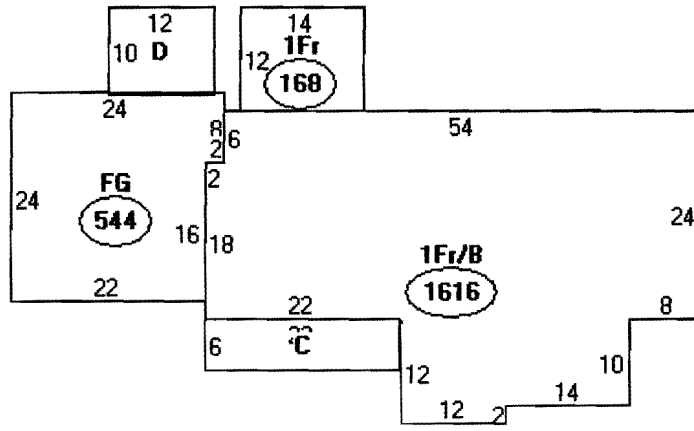
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Descriptor/Area
 A: 1Fr/B
 1616 sqft
 B: FG
 544 sqft
 C: OFF = 2580
 132 sqft
 D: WD
 120 sqft
 E: 1Fr
 168 sqft

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2009-0054
Application I. D. Number

Toby & Barbara Hammond
Applicant
P.O. 488, Naples, ME 04055
Applicant's Mailing Address
Toby Hammond
Consultant/Agent
Applicant Ph: (207) 415-5009 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

5/28/2009
Application Date
Single Family Home
Project Name/Description

2 - 2 Garsoe Dr , Portland, Maine
Address of Proposed Site
386A B040001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site 0 Zoning _____

Check Review Required:

<input type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Zoning Conditional - PB	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> Design Review
<input type="checkbox"/> Amendment to Plan - Board Review	<input type="checkbox"/> Zoning Conditional - ZBA	<input type="checkbox"/> Shoreland	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Amendment to Plan - Staff Review	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Site Location
<input type="checkbox"/> After the Fact - Major	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> After the Fact - Minor	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review	<input type="checkbox"/> Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/28/2009

Zoning Approval Status: Reviewer _____

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2006-0188
Application I. D. Number
9/29/2003
Application Date
Amendment to Plan - Auburn Pines Su
Project Name/Description

Jordan Charlene M &
Applicant
34 Garsoe Dr , Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 632-3175 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

34 - 34 Garsoe Dr, Portland, Maine
Address of Proposed Site
386A B029001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ **R2**
Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla **\$500.00** Subdivision _____ Engineer Review _____ Date **9/29/2006**

Zoning Approval Status:

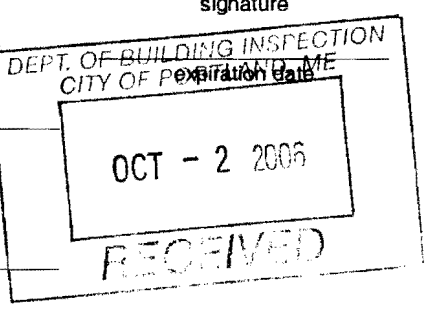
Reviewer Margie S. - Dnep.

- Approved Approved w/Conditions See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached)
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____



MITCHELL & ASSOCIATES
LANDSCAPE ARCHITECTS

September 27, 2006

Mr. William Needleman, Senior Planner
Department of Planning & Development
City of Portland
389 Congress Street
Portland, Maine 04101

**RE: Auburn Pines Subdivision Amendment
Lot #29**

Dear Bill:

On behalf of Philip and Charlene Jordan, I am writing to request an amendment to Auburn Pines Subdivision, located at 34 Garsoe Drive, Portland. Auburn Pines was approved by the Portland Planning Board on July 13, 1999.

Specifically, the owners of lot #29, Mr. & Mrs. Jordan, request the approval to divide their lot into two lots, lot 29A and lot 29B. This division is being proposed so that Mr. & Mrs. Jordan can convey the second lot to their daughter.


The lot division has been configured to conform with all zoning requirements of the R2 Residential district as well as creating a buildable window for a single family home. An updated wetland delineation was performed by Dale Brewer of Statewide Surveys, Inc. on August 19, 2006. Refer to the attached wetland report.

Please find enclosed six (6) copies of the following information:

1. Site Plan Application
2. Copy of Deed
3. Wetland Report
4. Amended Subdivision Plan

Should you have any questions or need further information, please do not hesitate to call.
Thank you for your consideration to this matter.

Sincerely,
Mitchell & Associates


John D. Mitchell

Enclosure

cc: Philip and Charlene Jordan

THE STAPLES SCHOOL
70 CENTER STREET
PORTLAND, MAINE 04101

Telephone (207) 774-4427
Fax (207) 874-2460
Website www.mitchellassociates.biz

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 34 GARSOE DRIVE		Zone: R2
Total Square Footage of Proposed Structure: N.A.		Square Footage of Lot: 45,726 S.F.
Tax Assessor's Chart, Block & Lot: Chart# 386 A Block# B Lot# 29	Property owner's mailing address: PHILIP & CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103	Telephone #: 632-3175
Consultant/Agent, mailing address, phone # & contact person: JOHN D. MITCHELL MITCHELL & ASSOCIATES 70 CENTER STREET PORTLAND, ME 04101 TEL. 774-4427	Applicant's name, mailing address, telephone #/Fax#/Pager#: PHILIP & CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103 TEL. 632-3175	Project name: AUBURN PINES SUBDIVISION AMENDMENT
Fee For Service Deposit (all applications) ___ (\$200.00)		
Proposed Development (check all that apply) ___ New Building ___ Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Parking lot ___ Subdivision (\$500.00) + amount of lots ___ (\$25.00 per lot) \$ _____ + major site plan fee if applicable ___ Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) ___ Traffic Movement (\$1,000.00) ___ Stormwater Quality (\$250.00) ___ Section 14-403 Review (\$400.00 + \$25.00 per lot) ___ Other _____		
Major Development (more than 10,000 sq. ft.) ___ Under 50,000 sq. ft. (\$500.00) ___ 50,000 - 100,000 sq. ft. (\$1,000.00) ___ Parking Lots over 100 spaces (\$1,000.00) ___ 100,000 - 200,000 sq. ft. (\$2,000.00) ___ 200,000 - 300,000 sq. ft. (\$3,000.00) ___ Over 300,000 sq. ft. (\$5,000.00) ___ After-the-fact Review (\$1,000.00 + applicable application fee)		
- Please see next page -		

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

PHILIP & CHARLENE JORDAN
34 GARSOE DRIVE
PORTLAND, ME 04103
TEL. 632-3175

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9-27-06
--	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

WARRANTY DEED
Joint Tenancy
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS, That

Susan W. Vines

of Portland, County of Cumberland, State of Maine,

for consideration paid, grant to **Charlene M. Jordan and Philip D. Jordan**

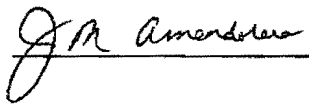
of Westbrook, County of Cumberland, State of Maine,

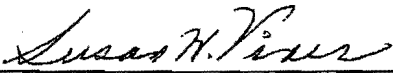
whose mailing address is PO Box 682, Westbrook, Maine 04098

with warranty covenants, as joint tenants the land in Portland, County of Cumberland, and State of Maine, described on the attached **EXHIBIT A.**

WITNESS our/my hand(s) and seal(s) this 31st day of December, 2002.

*Signed, Sealed and Delivered in
presence of:*




Susan W. Vines

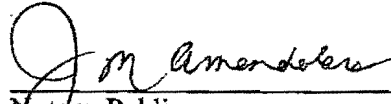
STATE OF MAINE

December 31, 2002

COUNTY OF Cumberland

Then personally appeared the above named Susan W. Vines and acknowledged the foregoing instrument to be his/her/their free act and deed.

Before me,



Notary Public

Printed Name: JAMES M. AMENDOLARA

My Commission Expires: ATTORNEY AT LAW

MAINE REAL ESTATE TAX PAID

EXHIBIT 'A'

A certain lot or parcel of land with any improvements thereon, in the City of Portland, County of Cumberland and State of Maine, and being Lot 29 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general notes and conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172. Also conveying an easement for access and installation and maintenance of utilities over and within the streets and way shown on said Plan.

Received
Recorded Register of Deeds
Jan 02 2003 11:34:49A
Cumberland County
John B. O'Brien

STATEWIDE SURVEYS, INC.
LAND SURVEYORS & SOIL SCIENTISTS
35 Eastman Road Cape Elizabeth, ME. 04107
Phone/Fax: 207 767 4200

06027W

Mr. John Mitchell
Mitchell & Associates
70 Center Street
Portland, ME
04107

Subject: **Jordan Wetlands Survey**
Garsoe Drive
Portland, ME

John,

As requested, we have completed the wetland delineation at the Jordan property in Portland, Maine. The property is shown as Lot #29 on the "Auburn Pines" Subdivision Plan provided by your office. The $\pm 45,726 \text{ ft}^2$ (1.05 acre) lot has frontage on Auburn Street and Garsoe Drive and currently has a home located in the northerly portion of the lot. We established the perimeter in the field using the "Auburn Pines" survey plan prepared by Pinkham & Greer. We also used other supporting reference data including: the USDA *Soil Survey of Cumberland County*, and the *National Wetlands Inventory Map (NWI)*. We have prepared the following summary based on a field visit on August 19th and the reference materials used. We understand this information will be used for future planning for the property.

GPS equipment was used to map the project limits, wetland flagging and natural features in the field. These features are shown on the wetlands plan previously submitted to your office. Two wetlands were delineated at the site and designated as Wetland "A" ($6,344 \text{ ft}^2$) and Wetland "B" (689 ft^2). The wetlands were further marked with sequentially numbered blue flags along the wetland/upland boundary to the project limits. The wetland boundaries have also been registered to the "Auburn Pines" subdivision plan. It should be noted that the wetland flagging was located with GPS equipment and could vary from actual survey locations.

The lot generally drains southerly toward the ditch along Auburn Street. The open areas of the site are "smooth" and appear to have been graded previously. There are scattered wheel ruts evident, possibly from timber harvesting or the grading efforts. The wetlands were previously delineated by

others as wetlands were shown on the "Auburn Pines" Subdivision Plan. We did not recover the previous wetland flagging in the field and re-delineated the jurisdictional wetlands at the site during our site visit. The previous wetland survey was likely completed prior to the construction involved with the "Auburn Pines" project.

The surrounding uplands have a limited variety of species including white oak (*Quercus alba*), red oak (*Quercus rubra*), white pine (*Pinus strobus*) and paper birch (*Betula papyrifera*) trees and saplings. These upland areas were mapped with the Elmwood series underlying the site by the SCS.

1.0 Wetland Characteristics

Three parameters are needed for jurisdictional wetlands, specifically the presence of hydric soils, the prevalence of hydrophytes, and indicators of wetland hydrology. Wetland "A" and Wetland "B" have been classified from field survey and further described below. Our observations of the natural wetlands characteristics are consistent with accepted wetland parameters found in the 1987 *Corps of Engineers Wetlands Delineation Manual* (ACOE) and addressed in the following:

- The wetland soils were poorly drained and "hydric" as defined in *Field Indicators for Identifying Hydric Soils in New England*, however intermixed very poorly or somewhat poorly drained soils may also exist. The USDA Soil Conservation Service formerly mapped the soils in the *Soil Survey of Cumberland County* as the poorly drained, Scantic silt loam (*Sn*). Our observations also found poorly drained soils resembling the Scantic Series.
- These freshwater (palustrine) wetlands have forested (*PFO-1*) areas in addition to intermixed scrub-shrubs (*PSS*) and open emergent areas (*PEM*). The wetlands typically have scattered red maple (*Acer rubrum*), gray birch (*Betula populifolia*) and american elm (*Ulmus americana*) trees and saplings with scattered speckled alder (*Alnus incana*), northern arrowwood (*Viburnum dentatum*), broadleaf meadowsweet (*Spiraea latifolia*) and winterberry (*Ilex verticillata*) shrubs with sensitive fern (*Onoclea sensibilis*), flat-topped aster (*Aster umbellatus*), rattlesnake grass (*Glyceria canadensis*), pointed broom sedge (*Carex scoparia*), goldenrods (*Solidago spp.*) and sphagnum mosses in the herbaceous layer.
- Wetland hydrology was evident with saturated conditions in the mapped wetland depressions of the "pit and mound" topography. The *USGS Quadrangle Sheet* of the area does not indicate any perennial watercourses on the property.

2.0 Considerations and Recommendations

Wetlands at the site are regulated at the state and federal level in addition to the adopted local ordinances of the City of Portland. Wetlands have limitations regarding land use to ensure protection to the natural resource. We understand permit/s will be required to discharge fill exceeding 4,300 ft² into wetlands not classified as "*Wetlands of Special Significance*". However, the ordinances should be reviewed and followed prior to any new proposed use affecting the wetland areas. We recommend contacting the Code Enforcement Officer (*CEO*) to determine the application procedure

2 FARSOE DRIVE # 09-0521 Single Family w/ Garage -

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8x7-10 Concrete wall Front wall around garage			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Piping - Rebar - Crushed Stone - Filter Rebar -	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA			
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" min anchor bolts 6" oc	OK		
Lally Column Type (Section R407)	lally's concrete -			
Girder & Header Spans (Table R 502.5(2))	2 pt load			
Built-Up Wood Center Girder Dimension/Type	LVL Beams - Steel Beams	Specs?		
Sill/Band Joist Type & Dimensions	2x8 pt			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Flon Trusses	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Flon Trusses	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	NA		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	6:12 24 trusses 24' oc	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G 1/2 CDX 5/8 CDX	OK
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	YES 1 in walls / ceilings rated door	OK
Emergency Escape and Rescue Openings (Section R310)	Egress in Bedrooms	OK
Roof Covering (Chapter 9)	Shingles #15 felt	OK
Safety Glazing (Section R308)	NA	NA
Attic Access (Section R807)	NA	NA
Chimney Clearances/Fire Blocking (Chap. 10)	NA	NA
Header Schedule (Section 502.5(1) & (2))	over 48 - 3(2x10) under 48 2(2x10)	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	OK	OK

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement	yes	
Number of Stairways	3	
Interior	2	
Exterior	1 7 3/4 max rise w/ nosing	<u>OK</u>
Treads and Risers (Section R311.5.3)	36 min	
Width (Section R311.5.1)	6" ID min	
Headroom (Section R311.5.2)	36	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 guards - 34-38 Handrails	
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom + Comm Areas - per code	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	all penetrations	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	36-38 Rad AT 24 Balusters Sunar Jubes 4 deep - 2x8 joists lagged & bolted	OK



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 14 GARSOE DR CBL 386A B040001

Issued to Hammond Toby B Etal Jts & /Port Construction / Dan Higgins Date of Issue 12/07/2009

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0521 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Residence
Use Group R3
Type 5B
IRC 2003

Limiting Conditions:

This is a temporary occupancy certificate, which expires on June 1, 2009. All required site work is to be completed by June 1, 2009.

This certificate supersedes certificate issued

Approved:

12-07-09
(Date) *[Signature]*
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or leasee for one dollar.



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

5-28 2007

Received from Toby Hammond

Location of Work 2 Banson Drive

Cost of Construction \$ _____ Building Fee: 2020

Permit Fee \$ _____ Site Fee: 300

Certificate of Occupancy Fee: 75

Total: \$2395

Building (U) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 436-A340

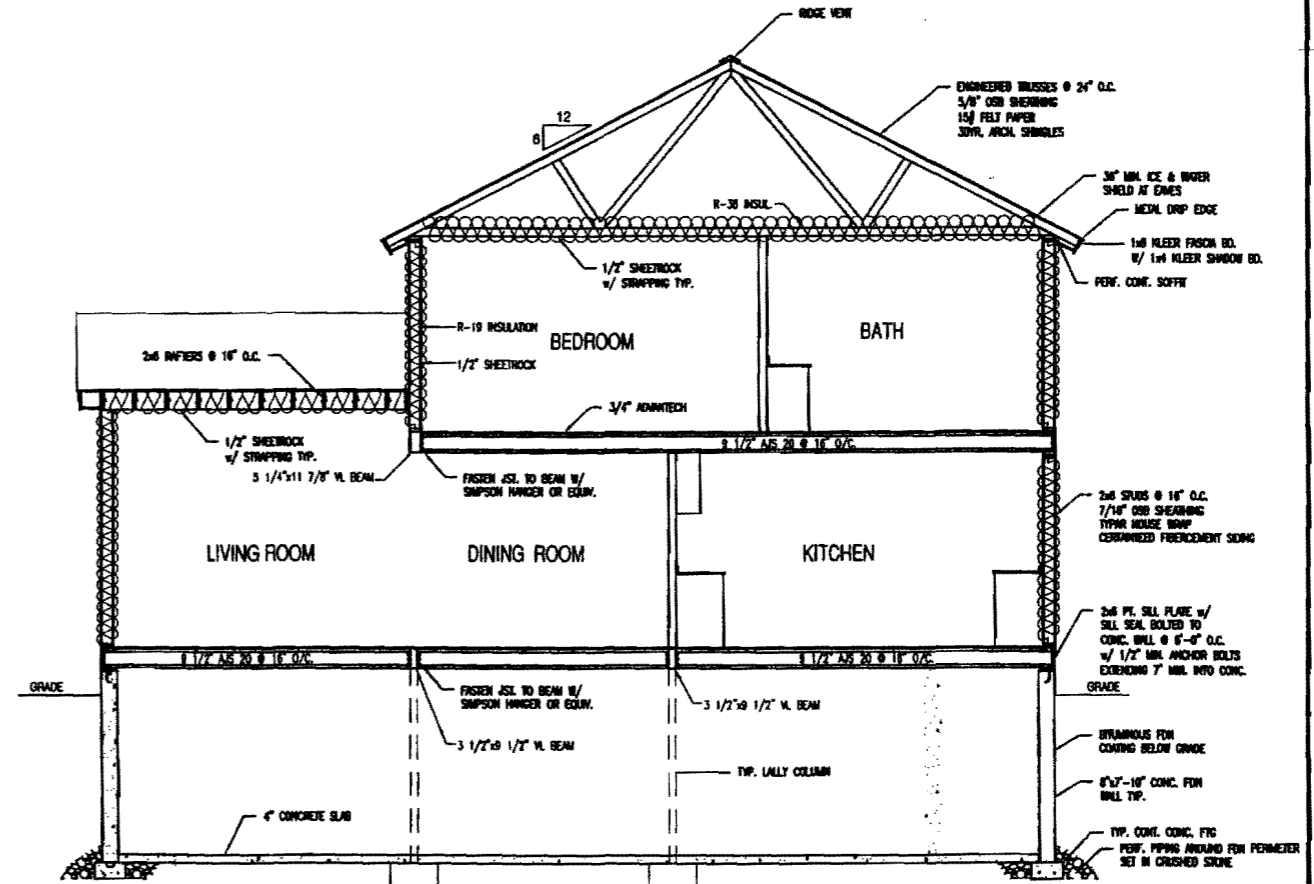
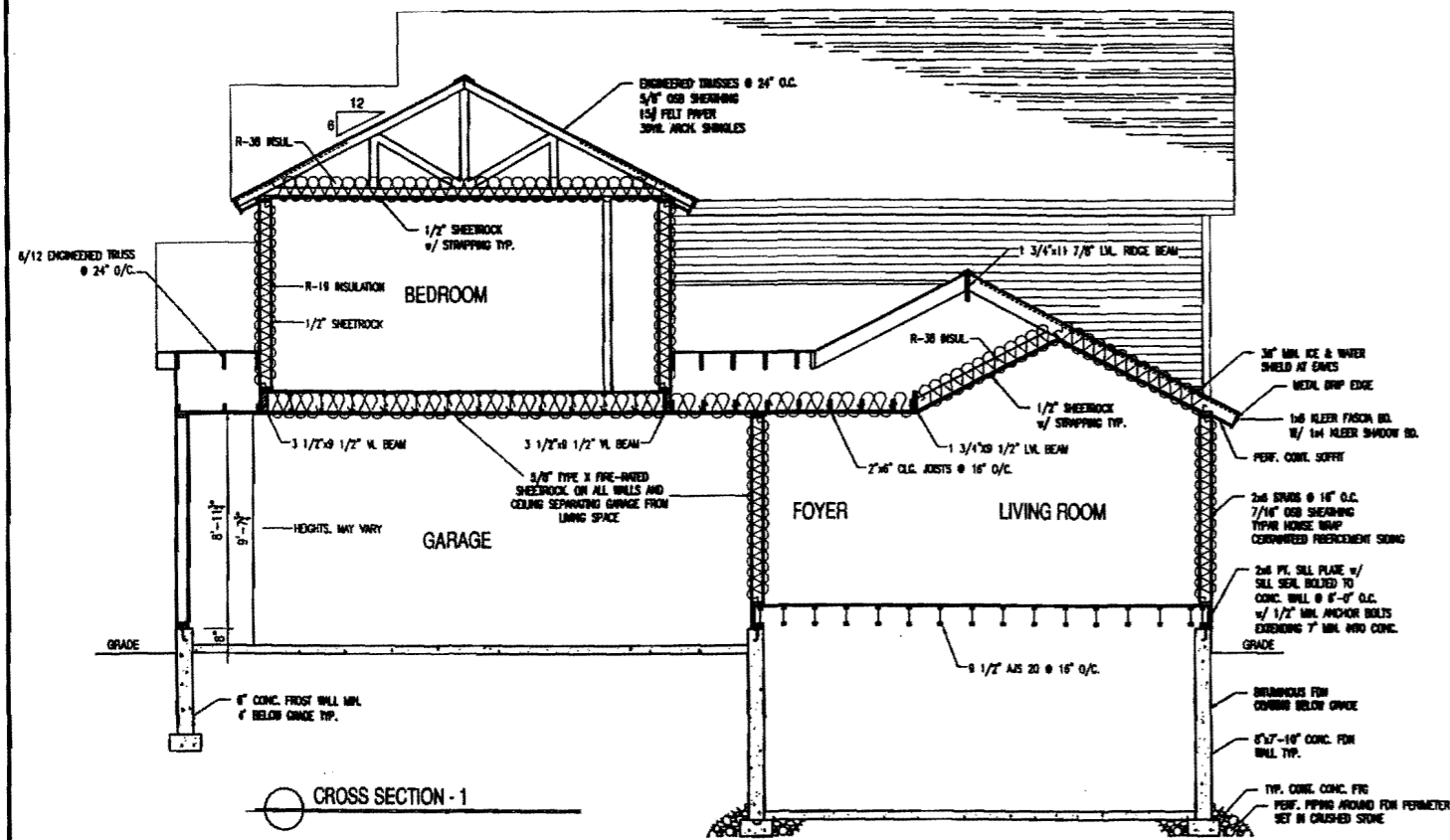
Check #: _____ Total Collected \$ 2395

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: J. J. [Signature]

WHITE - Applicant's Copy
 [unclear] - Office Copy
 [unclear] - Copy

CROSS SECTIONS
HAMMOND / SALA RESIDENCE
GARSOE DRIVE, PORTLAND, MAINE

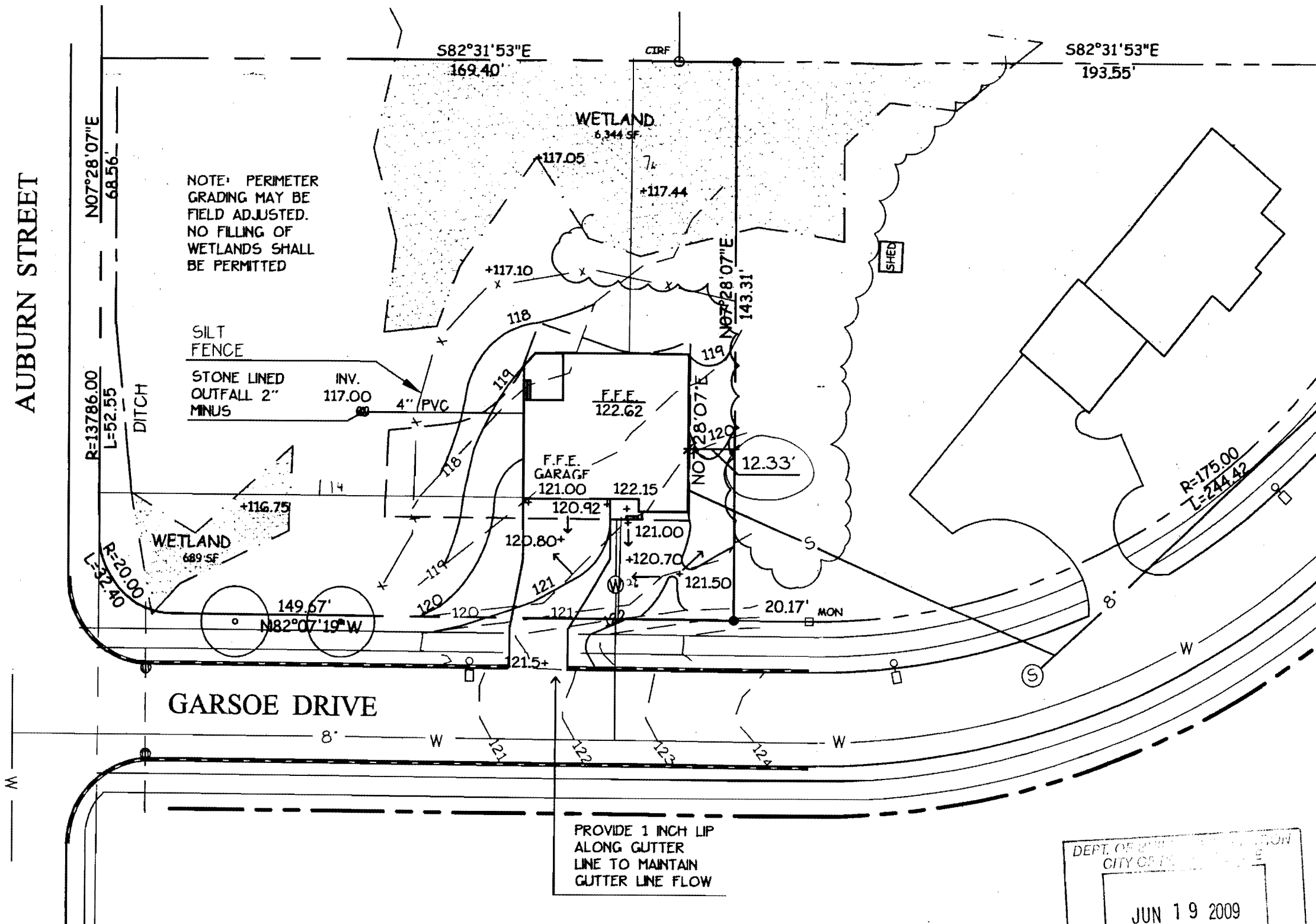


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Project: CLBD1400
Sheet Number:
5-of-6

AUBURN STREET

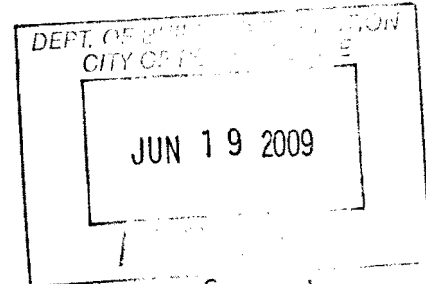


GRADING PLAN

SCALE: 1"=30'

NOTE: NO TREE CUTTING, FILLING OR DISPOSAL OF YARD WASTE SHALL BE PERMITTED IN DELINEATED WETLAND AREAS.

PROVIDE 1 INCH LIP ALONG GUTTER LINE TO MAINTAIN GUTTER LINE FLOW



- Rec'd from Phil
for letter in plan - correct
grading changes to front.

HAMMOND/S
GARSOE DRIVE

Date: MAY 5, 2009

Issued For: SITE PLAN APPROVAL AND CONSTRUCTION

Revisions:

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Title: EROSION & SEDIMENTATION CONTROL PLAN, DETAILS & GRADING PLAN

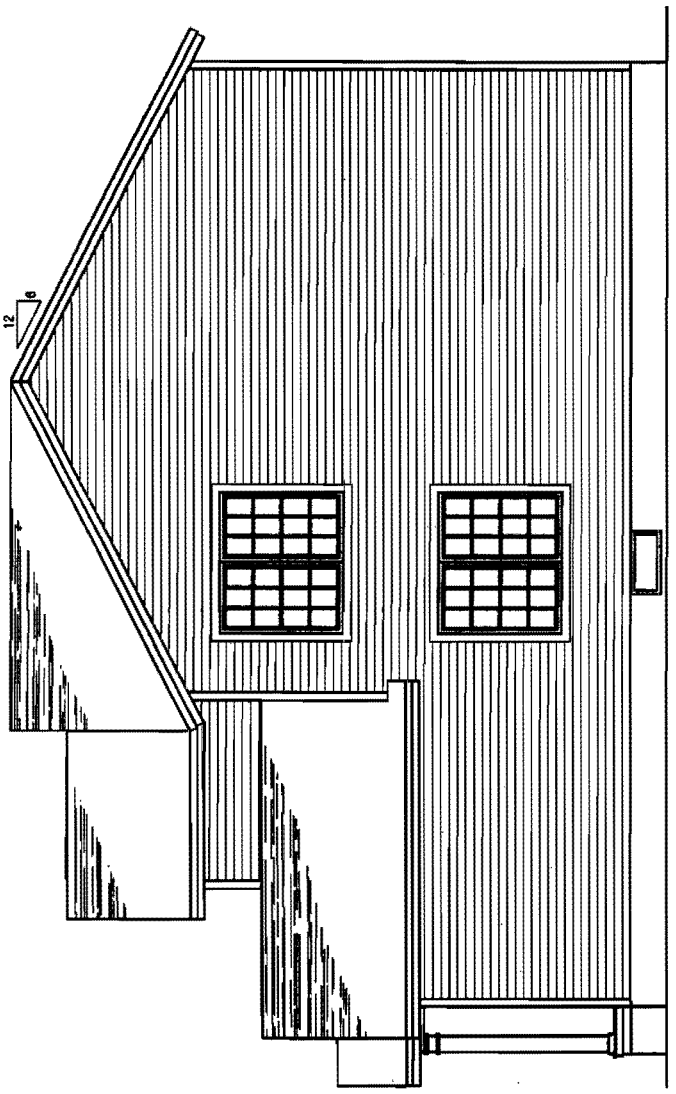
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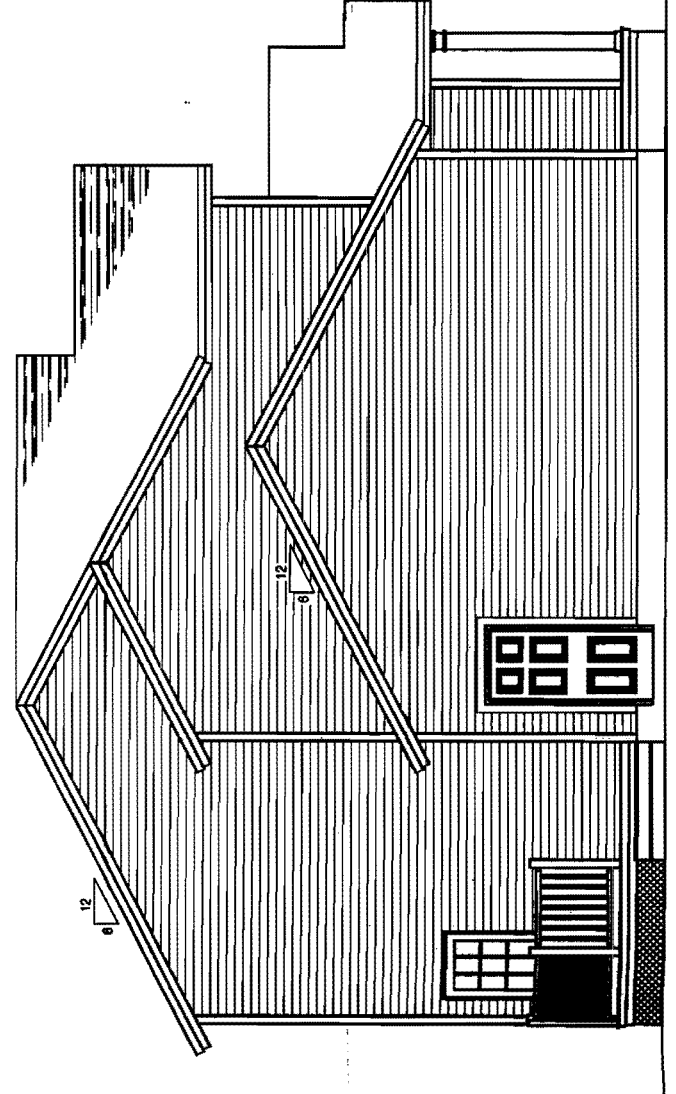
ELEVATIONS
 HAMMOND / SALA RESIDENCE
 GARSOE DRIVE, PORTLAND, MAINE

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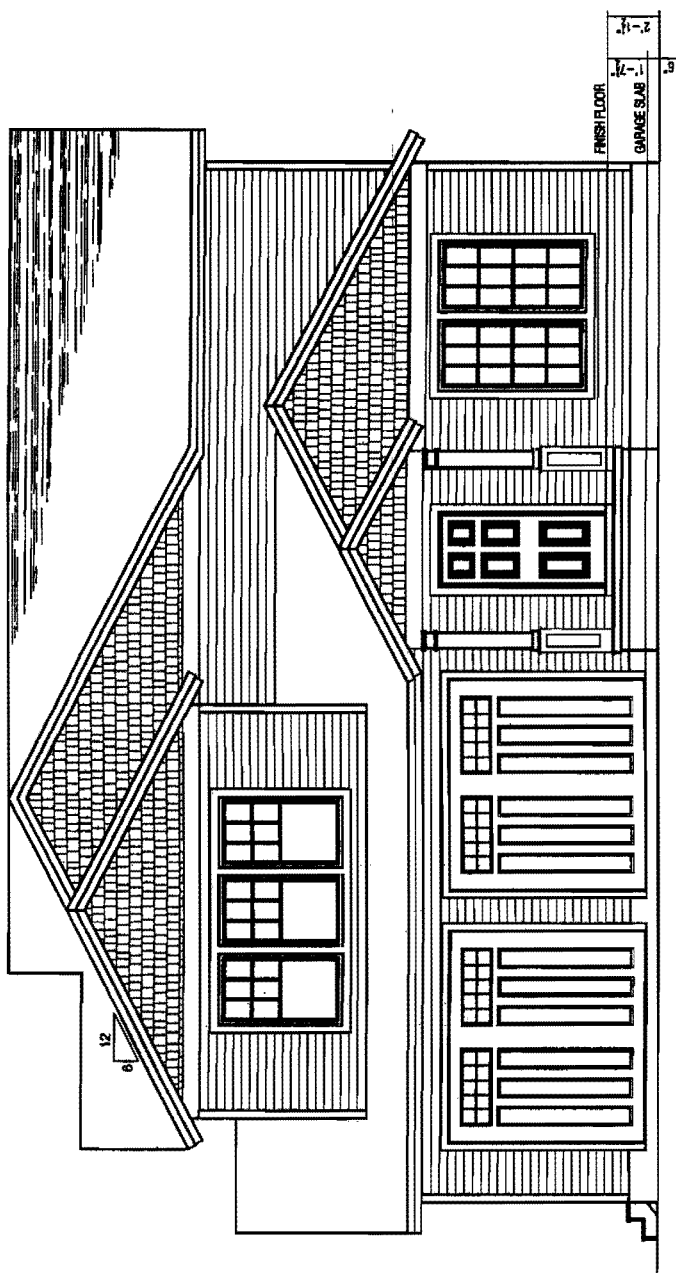
Revisions:
 Date: 5/19/09
 Scale: 1/8"=1'-0"
 Drawn By: MTA
 Project: QJBM108
 Sheet Number:
 1-of-6



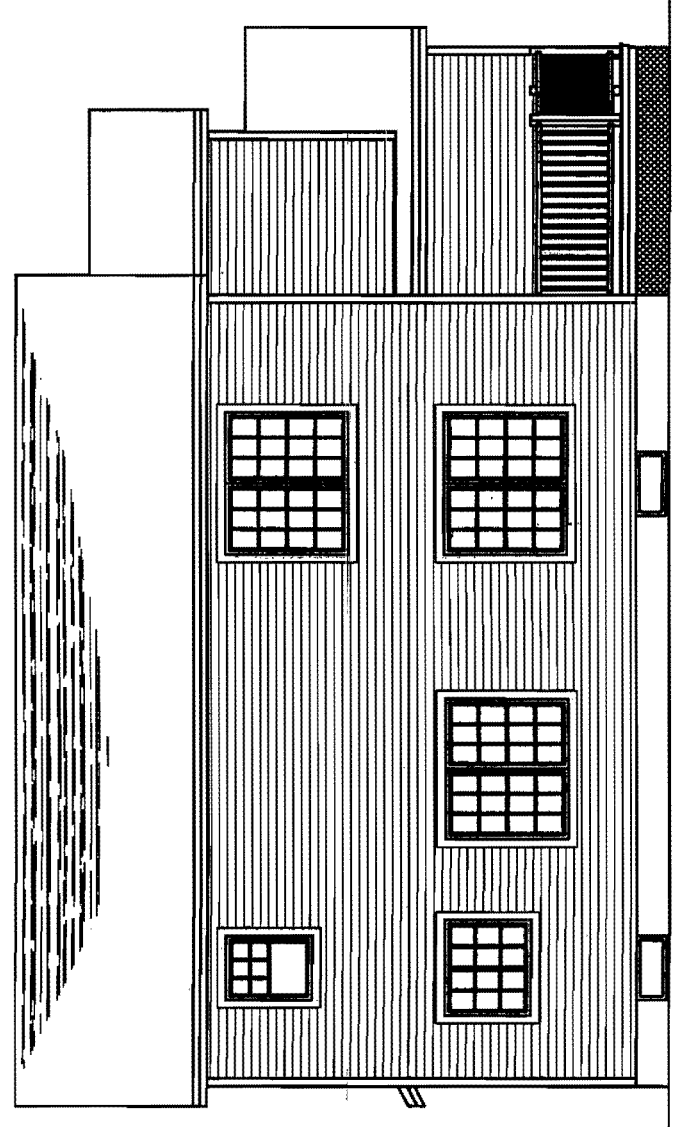
RIGHT ELEVATION



LEFT ELEVATION



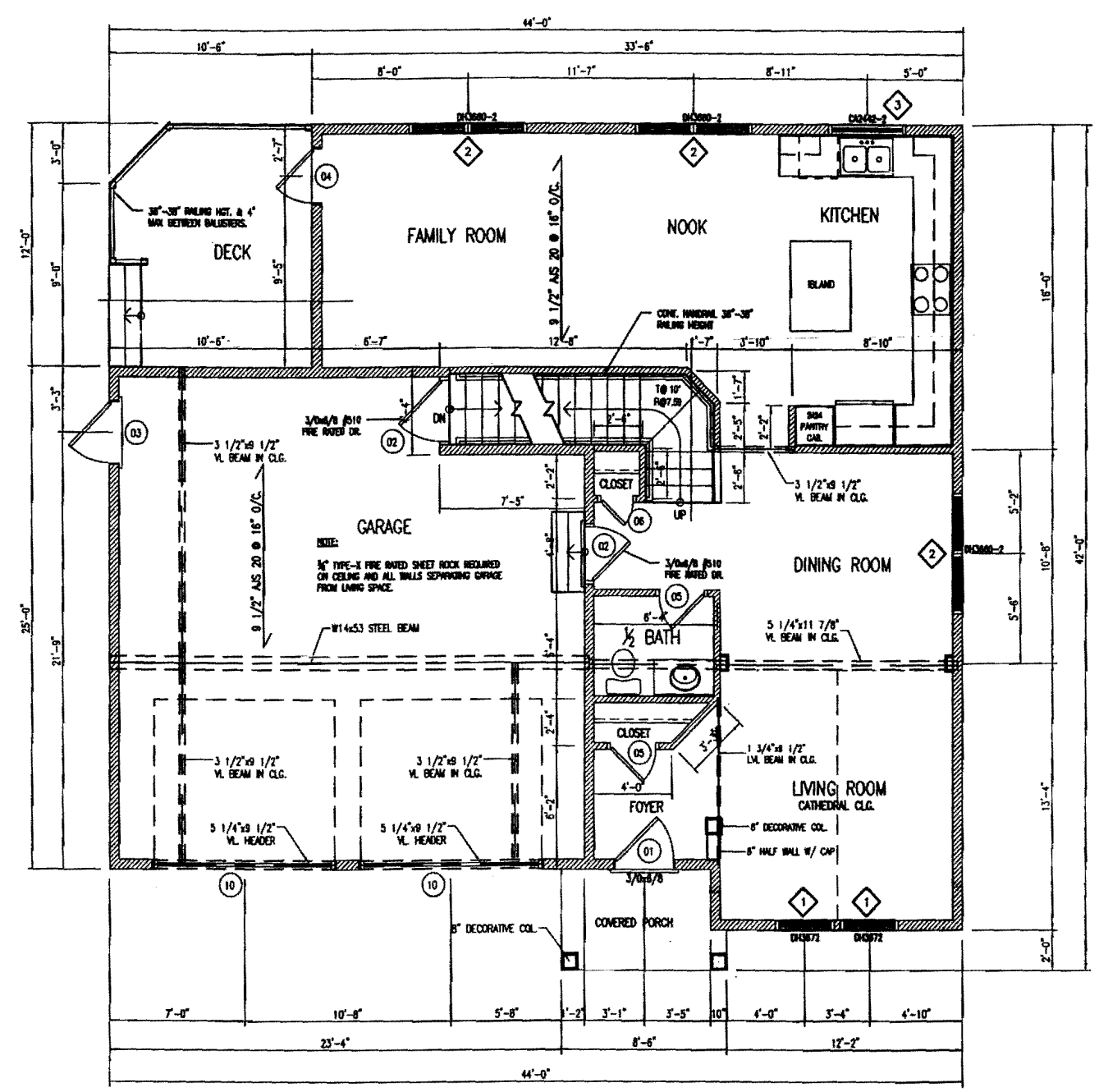
FRONT ELEVATION



REAR ELEVATION



FIRST FLOOR PLAN
 HAMMOND / SALA RESIDENCE
 GARSOE DRIVE, PORTLAND, MAINE



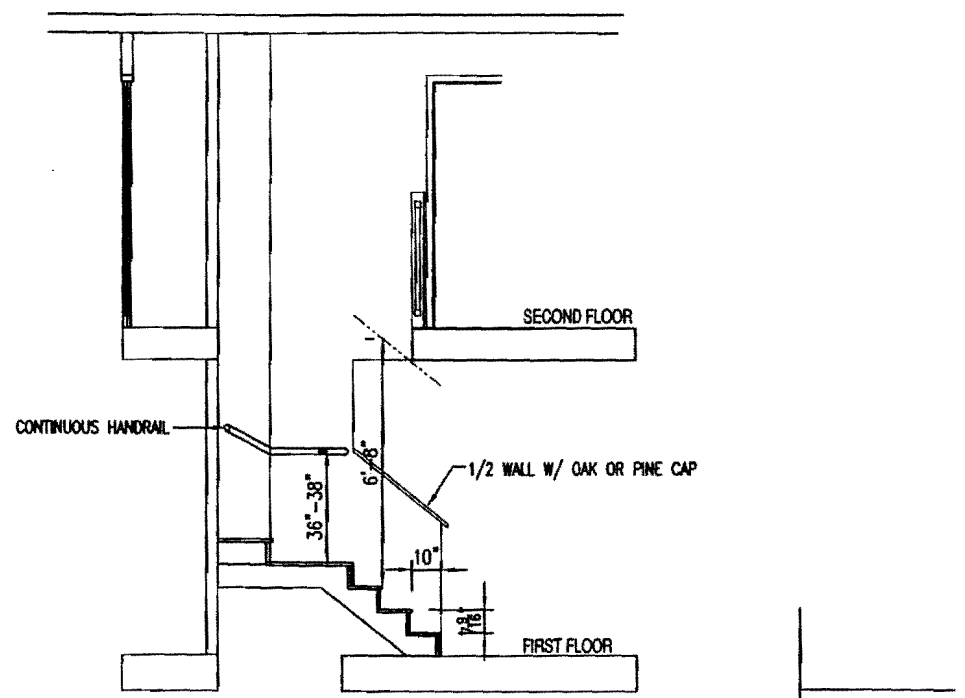
FIRST FLOOR PLAN
 930 SQ. FT.

WINDOW SCHEDULE

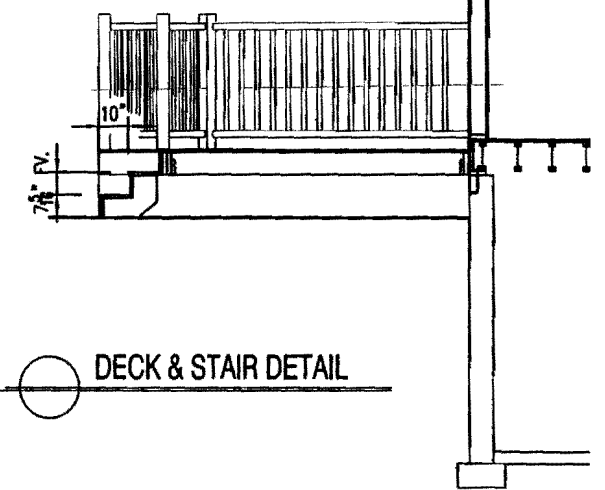
Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HP Low-E U-Factor / R-Value
				Width	Height			
1	2	Nichols Brothers	D15072	3'-0"	6'-3"	YES	(3) 2x10 w/ 1/2" Ply	37/35
2	2	Nichols Brothers	D15090	3'-0"	5'-3"	NO	(3) 2x10 w/ 1/2" Ply	37/35
3	2	Nichols Brothers	D15122-2	4'-0"	3'-0"	NO	(3) 2x10 w/ 1/2" Ply	37/35
4	2	Nichols Brothers	D15062-2	6'-0"	3'-0"	YES	(3) 2x10 w/ 1/2" Ply	37/35
5	2	Nichols Brothers	D15062	2'-4"	3'-0"	YES	(3) 2x10 w/ 1/2" Ply	37/35
6	1	Nichols Brothers	D15122	2'-4"	3'-0"	NO	(3) 2x10 w/ 1/2" Ply	37/35

DOOR SCHEDULE

Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	1	3'-0"	6'-3"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	2	3'-0"	6'-3"	THERMA TRU STEEL FIRE RATED DOOR
03	1	3'-0"	6'-3"	THERMA TRU STEEL EXTERIOR DOOR
04	1	3'-0"	6'-3"	THERMA TRU STEEL EXTERIOR DOOR
05	1	4'-0"	6'-3"	4 PANEL SOLID CORE MOLDED DOOR
06	1	4'-0"	6'-3"	4 PANEL SOLID CORE MOLDED DOOR
07	1	2'-4"	6'-3"	4 PANEL SOLID CORE MOLDED DOOR
08	1	2'-4"	6'-3"	4 PANEL SOLID CORE MOLDED DOOR
09	1	5'-0"	6'-3"	4 PANEL SOLID CORE MOLDED DOOR
10	2	9'-0"	6'-3"	STEEL GARAGE DOOR



STAIR CROSS SECTION DETAIL

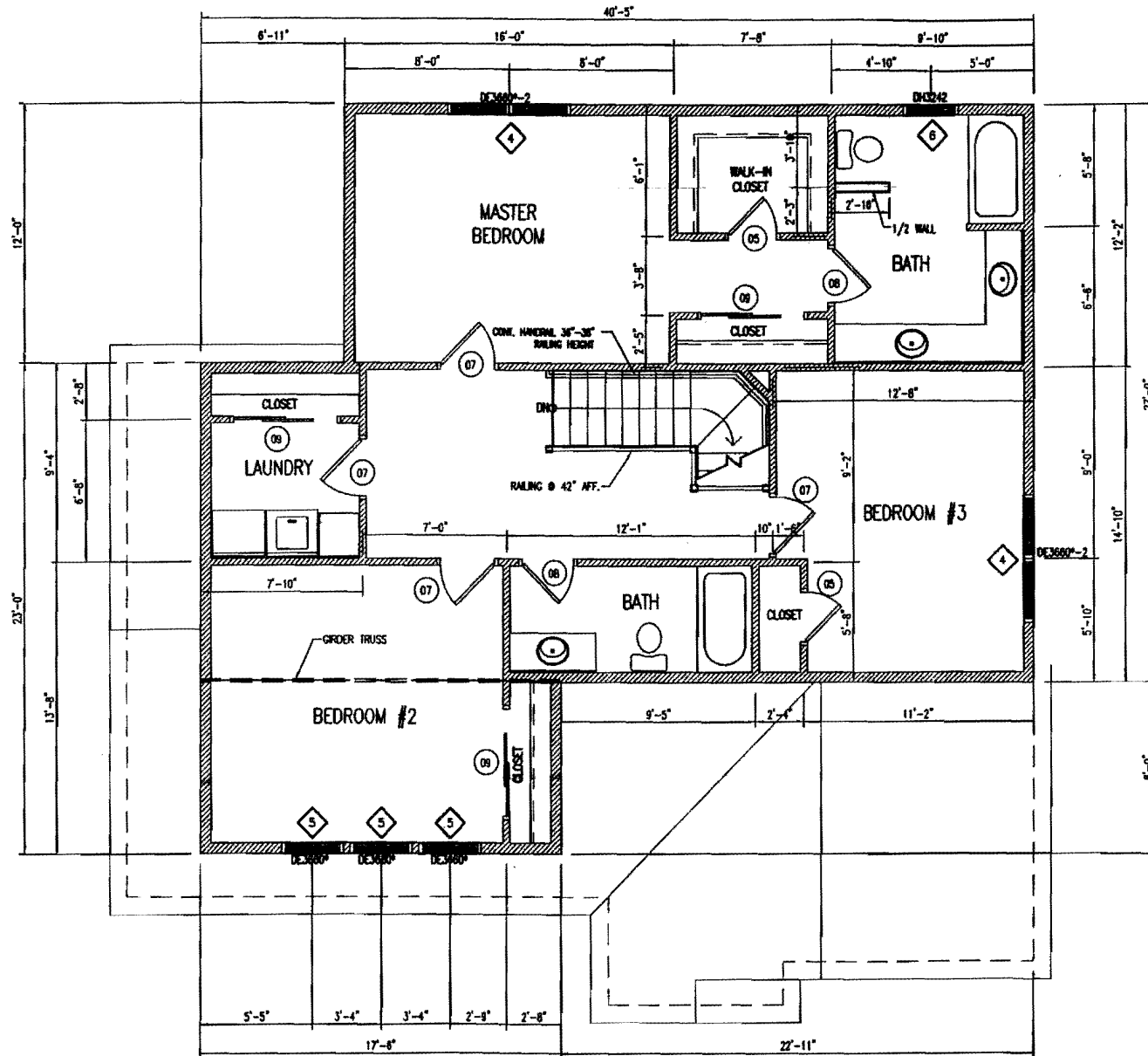


DECK & STAIR DETAIL

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 Drawn By: MTA
 Project: 08041408
 Sheet Number:
 2-of-6

SECOND FLOOR PLAN
HAMMOND / SALA RESIDENCE
GARSOE DRIVE, PORTLAND, MAINE



SECOND FLOOR PLAN
1148 SQ. FT.

NOTE:

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. EACH SLEEPING AREA
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM
3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING GARAGEMENT
4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
5. FIRE SEPARATION PER LOCAL OR LOCAL CODE WHEN REQUIRED.

* EXPRESS WINDOW

CONSTRUCTION NOTE:

CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE BEGINNING NEW CONSTRUCTION. DIMENSIONS SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINISH MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONTR., OR LOCAL CODES.

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Revisions:

Date: 5/19/09
Scale: 1/8"=1'-0"
Drawn By: MTA
Project: CLB04100
Sheet Number:

TABLE RB02(X1)
GROGERS SWANS AND HEADER SWANS FOR EXTERIOR BEARING WALLS
(Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

GROGERS AND HEADERS SUPPORTING	SIZE	BUILDING WIDTH (feet)			
		50			
		Span	N ^o Spans	N ^o Spans	N ^o Spans
Roof, ceiling and one clear span floor	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
	1-2x8	2-0	1	1	1
	1-2x10	2-0	1	1	1
	1-2x12	2-0	1	1	1
	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
	1-2x8	2-0	1	1	1
	1-2x10	2-0	1	1	1
	1-2x12	2-0	1	1	1
	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
1-2x8	2-0	1	1	1	
1-2x10	2-0	1	1	1	
1-2x12	2-0	1	1	1	
Roof, ceiling and two clear span floor	1-2x4	2-0	1	1	1
1-2x6	2-0	1	1	1	
1-2x8	2-0	1	1	1	
1-2x10	2-0	1	1	1	
1-2x12	2-0	1	1	1	
1-2x4	2-0	1	1	1	
1-2x6	2-0	1	1	1	
1-2x8	2-0	1	1	1	
1-2x10	2-0	1	1	1	
1-2x12	2-0	1	1	1	

- For St. 1 inch = 25.4mm, 1 pound per square foot = 0.04786 kN/m²
- Spans are given in feet and inches.
 - Tabulated values assume #2 grade lumber.
 - Building width is measured perpendicular to the ridge. For walls between those shown, spans are permitted to be interpolated.
 - Number of jack studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud and to the header.
 - Use 20psf ground snow load for cases in which ground snow load is less than 20psf and the roof live load is equal to or less than 20psf.

TABLE RB02(X2)
GROGERS SWANS AND HEADER SWANS FOR INTERIOR BEARING WALLS
(Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

HEADERS AND GROGERS SUPPORTING	SIZE	BUILDING WIDTH (feet)			
		50			
		Span	N ^o Spans	N ^o Spans	N ^o Spans
One floor only	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
	1-2x8	2-0	1	1	1
	1-2x10	2-0	1	1	1
	1-2x12	2-0	1	1	1
	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
	1-2x8	2-0	1	1	1
	1-2x10	2-0	1	1	1
	1-2x12	2-0	1	1	1
	1-2x4	2-0	1	1	1
	1-2x6	2-0	1	1	1
1-2x8	2-0	1	1	1	
1-2x10	2-0	1	1	1	
1-2x12	2-0	1	1	1	
Two floor only	1-2x4	2-0	1	1	1
1-2x6	2-0	1	1	1	
1-2x8	2-0	1	1	1	
1-2x10	2-0	1	1	1	
1-2x12	2-0	1	1	1	

HANCOCK CLASS WINDOW CENTERED UNIT PERFORMANCE WITHOUT GRILLS (P LWF-E)

PRODUCT TYPE	U-FACTOR	R-VALUE
CEILING	0.31	0.31
STANDARD DOUBLE-HANG	0.35	0.28
PREMIUM DOUBLE-HANG	0.46	0.46
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

MARKET BROTHERS INC. CENTERED CENTER UNIT PERFORMANCE

WINDOW SCHEDULE

Mark	Quant	Manufacturer	Style	Size		Egress	Header Size	HP Low-E
				Width	Height			
1	1	MARKET BROTHERS	TRANSOM	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO
2	1	MARKET BROTHERS	STANDARD DOUBLE-HANG	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO
3	1	MARKET BROTHERS	PREMIUM DOUBLE-HANG	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO
4	1	MARKET BROTHERS	TRANSOM	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO
5	1	MARKET BROTHERS	AWNING	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO
6	1	MARKET BROTHERS	GLIDER	3'-0"	4'-0"	NO	3'-0" x 4'-0"	NO

TABLE RB02(X3)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (inches)	Intermediate support (inches)
wood structural panels, subfloor, roof and wall sheathing to framing and perforated wall sheathing to framing	6d common nail (subfloor, wall) 6d common nail (roof)	6	12"
19/24" - 1"	6d common nail	6	12"
1-1/2" - 1-1/4"	10d common nail or 6d deformed nail	6	12
Other wall sheathing*			
1/2" regular calc. sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga., 1-1/2" long	3	6
1/2" regular calc. sheathing	1-3/4" galvanized roofing nail 6d common nail slope 18ga., 1-3/4" long	3	6
25/32" structural calc. sheathing	1-1/2" galvanized roofing nail 6d common nail, slope galvanized, 1-1/2" long 1-1/2" x 1-1/2" screws, Type W or S	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 18ga., 1-1/2" long	4	8
wood structural panels, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 6d common nail	6	12
7/8" - 1"	6d common nail or 6d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 6d deformed nail	6	12

- For St. 1 inch = 25.4mm, 1 foot = 304.8mm, 1 mile per hour = 1.609km/h.
- All nails are smooth-common, box or deformed studs except where otherwise noted. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 60ksi (414N) for shank diameter of .192inch (5.00mm), 60ksi (420N) for shank diameter larger than .192inch but not larger than .177inch, and 100ksi (689N) for shank diameter of .1625inch less.
 - Staples are 16 gage wire and have a minimum 7/16-inch diameter crown width.
 - Holes shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
 - Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on table RB02(X1).
 - For regions having basic wind speed of 110mph or greater, 6d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing when minimum 48-inch distance from gable end walls. If mean roof height is more than 25feet, up to 32feet maximum.
 - For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.
 - Openings sheathing shall conform to ASTM C79 and shall be installed in accordance with CA 253. Sheathing shall conform to either AHJ 194.1 or ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeter only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeter. Spacing of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

DOOR SCHEDULE

Mark	Quant	Description	Size	
			Width	Height
1	1	TRANSOM	3'-0"	4'-0"
2	1	STANDARD DOUBLE-HANG	3'-0"	4'-0"
3	1	PREMIUM DOUBLE-HANG	3'-0"	4'-0"
4	1	TRANSOM	3'-0"	4'-0"
5	1	AWNING	3'-0"	4'-0"
6	1	GLIDER	3'-0"	4'-0"

SCHEDULES
HAMMOND / SALA RESIDENCE
GARSOE DRIVE, PORTLAND, MAINE

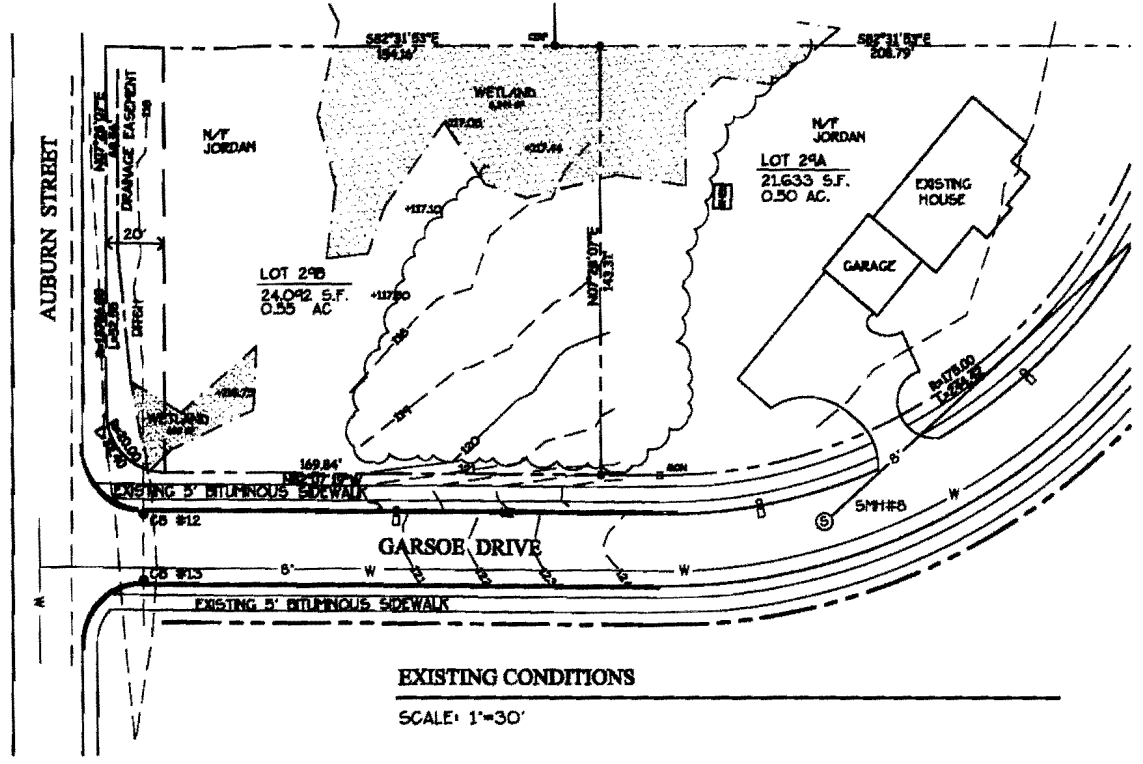


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Revisions:
Date: 5/19/08
Scale: 1/8" = 1'-0"
Drawn By: MIA
Project: DDM148
Sheet Number:
6-of-6



LOCATION MAP
SCALE: N.T.S.



EXISTING CONDITIONS
SCALE: 1"=30'

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HAMMOND/SALA PROPERTY
PORTLAND, MAINE
GARSOE DRIVE

ZONING REQUIREMENTS	REQUIRED	PROPOSED
1. ZONING DISTRICT:	R2 - RESIDENTIAL	
2. MINIMUM LOT SIZE (RESIDENTIAL):	10,000 S.F.	24,092 S.F.
3. MINIMUM AREA PER DWELLING UNIT:	10,000 S.F.	
4. MINIMUM STREET FRONTAGE:	50 FEET	169.84 FEET
5. MINIMUM YARD DIMENSIONS:		
FRONT YARD (PRINCIPAL STRUCTURE):	25 FEET	25 FEET
REAR YARD (PRINCIPAL STRUCTURE):	25 FEET	78.46 FEET
SIDE YARD:		12 FEET
2 STORIES:	14 FEET	
THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 12 FEET.		
NOTE: WEST SIDE AND REAR SETBACKS BASED ON 25FT SETBACK FROM WETLAND.		
6. MAXIMUM LOT COVERAGE:	20% OF AREA	7 PERCENT
7. MINIMUM LOT WIDTH:	60 FEET	169.84 FEET
8. MAXIMUM HEIGHT (PRINCIPAL STRUCTURE):	35 FEET	30 FEET

- GENERAL NOTES:**
- THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS, LOT #29A AND LOT #29B.
 - ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION "AUBURN PINES SUBDIVISION AUBURN ST., PORTLAND, ME DATED APRIL 26, 1999 APPLY TO LOTS #29A AND LOT #29B, RECORDED C.G.R.D. PLAN BOOK 199 PAGE 393, DATED AUGUST 11, 1999.
 - THE WETLANDS AS SHOWN WERE DELINEATED BY DALE A. BREWER OF STATEWIDE SURVEYS, INC. ON AUGUST 19, 2006.
 - THE WETLAND BOUNDARIES WERE MAPPED USING A TRIPLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
 - BOUNDARY INFORMATION FOR "AUBURN PINES SUBDIVISION" PREPARED BY PINNHAM & GREER DATED APRIL 26, 1999 REVISED THRU 7/20/99 RECORDED IN PLAN BOOK 199 PAGE 393.
 - NEW HOME SHALL HAVE ITS NUMBER CLEARLY VISIBLE FROM THE ROAD.
 - NEW LOT SHALL BE SERVICED BY PUBLIC SEWER AND WATER.
 - POWER, TELEPHONE AND CABLE SHALL BE UNDERGROUND.
 - NEW LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - CONDITION OF APPROVAL THAT ANY PRIMARY STRUCTURE HOME AND/OR GARAGE CONSTRUCTED ON LOT 29B IS REQUIRED TO UTILIZE THE BUILDING ENVELOPE AS SHOWN ON THE SUBDIVISION AMENDMENT PLAN AND NO TREE CUTTING OR DISTURBANCE IS ALLOWED IN THE DELINEATED WETLANDS AS SHOWN. A REVISED AMENDMENT PLAN SHALL BE PREPARED FOR PLANNING BOARD SIGNATURE SHOWING THE WETLAND AREAS AS A "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" AREA. THE RECORDING PLAT AND THE "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" RESTRICTION IS TO BE REFERENCED IN THE DEED TRANSFERRING THE NEW LOT AND A MINIMUM OF THREE PERMANENT SURVEY MARKERS ARE TO BE SHOWN ON THE PLAT AND INSTALLED ON-SITE SHOWING THE LIMITS OF THE DELINEATED WETLANDS.
 - THIS PLAN SUPERCEDES APPROVED PLAN REVISED DATED DECEMBER 4, 2006

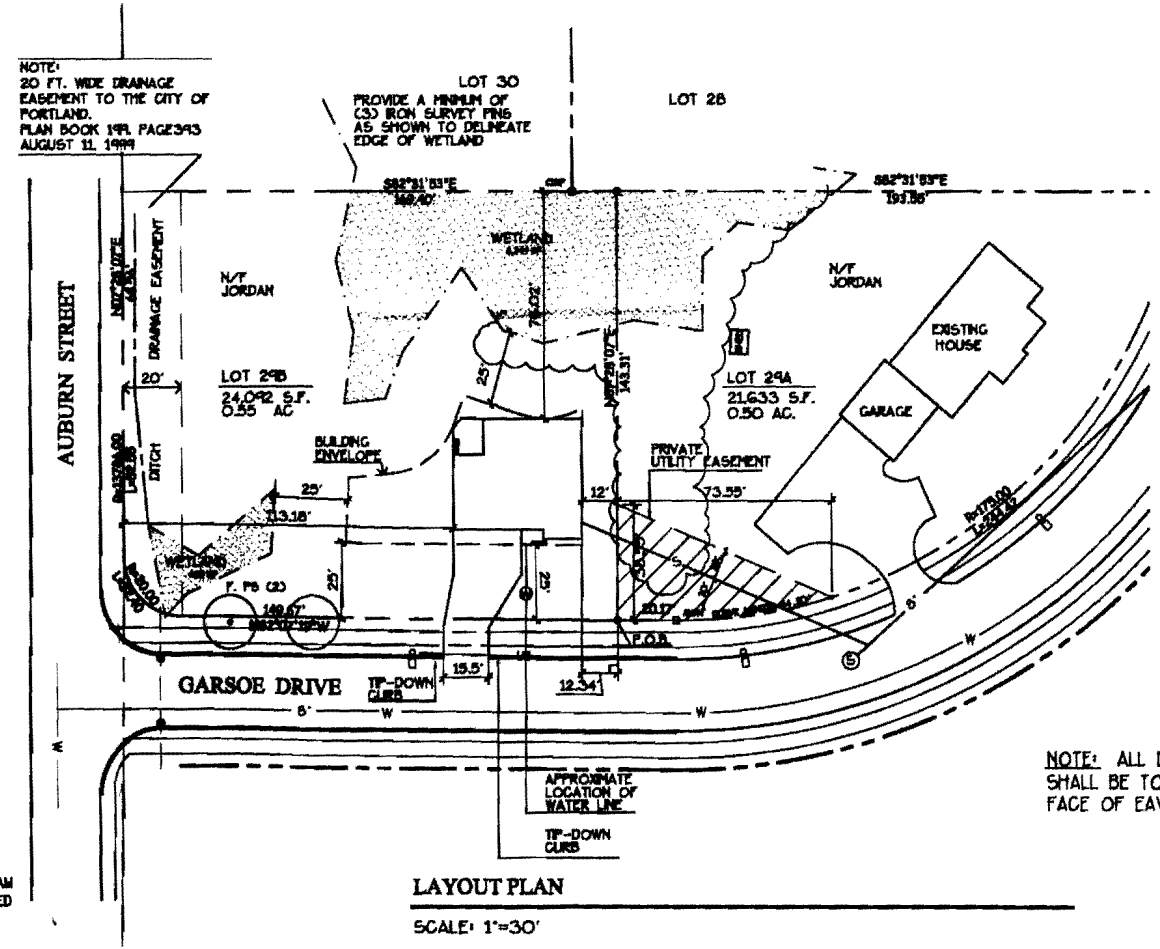
LEGEND

EXISTING IRON PIN	
PROPOSED IRON PIN	
EXISTING MONUMENT	
EXISTING LIGHT POLE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
LIMIT OF WETLAND	
EDGE OF PAVEMENT	
CONTOURS	
TREE LINE	
CATCHBASIN	
EXISTING SEWER	
EXISTING WATER	
PROPOSED SEWER	
PROPOSED WATER	
PROPOSED TREES	

CERTIFICATION

SURVEYORS CERTIFICATION IS TO THE CONFIGURATIONS AND AREAS OF THE PROPOSED PARCELS ONLY. INFORMATION FOR THE PERIMETER OF THE ORIGINAL LOT 29 IS BASED ENTIRELY ON A PLAN ENTITLED "AUBURN PINES SUBDIVISION" PREPARED BY PINNHAM & GREER DATED APRIL 26, 1999 REVISED THRU 7/20/99, RECORDED IN PLAN BOOK 199 PAGE 393.

Rex J. Oroteau, PLS #2273
TTCOMB Associates



LAYOUT PLAN
SCALE: 1"=30'

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
F. P5	2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

NOTE: ALL DIMENSIONS FOR SETBACKS SHALL BE TO FACE OF STRUCTURE OR FACE OF EAVES

Date: MAY 5, 2009

Issued For: SITE PLAN APPROVAL AND CONSTRUCTION

Revisions:

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Title: EXISTING CONDITIONS AND LAYOUT PLAN

Scale: 1"=30'

North:

Sheet No.: 1