

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

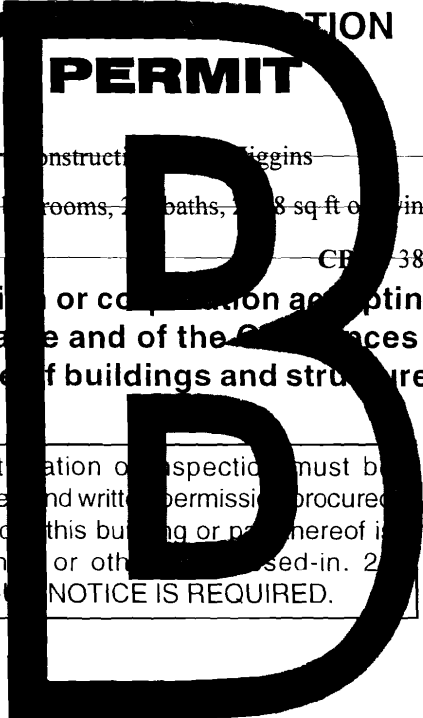
BUILDING INSPECTION

## PERMIT

Permit Number: 090521

PERMIT ISSUED  
JUN 22 2009  
CITY OF PORTLAND

This is to certify that Toby & Barbara Hammond/Portland Construction Services Inc  
has permission to New Single Family Home w/ 3 bedrooms, 2 baths, 2800 sq ft of living space w/ 2 car garage  
AT 2 GARSOE DR CE 386A B040001



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

- Fire Dept. \_\_\_\_\_
- Health Dept. \_\_\_\_\_
- Appeal Board \_\_\_\_\_
- Other \_\_\_\_\_  
Department Name

*Thomas W. Mackley* 6/19/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Polyn E. Hammond  
Signature of Applicant/Designee

6/22/09  
Date

Thomas N. Mackay  
Signature of Inspections Official

6/19/09  
Date

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0521	Issue Date: JUN 22 2009	CHL: 386A E040001
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Location of Construction: 2 GARSOE DR	Owner Name: Toby & Barbara Hammond	Owner Address: P.O. 488	Phone: 207-415-5009
Business Name:	Contractor Name: Port Construction / Dan Higgins	Contractor Address: P.O. Box 1205 West	Phone: 2073372136
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage	Permit Fee: \$2,095.00	Cost of Work: \$200,000.00	CEO District: 5
Proposed Project Description: New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: [Signature] 6/19/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 05/28/2009	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone parcel 2 - zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2009-0054 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Okw/cond. hrs Date: 6/3/09	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied [Signature] Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0521	<b>Date Applied For:</b> 05/28/2009	<b>CBL:</b> 386A B040001
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<b>Location of Construction:</b> 2 GARSOE DR	<b>Owner Name:</b> Toby & Barbara Hammond	<b>Owner Address:</b> P.O. 488	<b>Phone:</b> 207-415-5009
<b>Business Name:</b>	<b>Contractor Name:</b> Port Construction / Dan Higgins	<b>Contractor Address:</b> P.O. Box 1205 Well	<b>Phone:</b> (207) 337-2136
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage	<b>Proposed Project Description:</b> New Single Family Home w/ 3 bedrooms, 2.5 baths, 2078 sq ft of living space w/ 2 car garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/03/2009  
**Note:** **Ok to Issue:**

- 1) With the issuance of the building permit and certificate of occupancy, this property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 06/19/2009  
**Note:** **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 06/19/2009  
**Note:** **Ok to Issue:**

- 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. The site contractor shall provide positive drainage away from the foundation.
- 4) As-built record information for sewer and stormwater service connections must be submitted to Public Services Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 2 GARSOE DR	<b>Owner Name:</b> Toby & Barbara Hammond	<b>Owner Address:</b> P.O. 488	<b>Phone:</b> 207-415-5009
<b>Business Name:</b>	<b>Contractor Name:</b> Port Construction / Dan Higgins	<b>Contractor Address:</b> P.O. Box 1205 Well	<b>Phone</b> (207) 337-2136
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

6/3/2009-amachado: Siteplan 2006-0188 was applied for to amend the Auburn Pines Subdivision. Lot 29 was to be split. It was approved on November 28, 2006 and a revision was approved February 28, 2007. This single family lot was created from this lot split.

6/19/2009-tm: reviews completed and waiting for DRC sign off before issuing. Permit is in Tom's Hold basket in his cube on floor.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>2 Garsoe Drive, Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>2078 sq ft living - 625 sq ft garage - 1026 sq ft basement = 2402 sq ft</u>		Square Footage of Lot <u>24002 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# <u>326A</u> Block# <u>B</u> Lot# <u>40</u>  <u>2 Garsoe Drive Portland, ME 04101</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Toby B Hammond</u> Address <u>PO Box 488</u> City, State & Zip <u>Naples, ME 04055</u>	Telephone: <u>P 207-693-3785</u> <u>C 207-415-5009</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Toby B Hammond</u> <u>Robyn E Hammond</u> <u>Barbara J Hammond</u> <u>Joseph P. Sala</u> Address <u>PO Box 488</u> <u>41 Northwood Drive</u> City, State & Zip <u>Naples</u> <u>Portland</u> <u>ME 04055</u> <u>ME 04103</u>	Cost Of Work: \$ <u>200,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>vacant lot</u> If vacant, what was the previous use? <u>part of next lot</u> Proposed Specific use: <u>single family home</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Auburn Pines</u> Project description: <u>3 Bed 2.5 Baths 2078 sq ft of living space w/ 2 car garage</u>		
Contractor's name: <u>Port Construction</u> <u>Dan Higgins</u> Address: <u>PO Box 1205</u> City, State & Zip <u>Wells, ME 04090</u> Telephone: <u>207-337-2136</u> Who should we contact when the permit is ready: <u>Toby Hammond</u> Telephone: <u>207-415-5009</u> Mailing address: <u>PO Box 488, Naples, ME 04055</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: skilco MAY 28 2009

**This is not a permit; you may not commence ANY work until the permit is issue**

Applicant: Toby B. Hammond

Date: 6/2/09

Address: 2650c Dr.

C-B-L: 386A-B-040  
perm. 109-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-2

Interior or corner lot

Proposed Use/Work - build two story single family home w/ attached 2 car garage <sup>≈ (44x40)</sup>

Sewage Disposal - city

Lot Street Frontage - 50' min. - 30 3 18' given

Front Yard - 25' min. - 25' scaled

Rear Yard - 25' min. - 75' 5' scaled

Side Yard - <sup>1 1/2 story</sup> 12' min. <sup>right side</sup> 12.33' given <sup>ok</sup> - \*can be reduced to 12' if added to the side.

Projections - 2 story 14' min sidely 22' sidely 20 min - 11.5' scaled - real minimum of 22' (OK)  
- porch 8x5, deck 10x12 [-1/2(3x2)]

Width of Lot - 80' min. - 169' scaled

Height - 35' max. - 23' scaled

Lot Area - 10,000 sq ft min. - 24,092 sq ft given

Lot Coverage Impervious Surface - 20% = 4815.44

Area per Family - 10,000 sq ft ok

Off-street Parking - 2 spaces required - 5 space 24x24 ok

Loading Bays - N/A

Site Plan - minor/minor 2009-0054

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - 2009

34 x 37 = 1258

10 x 25 = 250

3 x 12 = 36

8 x 5 = 40

10 x 12 = 120

1704

- 3 (deck)

1701 sq ft

OK

**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 6/19/2009 9:39:24 AM  
**Subject:** 2 Garsoe Drive, Single Family Site Plan Review

Hi all, this project meets the minimum site plan requirements for the issuance of the building permit. See UI for sign off.

Thanks.

phil



Applicant:

Date: 12/09

Address: 34 Garde Drive

C-B-L: 386 A-B-29

permit 09-0521

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 2000

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal -

Lot Street Frontage - 50' min. -

Front Yard - ~~20'~~ N/A

Rear Yard - N/A

Side Yard - 1 1/2 story - 10' min left side - 76' scaled

Projections -

Width of Lot - 80' min - 179' scaled (OK)

Height -

Lot Area - 10,000 sq ft - 21,633 sq ft

Lot Coverage/Impervious Surface - 70% = 4326.6 sq ft

existing 2580 sq ft ok

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

\* making sure lot split - existing house lot - needs zoning requirements R-2 zone

**JEWELL & BOUTIN, P. A.**  
**Attorneys at Law**  
477 Congress Street  
Suite 1104  
Portland, ME 04101-3427

Thomas F. Jewell  
Daniel W. Boutin

Email: [tjewell@jewellandboutin.com](mailto:tjewell@jewellandboutin.com)  
Email: [dboutin@jewellandboutin.com](mailto:dboutin@jewellandboutin.com)

Telephone: 207-774-6665  
Fax: 207-774-1626

May 15, 2009

Toby Hammond  
P.O. Box 488  
Naples, Maine 04055


Re: Purchase of 2 Garsoe Drive, Portland, Maine

Dear Toby:

Enclosed please find copies of all of the documents executed at the closing of your purchase of 2 Garsoe Drive in Portland, Maine.

Please feel free to call if you have any questions.

Yours truly,

  
Thomas F. Jewell, Esq.

TFJ/maj  
Enclosures

MAY 15 2009

## SELLER'S STATEMENT

**Buyer:** Toby B. Hammond and Barbara J. Hammond  
Robyn E. Hammond and Joseph D. Sala

**Seller:** MADD, LLC

**Settlement Agent:** Jewell & Boutin, P.A.  
(207)774-6665

**Place of Settlement:** 477 Congress Street, Suite 1104  
Portland, ME 04101-3427

**Settlement Date:** May 15, 2009

**Property Location:** 2 Garsoe Drive  
Portland, ME 04101  
Cumberland County, Maine

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### CREDITS

Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
<b>Less Total Credits to Seller</b>	<b>TOTAL CREDITS</b>	<b>120,214.34</b>

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### DEBITS

Commissions - Total commissions:	% = 12,000.00	12,000.00
	Less Deposit Retained	
	12,000.00 Dan Anderson	
Document Preparation	Jewell & Boutin, P.A.	150.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
Deposit retained by seller		10,000.00
<b>Less Total Reductions to Amount Due Seller</b>	<b>TOTAL DEBITS</b>	<b>22,414.00</b>

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### BALANCE

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<b>To Seller</b>	<b>97,800.34</b>
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APPROVED:  
MADD, LLC

BY:   
Leonard Anderson, Manager

  
Jewell & Boutin, P.A.

**BUYER'S STATEMENT**

**Buyer:** Toby B. Hammond and Barbara J. Hammond  
Robyn E. Hammond and Joseph D. Sala  
**Seller:** MADD, LLC  
**Settlement Agent:** Jewell & Boutin, P.A.  
(207)774-6665  
**Place of Settlement:** 477 Congress Street, Suite 1104  
Portland, ME 04101-3427  
**Settlement Date:** May 15, 2009  
**Property Location:** 2 Garsoe Drive  
Portland, ME ~~04101~~ 04103  
Cumberland County, Maine

**DEBITS**

Purchase Price		120,000.00
City/Town Taxes	05/16/09 to 07/01/09 real estate proration	214.34
wire charges	Jewell & Boutin, P.A.	20.00
Attorney's Fees	Jewell & Boutin, P.A.	650.00
Title Insurance	Ticor Title Insurance Company	360.00
Recording Fees	Cumberland County Registry of Deeds	20.00
State Tax/Stamps	Cumberland County Registry of Deeds	264.00
<b>Gross Amount Due From Buyer</b>	<b>TOTAL DEBITS</b>	<b>121,528.34</b>

**CREDITS**

Deposit or Earnest money		10,000.00
<b>Less Total Credits to Buyer</b>	<b>TOTAL CREDITS</b>	<b>10,000.00</b>

**BALANCE**

**From Buyer** 111,528.34

APPROVED:

  
Toby B. Hammond  
Barbara J. Hammond  
Robyn E. Hammond  
Joseph D. Sala  
Jewell & Boutin, P.A.

**WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, that **MADD, LLC**, a Maine limited liability company with a place of business in Portland, Maine, for consideration paid, grant to **TOBY B. HAMMOND** and **BARBARA J. HAMMOND** of Naples, Maine as joint tenants between them, and **ROBYN E. HAMMOND** and **JOSEPH D. SALA** of 41 Northwood Drive, Portland, Maine 04103, as joint tenants between them, with WARRANTY COVENANTS, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:

**SEE EXHIBIT A ATTACHED HERETO**

Further reference is made in an Amended Subdivision Plat prepared for Philip and Charlene Jordan, showing above described parcel as Lot 29-B. Said plat is recorded in said Registry in Book 207, Page 122.

Being the same premises conveyed to the Grantor herein by deed from Charlene M. Jordan and Philip D. Jordan dated September 15, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26348, Page 133.

IN WITNESS WHEREOF, the said MADD, LLC has been executed by its Manager Leonard Anderson has set his hand this 15 day of May, 2009.

  
Witness

MADD, LLC


BY:   
Leonard Anderson  
Its: Manager

STATE OF MAINE  
COUNTY OF CUMBERLAND

May 15, 2009

Then personally appeared before me, Leonard Anderson in his capacity as Manager of MADD, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

Before me,

  
~~Notary Public/Attorney-at-Law~~

Thomas Jewell  
Printed name of person taking  
acknowledgment

## EXHIBIT A

A certain lot or parcel of land lying on the northerly side of Garsoe Drive and the easterly side of Auburn Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point in the easterly sideline of said Auburn Street at the southwesterly corner of land now or formerly of Jenifer A. Lloyd and Phyliss S. Nichols as described in a deed recorded in the Cumberland County Registry of Deeds in Book 21202, Page 64. Thence:

1) S 82°31'53" E by said land of Lloyd and Nichols and by land now or formerly of Christopher S. Graviss and Anita I. Graviss as described in a deed recorded in said Registry of in Book 18249, Page 310 a distance of One Hundred Sixty-Nine and 40/100 (169.40) feet to a point.

2) S 07°28'12" W a distance of One Hundred Forty-Three and 31/100 (143.31) feet to a point in the northerly sideline of said Garsoe Drive.

3) N 82°07'19" W by said Garsoe Drive a distance of One Hundred Forty-Nine and 67/100 (149.67) feet to a point of curvature.

4) Northerly by said Garsoe Drive following a curve to the right having a radius of Twenty and 00/100 (20.00) feet, an arc distance of Thirty-Two and 40/100 (32.40) feet to a point in the easterly sideline of said Auburn Street, said point lying N 35°42'42" W a distance of Twenty-Eight and 97/100 (28.97) feet from the last described point.

5) Northerly by said Auburn Street following a curve to the left having a radius of Thirteen Thousand Seven Hundred Eighty-Six and 00/100 (13,786.00) feet, an arc distance of Fifty-Two and 55/100 (52.55) feet to a point, said point lying N 07°34'40" E a distance of Fifty-Two and 55/100 (52.55) feet from the last described point.

6) N 07°28'07" E by said Auburn Street a distance of Sixty-Eight and 56/100 (68.56) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, page 393.

The above described parcel contains 24,092 square feet. Meaning and intending to describe a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.

The above described premises are subject to notes, conditions, restrictions, and all other matters as set forth on Amended Subdivision Plat recorded March 1, 2007 in said Registry of Deeds in Plan Book 207, Page 122, including but not limited to General Note #10.

The above described parcel benefits from a utility easement lying on the northerly side of Garsoe Drive in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point in the northerly sideline of Garsoe Drive and the southeasterly corner of the above described parcel. Thence:

1) S 82°07'19" E by said Garsoe Drive a distance of Twenty and 17/100 (20.17) feet to a point of curvature

2) Easterly by said Garsoe Drive following a curve to the left having a radius of One Hundred Seventy-Five and 00/100 (175.00) feet, an arc distance of Thirty-Six and 69/100 (36.69) feet to a point.

3) N 57°03'55" W a distance of Sixty Two and 71/100 (62.71) feet to a point in the easterly sideline of the above described parcel.

4) S 07°28'12" W by the said easterly sideline of the above described parcel a distance of Thirty and 39/100 (30.39) feet to the point of beginning.

Bearings are based on a plan entitled "Auburn Pines Subdivision" made by Pinkham & Greer dated April 28, 1999 and revised through July 7, 1999, recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The above described easement contains 923 square feet. The above described easement lies over a portion of the property conveyed to Charlene M. Jordan and Philip D. Jordan as described in a deed recorded in said Registry in Book 18642, Page 122.



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\*0599900\*

**RETTD****MAINE REVENUE SERVICES  
REAL ESTATE TRANSFER TAX  
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

**PLEASE TYPE OR PRINT CLEARLY**

1. COUNTY CUMBERLAND		<b>DO NOT USE RED INK!</b>	
2. MUNICIPALITY/TOWNSHIP PORTLAND		BOOK/PAGE—REGISTRY USE ONLY	
3. GRANTEE/ PURCHASER	3a) Name (LAST, FIRST, MI) HAMMOND, TOBY B.	3b) SSN or Federal ID 004-44-2142	
	3c) Name (LAST, FIRST, MI) HAMMOND, BARBARA J. (SEE ATTACHED)	3d) SSN or Federal ID 006-46-3064	
	3e) Mailing Address P.O. BOX 488		
3f) City NAPLES		3g) State ME	3h) Zip Code 04055
4. GRANTOR/ SELLER	4a) Name (LAST, FIRST, MI) MADD, LLC	4b) SSN or Federal ID 20-2822629	
	4c) Name (LAST, FIRST, MI)	4d) SSN or Federal ID	
	4e) Mailing Address 543 ALLEN AVENUE		
4f) City PORTLAND		4g) State ME	4h) Zip Code 04103
5. PROPERTY	5a) Map Block Lot Sub-Lot 386A - B - 40 -	Check any that apply: <input type="checkbox"/> No tax maps exist <input type="checkbox"/> Multiple parcels <input type="checkbox"/> Portion of parcel	
	5c) Physical Location 2 GARSOE DRIVE PORTLAND	5b) Type of property—Enter the code number that best describes the property being sold. (See instructions) 5d) Acreage:	
6. TRANSFER TAX	6a) Purchase Price (If the transfer is a gift, enter "0")		6a \$ 120000.00
	6b) Fair Market Value (enter a value <b>only</b> if you entered "0" in 6a) or if 6a) was of nominal value)		6b \$ 120000.00
	6c) Exemption claim - <input type="checkbox"/> Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.		
7. DATE OF TRANSFER (MM-DD-YYYY) 05 15 2009 MONTH DAY YEAR		8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use. <input type="checkbox"/> CLASSIFIED	
9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain: <input type="checkbox"/>		10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because: <input checked="" type="checkbox"/> Seller has qualified as a Maine resident <input type="checkbox"/> A waiver has been received from the State Tax Assessor <input type="checkbox"/> Consideration for the property is less than \$50,000	
11. OATH	Aware of penalties as set forth by Title 36 §4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief it is true, correct and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below: Grantee <i>[Signature]</i> Date <i>[Date]</i> Grantor <i>[Signature]</i> Date <i>5/15/09</i> Grantee <i>[Signature]</i> Date <i>[Date]</i> Grantor <i>[Signature]</i> Date <i>[Date]</i>		
12. PREPARER	Name of Preparer Jewell & Boutin, P.A. Mailing Address 477 Congress Street Suite 1104 Portland, Maine 04101	Phone Number 207-774-6665 E-Mail Address tjewell@jewellandboutin.	



**MAINE REVENUE SERVICES  
SUPPLEMENT TO THE REAL ESTATE TRANSFER TAX FORM**

This form is to be used in conjunction with the Real Estate Transfer Tax Form and provides additional information when necessary.  
Please attach this form to the original transfer tax form before submitting to the County Registry of Deeds.  
Use additional forms as necessary.

If you have any questions, please contact the property Tax Division at 207-287-2013 or e-mail: prop.tax@maine.gov.

<b>Additional Grantees/Purchasers – Last Name First</b>	<b>Social Security or Fed. ID #</b>
1. HAMMOND, ROBYN E.	007-80-2129
2. SALA, JOSEPH D.	098-70-2498
3. 41 NORTHWOOD DRIVE, PORTLAND, ME 04103	
4.	
5.	
6.	
7.	
8.	
<b>Additional Grantors/Sellers – Last Name First</b>	<b>Social Security or Fed. ID #</b>
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

<b>Additional Municipalities</b>	<b>Map—Block—Lot—Sub-Lot</b>
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

# 1099-S DATA ENTRY FORM - REAL ESTATE TRANSACTION

FEDERAL LAW REQUIRES THAT THIS FIRM, AS CLOSING AGENT, REPORT GROSS PROCEEDS OF REAL ESTATE TRANSACTIONS TO THE INTERNAL REVENUE SERVICE. NEXT JANUARY, BASED ON THE INFORMATION GIVEN BELOW, YOU WILL BE SENT A COPY OF A COMPLETED 1099-S FORM FOR YOUR TAXES. IF YOU HAVE ANY QUESTIONS ABOUT LOSS OR GAIN FROM THIS TRANSACTION AND ITS EFFECT ON YOUR TAXES, YOU SHOULD CONTACT YOUR TAX ADVISOR.

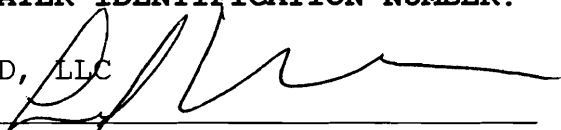
*As the transferor in a "real estate transaction," as defined in the regulations under Section 6045 of the Internal Revenue Code of 1986, as amended, you are required by law to provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number. If you do not provide JEWELL & BOUTIN, P. A. with your correct taxpayer identification number, you may be subject to civil or criminal penalties imposed by law. This information will be provided to the Internal Revenue Service.*

- i) NAME OF TRANSFEROR: MADD, LLC
- ii) ADDRESS OF TRANSFEROR: 543 Allen Avenue  
Portland, Maine 04103
- iii) TAXPAYER IDENTIFICATION NUMBER (fill in one of the following):
- a) Federal Tax ID Number: 20-2822629
- iv) CLOSING DATE: May 15, 2009
- v) TOTAL GROSS PROCEEDS: \$120,000.00
- (If there is more than one seller, the amount of total gross proceeds to be reported for this seller is: \$\_\_\_\_\_).
- vi) PROPERTY DESCRIPTION: 2 Garsoe Drive  
Portland, Maine
- vii) If you received or will receive property or services as part of the consideration, check here: \_\_\_\_\_
- viii) PRORATION OF REAL ESTATE TAXES REIMBURSED TO SELLER AT CLOSING: 214.34

## CERTIFICATION

UNDER PENALTIES OF PERJURY, I CERTIFY THAT THE NUMBER SHOWN ON THIS STATEMENT IS MY CORRECT TAXPAYER IDENTIFICATION NUMBER.

Date

MADD, LLC  
BY:   
Leonard Anderson  
Its: Manager

**CERTIFICATION - TRANSFEROR**

RE: MADD, LLC to Toby B. Hammond, Barbara J. Hammond,  
Robyn E. Hammond and Joseph D. Sala

Legal: 2 Garsoe Drive, Portland, Maine

Section 1445 of the Internal Revenue Code provides that a transferee of a U. S. real property interest must withhold tax if the transferor is a foreign person. To inform the transferee that withholding of tax is not required upon the disposition of a U. S. real property interest by MADD, LLC:

1. MADD, LLC's is/are not a foreign person, foreign corporation, foreign partnership, foreign trust or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations);


2. MADD, LLC's federal tax ID No. is: 20-2822629; and

3. MADD, LLC's mailing address is 543 Allen Avenue, Portland, Maine 04103.

The undersigned understands that this certification may be disclosed to the Internal Revenue Service by transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

Under penalties of perjury, I declare that I have examined this certification and to the best of my knowledge and belief, it is true, correct and complete.

5-15-09  
Date

MADD, LLC  
BY:   
Leonard Anderson  
Its: Manager

**NOTE:** *The transferee must retain this certification until the end of the fifth taxable year following the taxable year in which the transfer takes place. The Internal Revenue Service may require this certificate to be filed with it. This certificate is furnished for the information of the transferee; the transferee should seek legal advice as to the effect of same.*

FORM REW-3

MAINE REVENUE SERVICES  
Income Tax Division - REW  
P. O. Box 1068  
Augusta, Maine 04332-1068

**RESIDENCY AFFIDAVIT, ENTITY TRANSFEROR,  
MAINE EXCEPTION 3(A) .**

*Title 36 M.R.S.A. § 5250-A provides that a transferee (buyer) of real property located in Maine must withhold tax if the transferor (seller) is not, as of the date of transfer, a resident of the State of Maine. To inform the transferee (buyer) that withholding of tax is not required upon the disposition of a State of Maine property interest, the undersigned hereby certifies the following on behalf of MADD, LLC:*

\_\_\_\_\_ The above-named entity is a resident corporation, who is incorporated in the State of Maine or maintains a permanent place of business in Maine as of the date of transfer.

\_\_\_\_\_ The above-named entity is resident estate or trust, which has not established domicile outside of Maine as of the date of transfer.

The above-named entity is a resident partnership of which at least 75% of ownership interest is held by residents of this state.

1. Transferor's employer identification number is 20-2822629
2. Transferor's Maine office address is 543 Allen Avenue, Portland, Maine 04103
3. Transferor's mailing address: See Above.

The above-named entity understands that this certification may be disclosed to the Executive Director by the transferee and that any false statement contained herein could be punished by fine, imprisonment, or both.

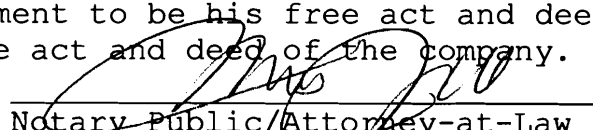
5-15-09  
Date

MADD, LLC  
BY:   
Leonard Anderson, Manager

STATE OF MAINE  
CUMBERLAND, ss.

May 15, 2009

Personally appeared the above named Leonard Anderson, and acknowledged the above instrument to be his free act and deed in his said capacity and the free act and deed of the company.

  
Notary Public/Attorney-at-Law

NOTICE PURSUANT TO 38 M.R.S.A. §563(6)

MADD, LLC, as seller of the real property located at 2 Garsoe Drive, Portland, Maine (the "Premises"), hereby files this written notice with Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala, as purchaser(s) of the Premises, in accordance with 38 M.R.S.A. §563(6). (Check A or B, as appropriate, and if B is checked, complete the information in B-1 and B-2.)

A. To the best of my knowledge, no underground storage facility for the storage of oil or petroleum products exists on the Premises.

B. An underground oil storage facility exists on the Premises.

B-1. The State of Maine Registration numbers for all oil storage facilities on the Premises are as follows:

No. \_\_\_\_\_

No. \_\_\_\_\_

No. \_\_\_\_\_

(Use additional space at bottom of this page if necessary.)

B-2. (Check one) The oil storage facilities have  have not  been abandoned in place (taken out of service for more than 12 months), pursuant to 38 M.R.S.A. Section 566-A.

B-3. The facility is subject to regulation, including registration requirements, by the Maine Department of Environmental Protection under 38 M.R.S.A. §§561 *et. seq.*

MADD, LLC

BY: \_\_\_\_\_

Leonard Anderson

Its: Manager

Date: 5/15/09

**MADD, LLC**

**ACTION TAKEN BY UNANIMOUS WRITTEN  
CONSENT OF MEMBERS AND MANAGERS WITHOUT MEETING**

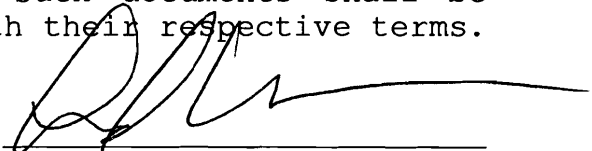
Pursuant to 31 M.R.S.A. § 651, the undersigned being all the Members of MADD, LLC, hereby consent to and approve the adoption of, and hereby adopt, the actions below in the form of the following votes the effective date of which shall be May 15, 2009:

VOTED: That the Company be and hereby is authorized to sell the real estate located at 2 Garsoe Drive in Portland, Maine, to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammon and Joseph D Sala for the sale price of \$120,000.00 pursuant to a purchase and sale agreement dated April 13, 2009.

VOTED: That the Company, by and through its Manager, Leonard Anderson, on behalf of the Company is hereby authorized and empowered to take all action necessary and to execute and deliver any and all documents reasonably deemed necessary to consummate the above transaction and that upon his due execution and delivery, such documents shall be binding in accordance with their respective terms.

Dated:

5/15/09

  
Leonard Anderson

**Ticor Title Insurance Company**

**Notice of Availability of Owner's Title Insurance**

Case No. 683.00

Date: April 21, 2009

To: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala

Regarding property located at 2 Garsoe Drive, Portland, Maine

A Mortgagee's Policy of title insurance insuring the title to the property referenced above is being issued to your mortgage lender, but that policy does not provide title insurance coverage to you.

You may obtain an Owner's Policy of title insurance which provides title insurance coverage to you. The additional cost to you for an Owner's Policy of title insurance in the amount of \$120,000.00 is \$360.00, if you request it at this time.

If you are uncertain as to whether you should obtain an Owner's Policy of title insurance, you are urged to seek independent advice.

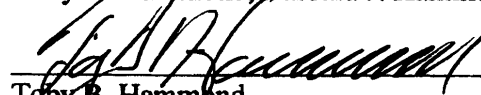
  
Thomas F. Jewell, Agent

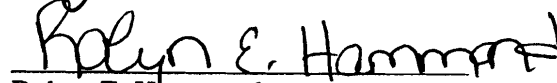
I/We do request an Owner's Policy of title insurance. (Payment of the additional premium is attached hereto.)

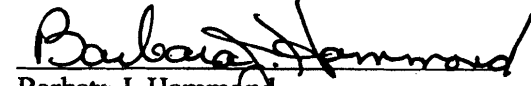
I/We do not request an Owner's Policy of title insurance.

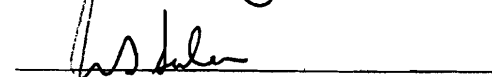
Date: \_\_\_\_\_

Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Borrowers:

  
Toby B. Hammond

  
Robyn E. Hammond

  
Barbara J. Hammond

  
Joseph D. Sala

TICOR TITLE INSURANCE COMPANY

Owners(s) and Purchaser(s) Affidavit and Indemnity

On oath, the undersigned depose(s) and state(s) that in connection with the premises located at 2 Garsoe Drive, Portland, Maine, which is being conveyed today by MADD, LLC to Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond and Joseph D. Sala:

OWNERS AFFIDAVIT AND INDEMNITY: (I) (We) certify that there are no tenants or other occupants presently in possession of the premises (except as shown on Exhibit A attached) and that there is no person to whom a debt is due for personal labor or services performed or materials used in the erection, alteration, repair, improvement or removal of a building or other structure upon the above land and buildings, by virtue of an agreement with, or by the consent of the undersigned, or of a person having authority from or rightfully acting for the undersigned in promising or furnishing such labor, services or materials, for work actually performed during the past one hundred twenty (120) days, and have no knowledge of any real estate licensee (broker or agent) who may assert a lien against the property based on nonpayment of professional services rendered by the licensee to facilitate the sale of the property. In the event that a debt is due for such work done or materials used or services rendered, the undersigned hereby agree(s) to indemnify and hold harmless the Buyer(s), Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

Dated at Portland, State of Maine, this 15 day of May, 2009.

MADD, LLC, Owner of the Property

BY: \_\_\_\_\_

Leonard Anderson, Manager

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009.

\_\_\_\_\_  
Notary Public/Attorney-at-Law

Expiration Date of Commission: \_\_\_\_\_

PURCHASER(S) AFFIDAVIT: (I)(We) hereby certify that (I)(we) have not received notice of any lien or potential lien filed or to be filed by a Real Estate Licensee who provided professional services to facilitate the sale of the property described above. In the event that a debt is due for such services rendered, the Undersigned hereby agree(s) to indemnify and hold harmless Ticor Title Insurance Company, and Jewell & Boutin, P.A. from any and all debts and costs of collection in connection with said debt.

By: Toby B. Hammond, Barbara J. Hammond, Robyn E. Hammond & Joseph D. Sala, Purchasers of the property.

\_\_\_\_\_  
Toby B. Hammond

\_\_\_\_\_  
Barbara J. Hammond

\_\_\_\_\_  
Robyn E. Hammond Joseph D. Sala

STATE OF MAINE, COUNTY OF CUMBERLAND, ss.

Subscribed and sworn to before me this 15 day of May, 2009.

\_\_\_\_\_  
Notary Public/Attorney-at-Law

Expiration Date of Commission: \_\_\_\_\_



**JEWELL & BOUTIN, P. A.**  
**Attorneys at Law**  
477 Congress Street  
Suite 1104  
Portland, ME 04101-3427

Thomas F. Jewell  
Daniel W. Boutin

Email: [tjewell@jewellandboutin.com](mailto:tjewell@jewellandboutin.com)  
Email: [dboutin@jewellandboutin.com](mailto:dboutin@jewellandboutin.com)

Telephone: 207-774-6665  
Fax: 207-774-1626

May 8, 2009

Toby Hammond  
P.O. Box 488  
Naples, Maine 04055

Leonard Anderson  
MADD, LLC  
543 Allen Avenue  
Portland, Maine 04103

Re: Sale of 2 Garsoe Drive, Portland, Maine

Dear Toby and Len:

I have been asked to prepare documents evidencing transfer of ownership interest in the above property from MADD, LLC to Toby Hammond. Ideally, you should engage separate attorneys to represent your respective interests. In an effort to reduce costs, and because you have worked out an agreement between you without attorneys, you have asked me to prepare all the documents in this closing.

I have prepared these documents to conform to the directions I have received from each party with whom I have discussed this. There are too many potential conflicts of interest to represent any particular party in this transaction. Therefore, I am preparing the documents as a "mere scrivener," without representation of any party's particular interests. If you have any concerns with the effect these transactions will have on your position, you should engage independent counsel.

At this juncture, I have not been asked to provide any advice on the potential tax consequences of this transaction and trust that you have heeded my suggestion that you discuss this matter with an accountant.

I ask that each of you sign a copy of this letter indicating that you have reviewed this disclosure and that you understand and consent to my limited role.

Yours truly,

  
Thomas F. Jewell, Esq.

TFJ/maj

I/We acknowledge that I/we have read this disclaimer and understand that the legal services being provided to me/us in this transaction are limited only to that stated above. I/We further acknowledge that I/we am/are not represented by counsel in this transaction, grant my/our consent to proceed and understand that I/we do so at my/our own risk.

5/13/09  
Date

5-15-09  
Date

  
Toby Hammond

MADD, LLC

BY:   
Leonard Anderson  
Its: Manager

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	386A B029001
<b>Location</b>	34 GARSOE DR
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	BELAIR NORMAN D & PAMELA J BELAIR JTS 34 GARSOE DR PORTLAND ME 04103
<b>Book/Page</b>	25176/122
<b>Legal</b>	386A-B-29 GARSOE DR 16-40 21633 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$95,900	\$171,200	\$267,100

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
2000	Ranch	1	1784	0.497	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
3	2		6	None	Full

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
-------------	-----------------	-------------------	-------------	--------------	------------------

### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
06/07/2007	LAND + BLDING	\$370,000	25176-122
01/01/2003	LAND + BLDING	\$242,500	18642-122
12/18/2001	LAND + BLDING		17095-157
11/15/2000	LAND	\$231,252	15849-074

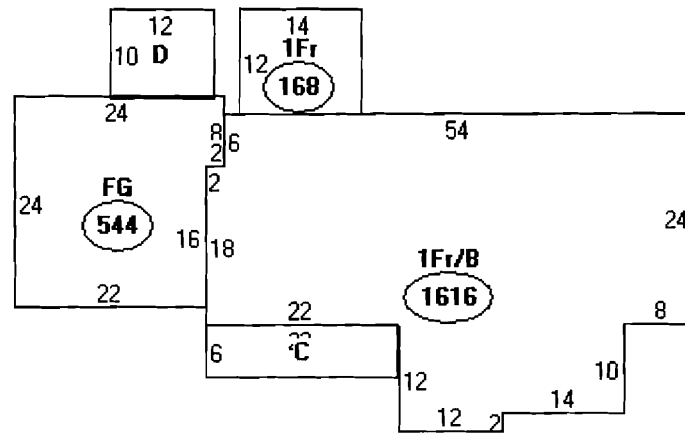
### Picture and Sketch

<a href="#"><u>Picture</u></a>	<a href="#"><u>Sketch</u></a>	<a href="#"><u>Tax Map</u></a>
--------------------------------	-------------------------------	--------------------------------

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**



Descriptor/Area

- A: 1Fr/B  
1616 sqft
- B: FG  
544 sqft
- C: OFP  
132 sqft
- D: WD  
120 sqft
- E: 1Fr  
168 sqft

≥ 2530

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2009-0054**  
Application I. D. Number

**5/28/2009**  
Application Date

**Toby & Barbara Hammond**  
Applicant

**Marge Schmuckal**

**P.O. 488, Naples, ME 04055**

**Single Family Home**

Applicant's Mailing Address

Project Name/Description

**Toby Hammond**

**2 - 2 Garsoe Dr , Portland, Maine**

Consultant/Agent

Address of Proposed Site

**Applicant Ph: (207) 415-5009 Agent Fax:**

**386A B040001**

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---	-----------------	---	--------

**Check Review Required:**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review           |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation   |
| <input type="checkbox"/> Amendment to Plan - Staff Review |   | <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Flood Hazard            |
| <input type="checkbox"/> After the Fact - Major           |   | <input type="checkbox"/> Stormwater                  | <input type="checkbox"/> Traffic Movement        |
| <input type="checkbox"/> After the Fact - Minor           |   | <input type="checkbox"/> PAD Review                  | <input type="checkbox"/> 14-403 Streets Review   |
|   |   |  | <input type="checkbox"/> DEP Local Certification |
|   |   |  | <input type="checkbox"/> Site Location           |
|   |   |  | <input type="checkbox"/> Housing Replacement     |
|   |   |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 5/28/2009

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance

signature

date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2006-0188  
Application I. D. Number

9/29/2003  
Application Date

Jordan Charlene M &  
Applicant  
34 Garsoe Dr , Portland, ME 04103  
Applicant's Mailing Address

Amendment to Plan - Auburn Pines Su  
Project Name/Description

Consultant/Agent  
Applicant Ph: (207) 632-3175      Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

34 - 34 Garsoe Dr, Portland, Maine  
Address of Proposed Site  
386A B029001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning R2

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla \$500.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 9/29/2006

**Zoning Approval Status:**

Reviewer Marge S. - Qnap.

- Approved  Approved w/Conditions  
See Attached  Denied

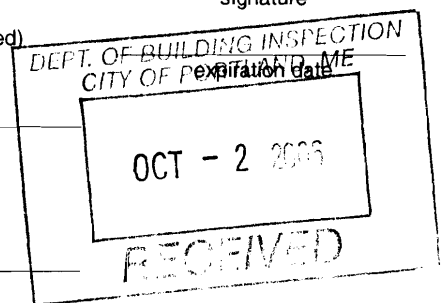
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                            |  |                             |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____ date _____           | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid                | _____ date _____           | _____ amount _____                                 |                             |
| <input type="checkbox"/> Building Permit Issue              | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____ date _____           | _____ remaining balance _____                      | _____ signature _____       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____           | <input type="checkbox"/> Conditions (See Attached) |                             |
| <input type="checkbox"/> Final Inspection                   | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Certificate Of Occupancy           | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Released     | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____ submitted date _____ | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released          | _____ date _____           | _____ signature _____                              |                             |



MITCHELL & ASSOCIATES  
LANDSCAPE ARCHITECTS

September 27, 2006

Mr. William Needleman, Senior Planner  
Department of Planning & Development  
City of Portland  
389 Congress Street  
Portland, Maine 04101

**RE: Auburn Pines Subdivision Amendment  
Lot #29**

Dear Bill:

On behalf of Philip and Charlene Jordan, I am writing to request an amendment to Auburn Pines Subdivision, located at 34 Garsoe Drive, Portland. Auburn Pines was approved by the Portland Planning Board on July 13, 1999.

Specifically, the owners of lot #29, Mr. & Mrs. Jordan, request the approval to divide their lot into two lots, lot 29A and lot 29B. This division is being proposed so that Mr. & Mrs. Jordan can convey the second lot to their daughter.

The lot division has been configured to conform with all zoning requirements of the R2 Residential district as well as creating a buildable window for a single family home. An updated wetland delineation was performed by Dale Brewer of Statewide Surveys, Inc. on August 19, 2006. Refer to the attached wetland report.

Please find enclosed six (6) copies of the following information:

1. Site Plan Application
2. Copy of Deed
3. Wetland Report
4. Amended Subdivision Plan

Should you have any questions or need further information, please do not hesitate to call. Thank you for your consideration to this matter.

Sincerely,  
Mitchell & Associates

  
John D. Mitchell

Enclosure

cc: Philip and Charlene Jordan

# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <b>34 GARSOE DRIVE</b>		Zone: <b>R2</b>
Total Square Footage of Proposed Structure: <b>N.A.</b>	Square Footage of Lot: <b>45,726 S.F.</b>	
Tax Assessor's Chart, Block & Lot:  Chart# <b>386 A</b> Block# <b>B</b> Lot# <b>29</b>	Property owner's mailing address: <b>PHILIP &amp; CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103</b>	Telephone #: <b>632-3175</b>
Consultant/Agent, mailing address, phone # & contact person: <b>JOHN D. MITCHELL MITCHELL &amp; ASSOCIATES 70 CENTER STREET PORTLAND, ME 04101 TEL. 774-4427</b>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <b>PHILIP &amp; CHARLENE JORDAN 34 GARSOE DRIVE PORTLAND, ME 04103 TEL. 632-3175</b>	Project name: <b>AUBURN PINES SUBDIVISION AMENDMENT</b>
<b>Fee For Service Deposit (all applications)</b> ___ (\$200.00)		
<b>Proposed Development (check all that apply)</b> ___ New Building ___ Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Parking lot ___ Subdivision (\$500.00) + amount of lots ___ (\$25.00 per lot) \$ ___ + major site plan fee if applicable ___ Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot ___ ) ___ Traffic Movement (\$1,000.00) ___ Stormwater Quality (\$250.00) ___ Section 14-403 Review (\$400.00 + \$25.00 per lot) ___ Other _____		
<b>Major Development (more than 10,000 sq. ft.)</b> ___ Under 50,000 sq. ft. (\$500.00) ___ 50,000 - 100,000 sq. ft. (\$1,000.00) ___ Parking Lots over 100 spaces (\$1,000.00) ___ 100,000 - 200,000 sq. ft. (\$2,000.00) ___ 200,000 - 300,000 sq. ft. (\$3,000.00) ___ Over 300,000 sq. ft. (\$5,000.00) ___ After-the-fact Review (\$1,000.00 + applicable application fee)		
- Please see next page -		



**Minor Site Plan Review**

- Less than 10,000 sq. ft. (\$400.00)  
 After-the-fact Review (\$1,000.00 + applicable application fee)

**Plan Amendments**

- Planning Staff Review (\$250.00)  
 Planning Board Review (\$500.00)

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

PHILIP & CHARLENE JORDAN  
34 GARSOE DRIVE  
PORTLAND, ME 04103  
TEL. 632-3175

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

**Amendment to Plans:** Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: [portlandmaine.gov](http://portlandmaine.gov)

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 9-27-06
--	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

**WARRANTY DEED**  
**Joint Tenancy**  
**Maine Statutory Short Form**

***KNOW ALL PERSONS BY THESE PRESENTS, That***

Susan W. Vines

of Portland, County of Cumberland, State of Maine,

for consideration paid, grant to **Charlene M. Jordan and Philip D. Jordan**

of Westbrook, County of Cumberland, State of Maine,

whose mailing address is PO Box 682, Westbrook, Maine 04098

with **warranty covenants**, as joint tenants the land in Portland, County of Cumberland, and State of Maine, described on the attached **EXHIBIT A**.

**WITNESS** our/my hand(s) and seal(s) this 31st day of December, 2002.

*Signed, Sealed and Delivered in  
presence of:*

*J M Amendolara*

*Susan W. Vines*  
Susan W. Vines

**STATE OF MAINE**

December 31, 2002

**COUNTY OF Cumberland**

Then personally appeared the above named Susan W. Vines and acknowledged the foregoing instrument to be his/her/their free act and deed.

Before me,

*J M Amendolara*

Notary Public

Printed Name: JAMES M. AMENDOLARA

My Commission Expires: ATTORNEY AT LAW

MAINE REAL ESTATE TAX PAID

EXHIBIT 'A'

A certain lot or parcel of land with any improvements thereon, in the City of Portland, County of Cumberland and State of Maine, and being Lot 29 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general notes and conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172. Also conveying an easement for access and installation and maintenance of utilities over and within the streets and way shown on said Plan.

Received  
Recorded Register of Deeds  
Jan 02, 2003 11:34:49A  
Cumberland County  
John B. O'Brien

STATEWIDE SURVEYS, INC.  
LAND SURVEYORS & SOIL SCIENTISTS  
35 Eastman Road Cape Elizabeth, ME. 04107  
Phone/Fax: 207 767 4200

06027W

**Mr. John Mitchell**  
Mitchell & Associates  
70 Center Street  
Portland, ME  
04107

Subject: **Jordan Wetlands Survey**  
**Garsoe Drive**  
**Portland, ME**

John,

As requested, we have completed the wetland delineation at the Jordan property in Portland, Maine. The property is shown as Lot #29 on the "Auburn Pines" Subdivision Plan provided by your office. The  $\pm 45,726 \text{ ft}^2$  (1.05 acre) lot has frontage on Auburn Street and Garsoe Drive and currently has a home located in the northerly portion of the lot. We established the perimeter in the field using the "Auburn Pines" survey plan prepared by Pinkham & Greer. We also used other supporting reference data including: the USDA *Soil Survey of Cumberland County*, and the *National Wetlands Inventory Map (NWI)*. We have prepared the following summary based on a field visit on August 19<sup>th</sup> and the reference materials used. We understand this information will be used for future planning for the property.

GPS equipment was used to map the project limits, wetland flagging and natural features in the field. These features are shown on the wetlands plan previously submitted to your office. Two wetlands were delineated at the site and designated as Wetland "A" (6,344  $\text{ft}^2$ ) and Wetland "B" (689  $\text{ft}^2$ ). The wetlands were further marked with sequentially numbered blue flags along the wetland/upland boundary to the project limits. The wetland boundaries have also been registered to the "Auburn Pines" subdivision plan. It should be noted that the wetland flagging was located with GPS equipment and could vary from actual survey locations.

The lot generally drains southerly toward the ditch along Auburn Street. The open areas of the site are "smooth" and appear to have been graded previously. There are scattered wheel ruts evident, possibly from timber harvesting or the grading efforts. The wetlands were previously delineated by

others as wetlands were shown on the “Auburn Pines” Subdivision Plan. We did not recover the previous wetland flagging in the field and re-delineated the jurisdictional wetlands at the site during our site visit. The previous wetland survey was likely completed prior to the construction involved with the “Auburn Pines” project.

The surrounding uplands have a limited variety of species including white oak (*Quercus alba*), red oak (*Quercus rubra*), white pine (*Pinus strobus*) and paper birch (*Betula papyrifera*) trees and saplings. These upland areas were mapped with the Elmwood series underlying the site by the SCS.

## 1.0 Wetland Characteristics

Three parameters are needed for jurisdictional wetlands, specifically the presence of hydric soils, the prevalence of hydrophytes, and indicators of wetland hydrology. Wetland “A” and Wetland “B” have been classified from field survey and further described below. Our observations of the natural wetlands characteristics are consistent with accepted wetland parameters found in the 1987 *Corps of Engineers Wetlands Delineation Manual* (ACOE) and addressed in the following:

- The wetland soils were poorly drained and “hydric” as defined in *Field Indicators for Identifying Hydric Soils in New England*, however intermixed very poorly or somewhat poorly drained soils may also exist. The USDA Soil Conservation Service formerly mapped the soils in the *Soil Survey of Cumberland County* as the poorly drained, Scantic silt loam (Sn). Our observations also found poorly drained soils resembling the Scantic Series.
- These freshwater (palustrine) wetlands have forested (PFO-I) areas in addition to intermixed scrub-shrubs (PSS) and open emergent areas (PEM). The wetlands typically have scattered red maple (*Acer rubrum*), gray birch (*Betula populifolia*) and american elm (*Ulmus americana*) trees and saplings with scattered speckled alder (*Alnus incana*), northern arrow-wood (*Viburnum dentatum*), broadleaf meadowsweet (*Spiraea latifolia*) and winterberry (*Ilex verticillata*) shrubs with sensitive fern (*Onoclea sensibilis*), flat-topped aster (*Aster umbellatus*), rattlesnake grass (*Glyceria canadensis*), pointed broom sedge (*Carex scoparia*), goldenrods (*Solidago spp.*) and sphagnum mosses in the herbaceous layer.
- Wetland hydrology was evident with saturated conditions in the mapped wetland depressions of the “pit and mound” topography. The *USGS Quadrangle Sheet* of the area does not indicate any perennial watercourses on the property.

## 2.0 Considerations and Recommendations

Wetlands at the site are regulated at the state and federal level in addition to the adopted local ordinances of the City of Portland. Wetlands have limitations regarding land use to ensure protection to the natural resource. We understand permit/s will be required to discharge fill exceeding 4,300 ft<sup>2</sup> into wetlands not classified as “*Wetlands of Special Significance*”. However, the ordinances should be reviewed and followed prior to any new proposed use affecting the wetland areas. We recommend contacting the Code Enforcement Officer (CEO) to determine the application procedure

once the project has been designed. Further review of these ordinances will determine allowable practices and may identify any potential limitations in addition to protecting natural resources. It is unknown if the current land-use required any environmental permits or the dates they may have been obtained. Of note, further wetland alterations on this lot may be considered along with any previous impacts required for the "Auburn Pines" project, possibly resulting in a higher level of permitting with the regulatory agencies.

Wetlands are also regulated by the MDEP under the provisions of the Natural Resources Protection Act (NRPA- 38 M.R.S.A. §480 A-Y) and the associated Wetland Protection Rules (Chapter 310). Our understanding of current regulations would allow for filling wetlands not identified as "*Wetlands of Special Significance*" to the threshold limit of 4,300 ft<sup>2</sup> total impact. We believe these wetlands are "not" of special significance according to the regulations.

Wetlands at the site are also regulated by the Army Corps of Engineers (ACOE) under the provisions of Section 404 of the Clean Water Act. The ACOE will review the project should permitting be required in conjunction with the proposed project. Impacts to wetlands resulting from the placement of fill are addressed by the ACOE with a Programmatic General Permit for the State of Maine. Additional information may also be required as it is determined on a case-by-case basis. Please review the *Department of the Army Programmatic General Permit for the State of Maine, and the Natural Resources Protection Act (NRPA)* for additional regulations and permitting information.

We did not observe or identify any rare, threatened or endangered species (*RTE*) at the site. Our field survey was completed during the timeframe to make vernal pool determinations, however all areas were "dry" and not representative of significant vernal pool habitat. Further, the area appears to be manmade or at least altered in and adjacent to the road ditch.

We recommend implementing Best Management Practices (BMPs) prior to any site work and compliance with all environmental regulations. In the event you need further assistance, I would be happy to assist you with wetland permitting applications that may be required for future development plans. We trust this wetland report will aid in the project design and wish the best for your project.

Sincerely,

STATEWIDE SURVEYS, INC.



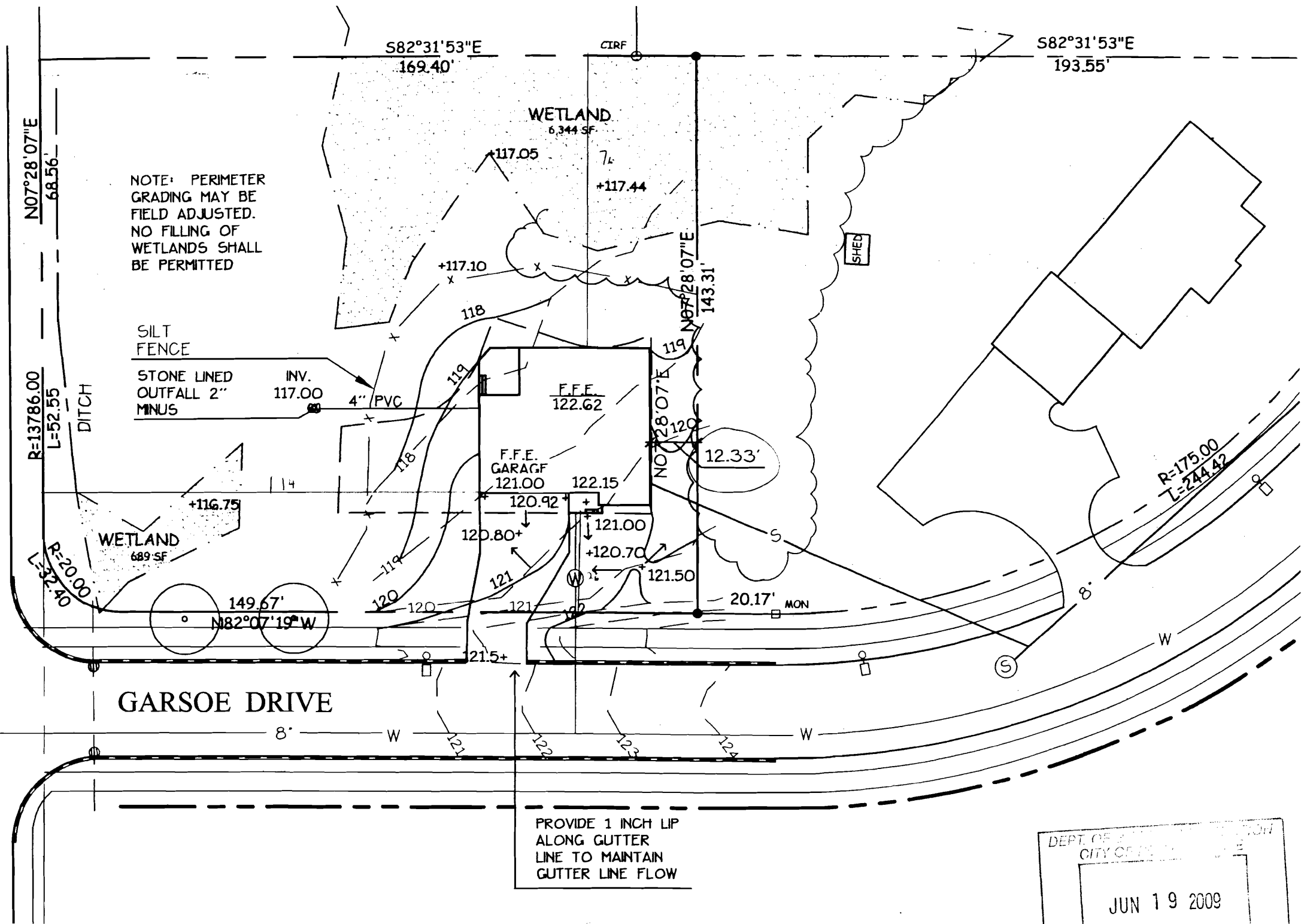
**Dale A. Brewer**

*President*

SWS/2006/WetlandSurveys/06027W

AUBURN STREET

HAMMOND/S  
GARSOE DRIVE



GRADING PLAN

SCALE: 1"=30'

NOTE: NO TREE CUTTING, FILLING OR DISPOSAL OF YARD WASTE SHALL BE PERMITTED IN DELINEATED WETLAND AREAS.

DEPT. OF PUBLIC WORKS  
CITY OF SEASIDE, CALIF.  
JUN 19 2009

- Rec'd from Phil  
for plan details - order  
safety changes to print.

Date:  
MAY 5, 2009

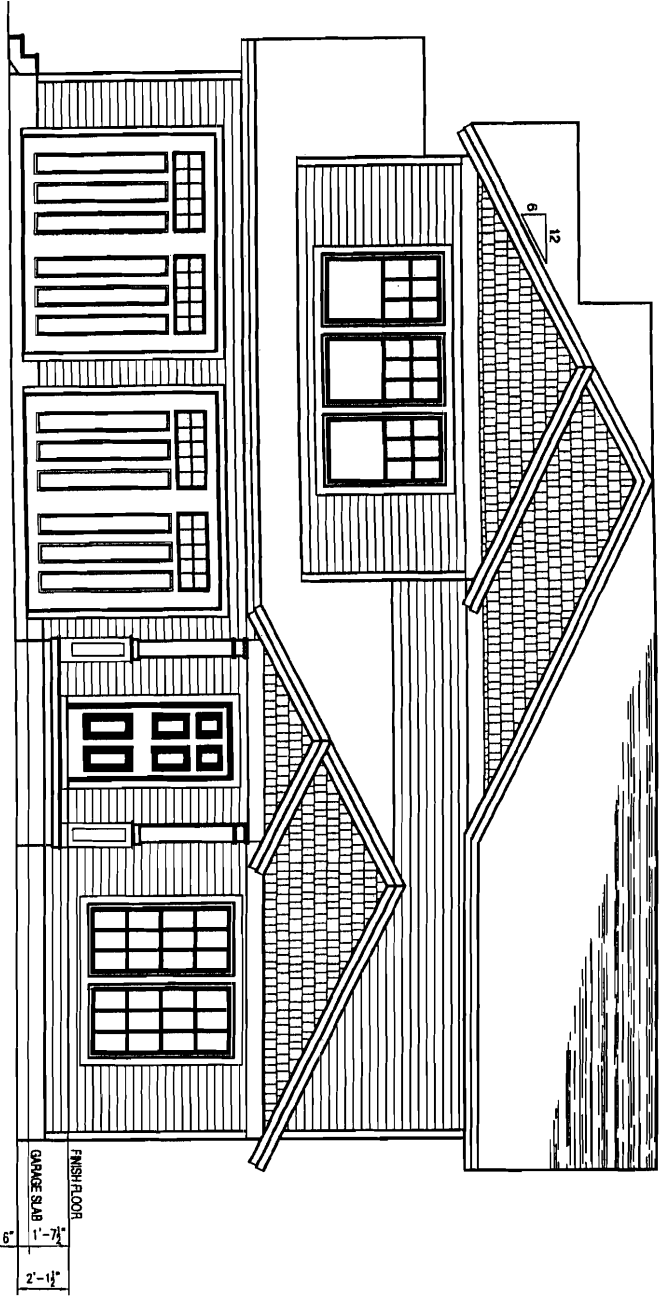
Issued For: SITE PLAN  
APPROVAL AND  
CONSTRUCTION

Revisions:

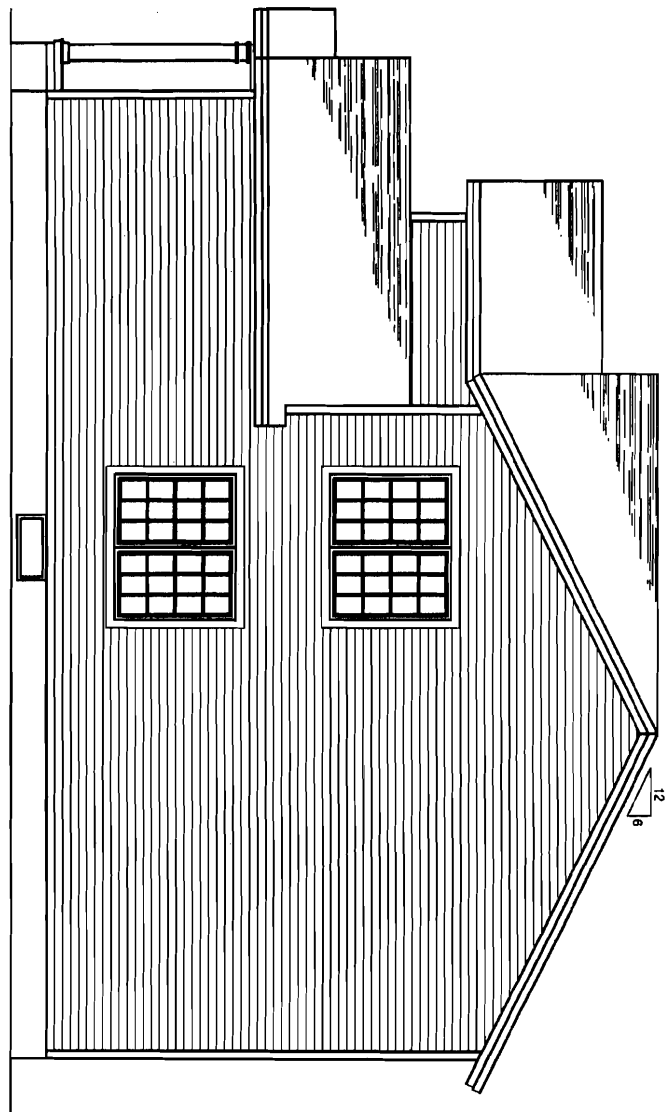
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Title:  
EROSION & SEDIMENTATION  
CONTROL PLAN, DETAILS &  
GRADING PLAN

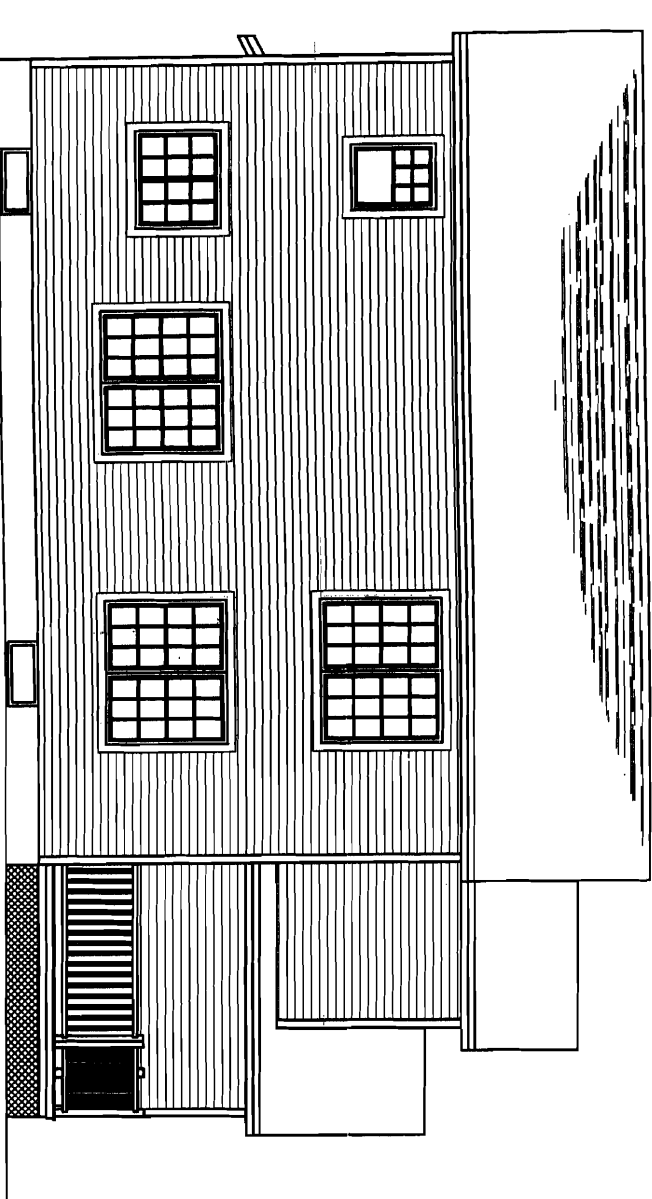
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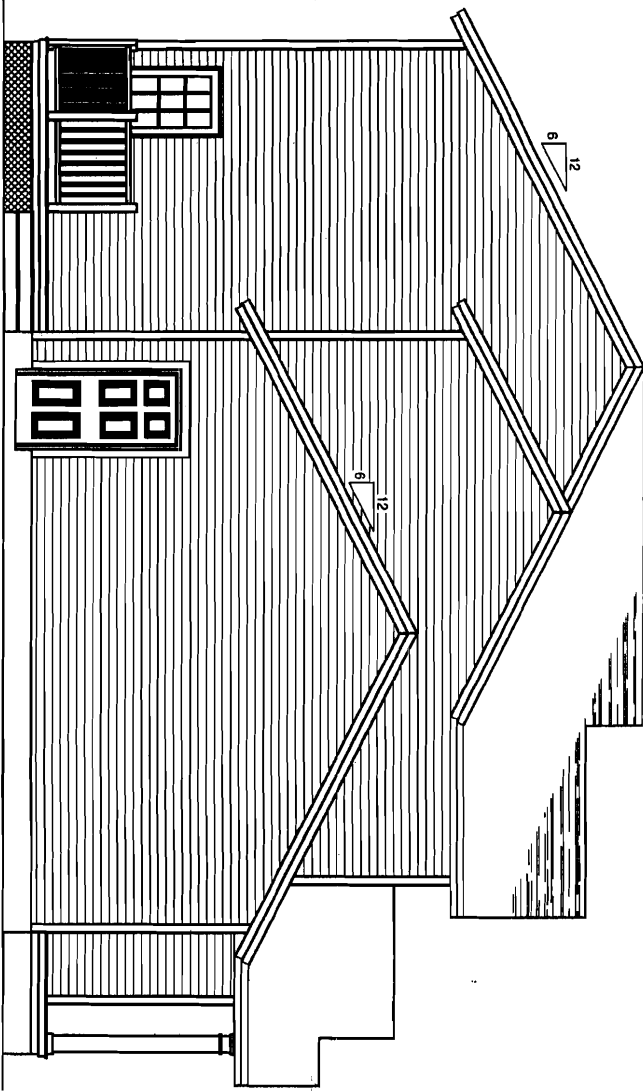
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

ELEVATIONS  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE



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Date: 5/19/09

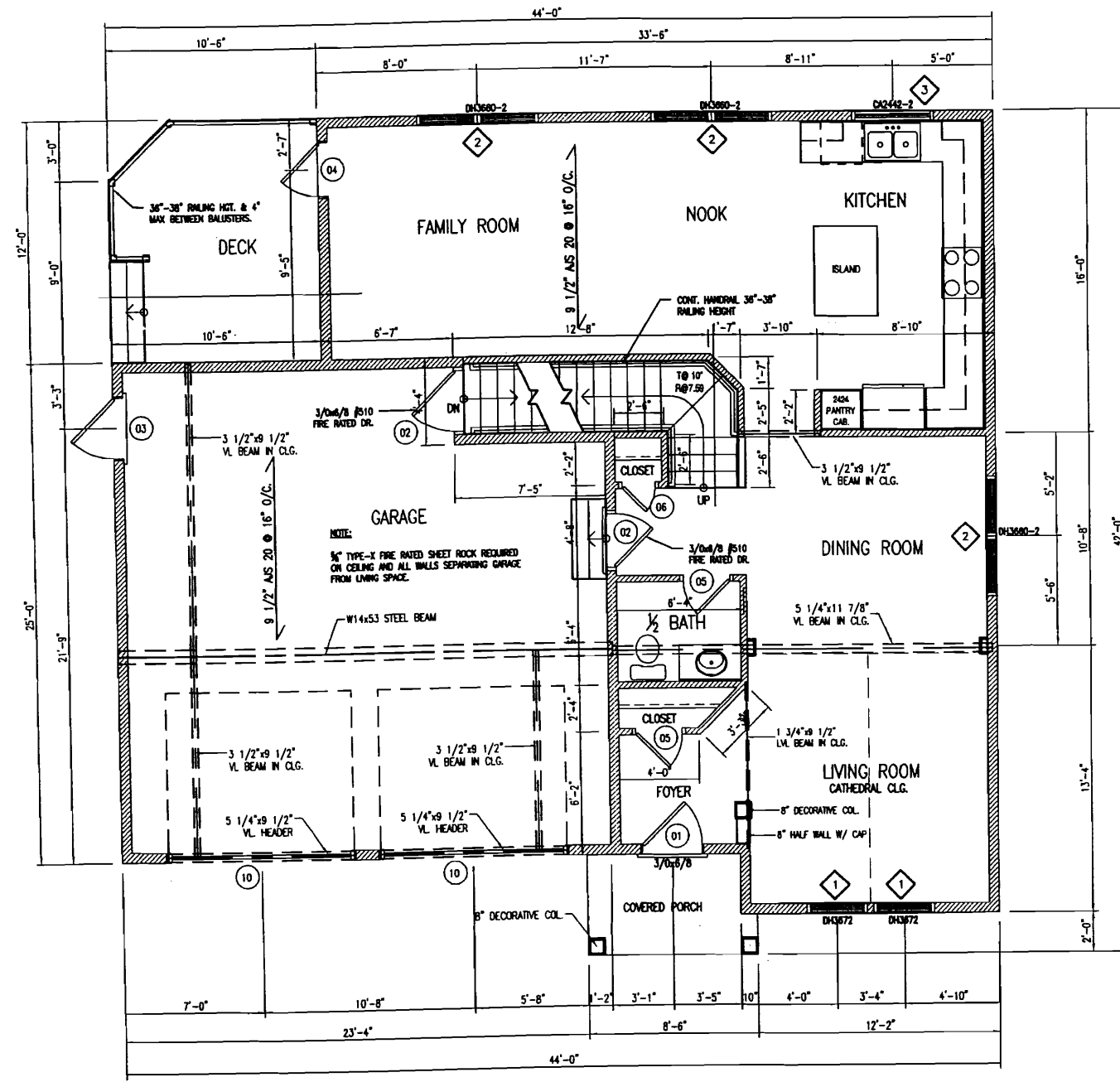
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Drawn By: MTA

Project: 0801109

Sheet Number: 1-04-6

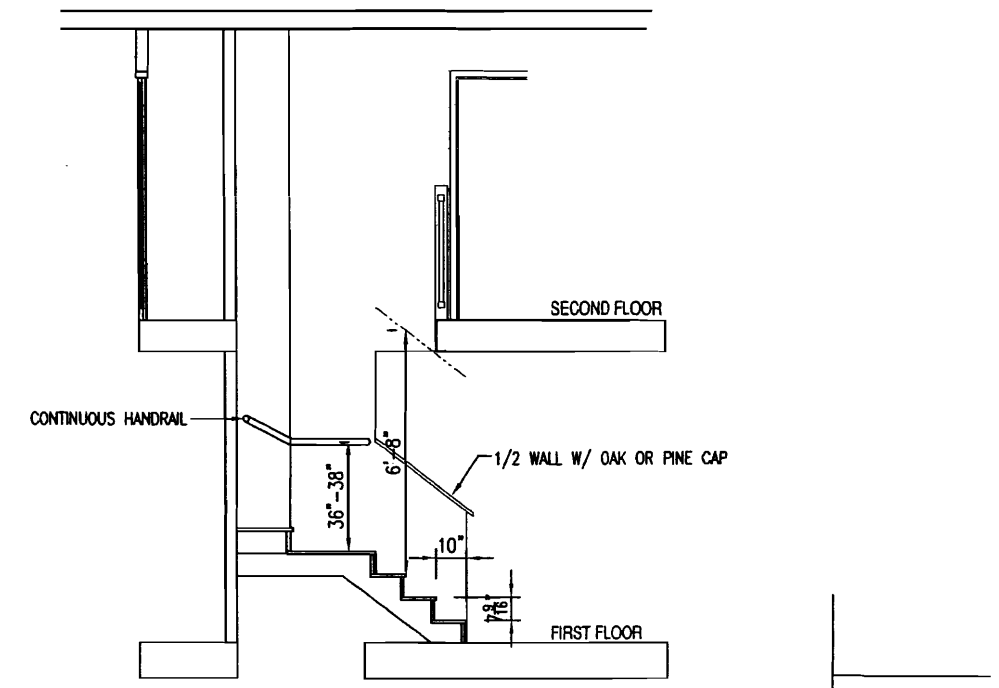




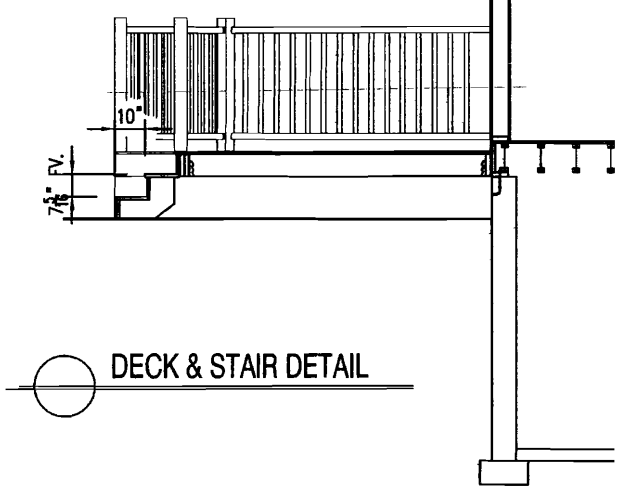
FIRST FLOOR PLAN  
 930 SQ. FT.

Mark	Quant.	Manufacturer	Style	Size		Egress	Header Size	HP Low-E
				Width	Height			
1	2	Mohr Brothers	DL3672	3'-0"	6'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35
2	3	Mohr Brothers	DL3660	3'-0"	5'-0"	NO	(3) 2x10 w/ 1/2" Ply	35/35
3	1	Mohr Brothers	DL2442-2	4'-0"	3'-6"	NO	(3) 2x10 w/ 1/2" Ply	35/35
4	2	Mohr Brothers	DL3660-2	6'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35
5	3	Mohr Brothers	DL3660	3'-0"	5'-0"	YES	(3) 2x10 w/ 1/2" Ply	35/35
6	1	Mohr Brothers	DL3242	2'-8"	3'-5"	NO	(3) 2x10 w/ 1/2" Ply	35/35

Mark	Quant.	Size		DESCRIPTION
		Width	Height	
01	1	3'-0"	6'-8"	THERMA TRU FIBERGLASS EXTERIOR DOOR
02	2	3'-0"	6'-8"	THERMA TRU STEEL FIRE RATED DOOR
03	1	3'-0"	6'-8"	THERMA TRU STEEL EXTERIOR DOOR
04	1	2'-8"	6'-8"	FULL VIEW GLASS W/ LOUVERS
05	4	2'-4"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
06	1	1'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
07	4	2'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
08	2	2'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
09	2	2'-8"	6'-8"	6 PANEL SOLID CORE MOLDED DOOR
10	2	9'-0"	8'-0"	STEEL GARAGE DOOR



STAIR CROSS SECTION DETAIL



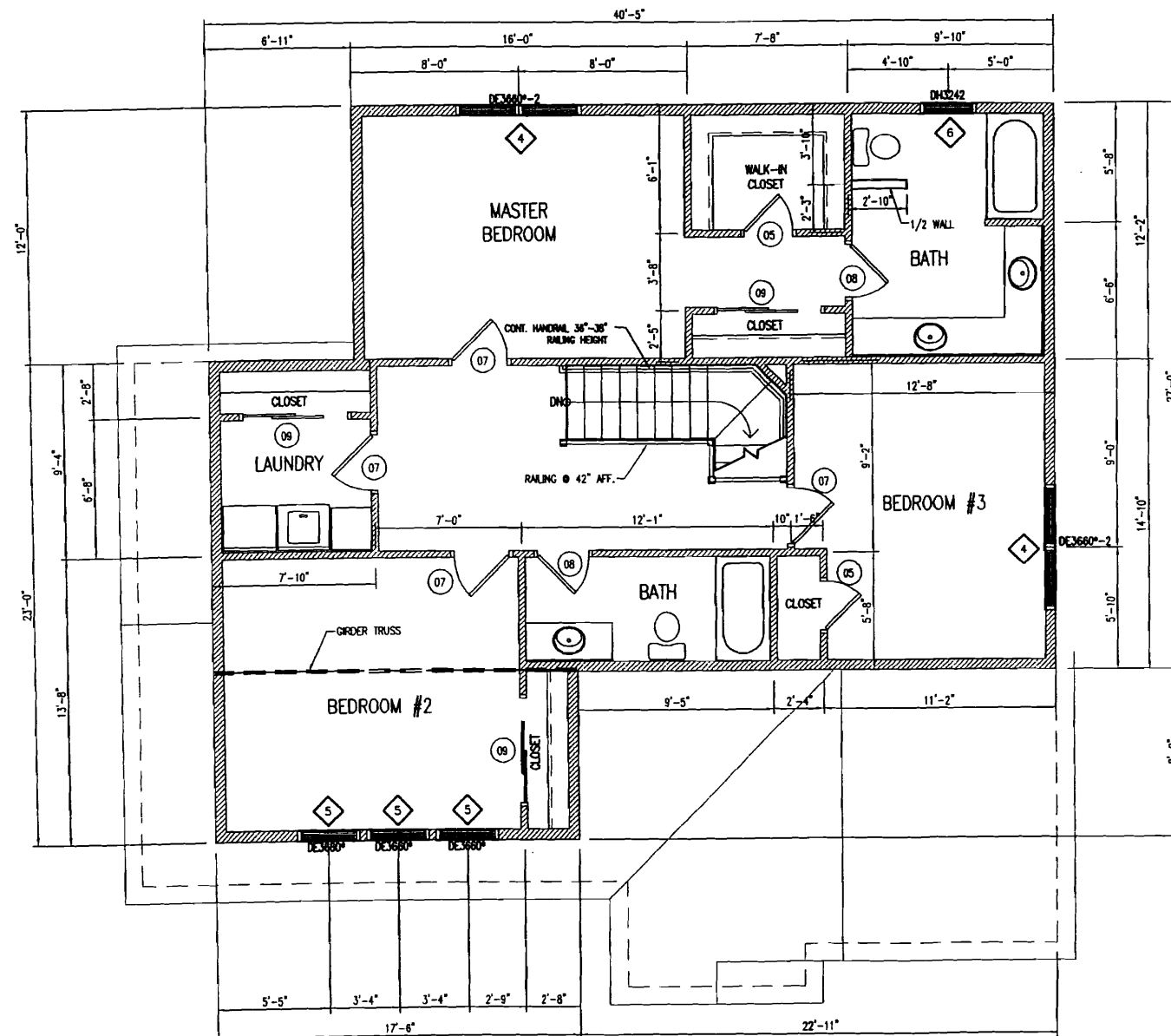
DECK & STAIR DETAIL



FIRST FLOOR PLAN  
 HAMMOND / SALA RESIDENCE  
 GARSOE DRIVE, PORTLAND, MAINE

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Revisions:  
 Date: 5/19/09  
 Scale: 1/8"=1'-0"  
 Drawn By: MTA  
 Project: CLB041409  
 Sheet Number:



○ SECOND FLOOR PLAN  
1148 SQ. FT.

- NOTE:**
- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. EACH SLEEPING AREA
  2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
  3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENT.
  4. ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
  5. FIRE SEPARATION PER TOWN OR LOCAL CODE WHEN REQUIRED.

\* EXPRESS WINDOW

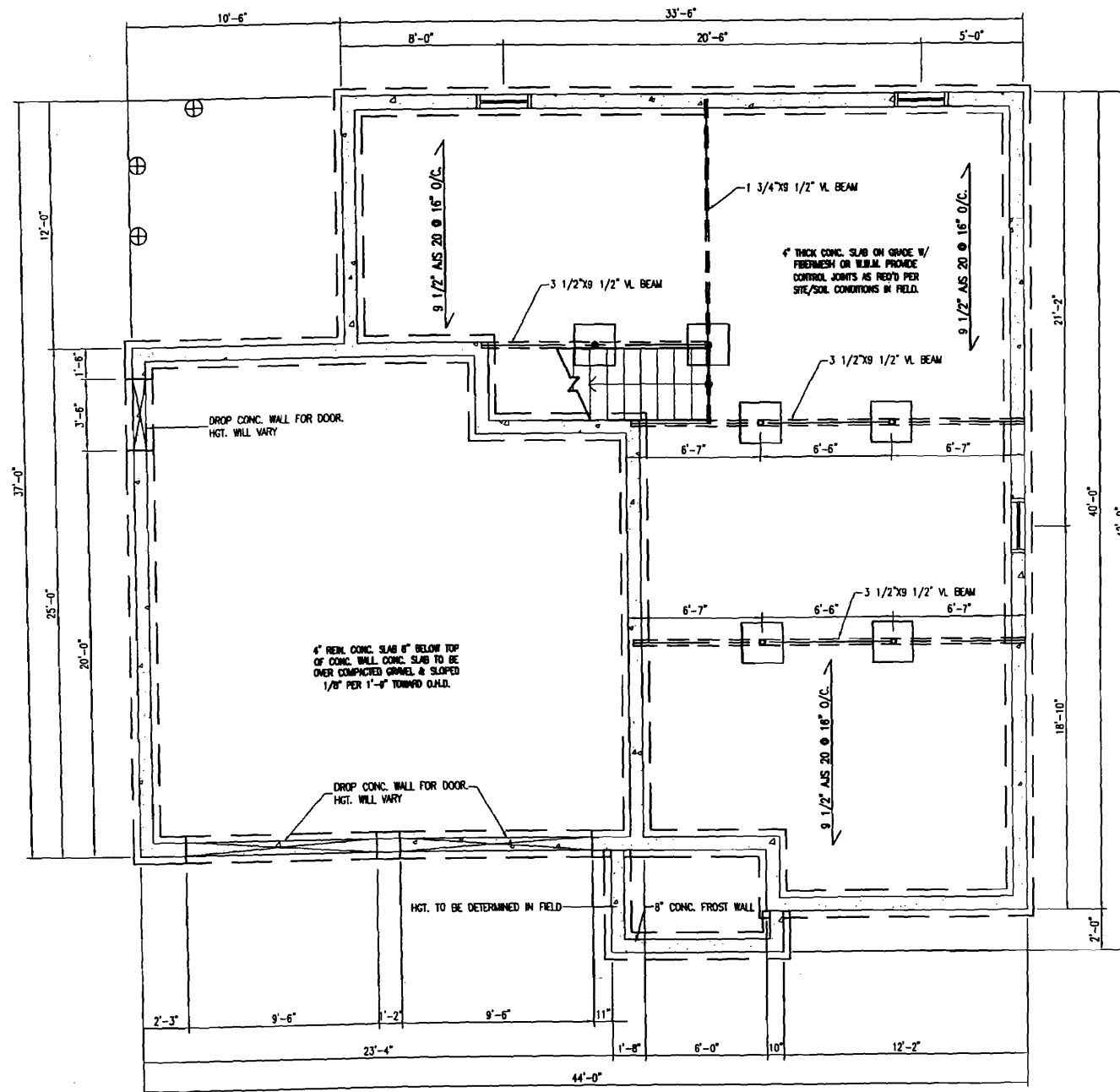
**CONSTRUCTION NOTE:**

CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINISH MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

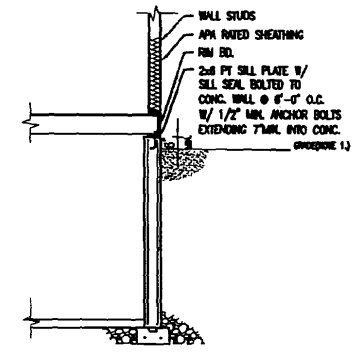
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Revisions:


Date : 5/19/09  
Scale : 1/8"=1'-0"  
Drawn By: MTA  
Project: QLB011408  
Sheet Number:



FOUNDATION PLAN



NOTE:  
1. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 1/2" VERTICAL TO 12" HORIZONTAL FOR A MINIMUM DISTANCE OF 8'-0". THIS CONDITION SHALL EXIST AFTER SETTLEMENT OF BACKFILL HAS OCCURRED.

TYPICAL FOUNDATION WALL DETAIL  
1/4" = 1'-0"

- FOUNDATION NOTES:**
- 4" DIA. CONTINUOUS PERIM. PERMEATER DRAIN WITH HOLES ORIENTED DOWN SLOPED TO DRAINAGE OR TO STORM SEWER OR DRYWELL.
  - ALL LALLY COLUMNS THIS SHEET ASSUMED TO BE TYP.
  - ALL INTERIOR FLOORINGS TO BE DESIGNED PER SOIL CONDITIONS. CONTRACTOR TO VERIFY.
  - DECK SUPPORTS ASSUMED TO BE 10" DIA. SCORBUDES. SOIL CONDITIONS TO DETERMINE FOOTING DESIGN. CONTRACTOR TO VERIFY.
  - FOR PLUMBING LOCATION/LAYOUT, SEE GROUND FLOOR PLAN.
  - CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND STEP FIN./TICS AS REQUIRED PER GRADE AND SOIL CONDITIONS.
  - BASEMENT FINISHES PER OWNER/CONT. (TO BE DETERMINED)
  - CONTRACTOR TO VERIFY GRADE IN FIELD BEFORE CONSTRUCTION OF TYPICAL FOUNDATION WALLS OR DRAINAGE BASEMENT. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FRAM. MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. AND LOCAL CODES.

**CONSTRUCTION NOTE**  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD OF EXISTING STRUCTURE BEFORE NEW CONSTRUCTION IS STARTED. FOUNDATION DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FRAM. MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/CONT. AND LOCAL CODES.



FOUNDATION PLAN  
HAMMOND / SALA RESIDENCE  
GARSOE DRIVE, PORTLAND, MAINE

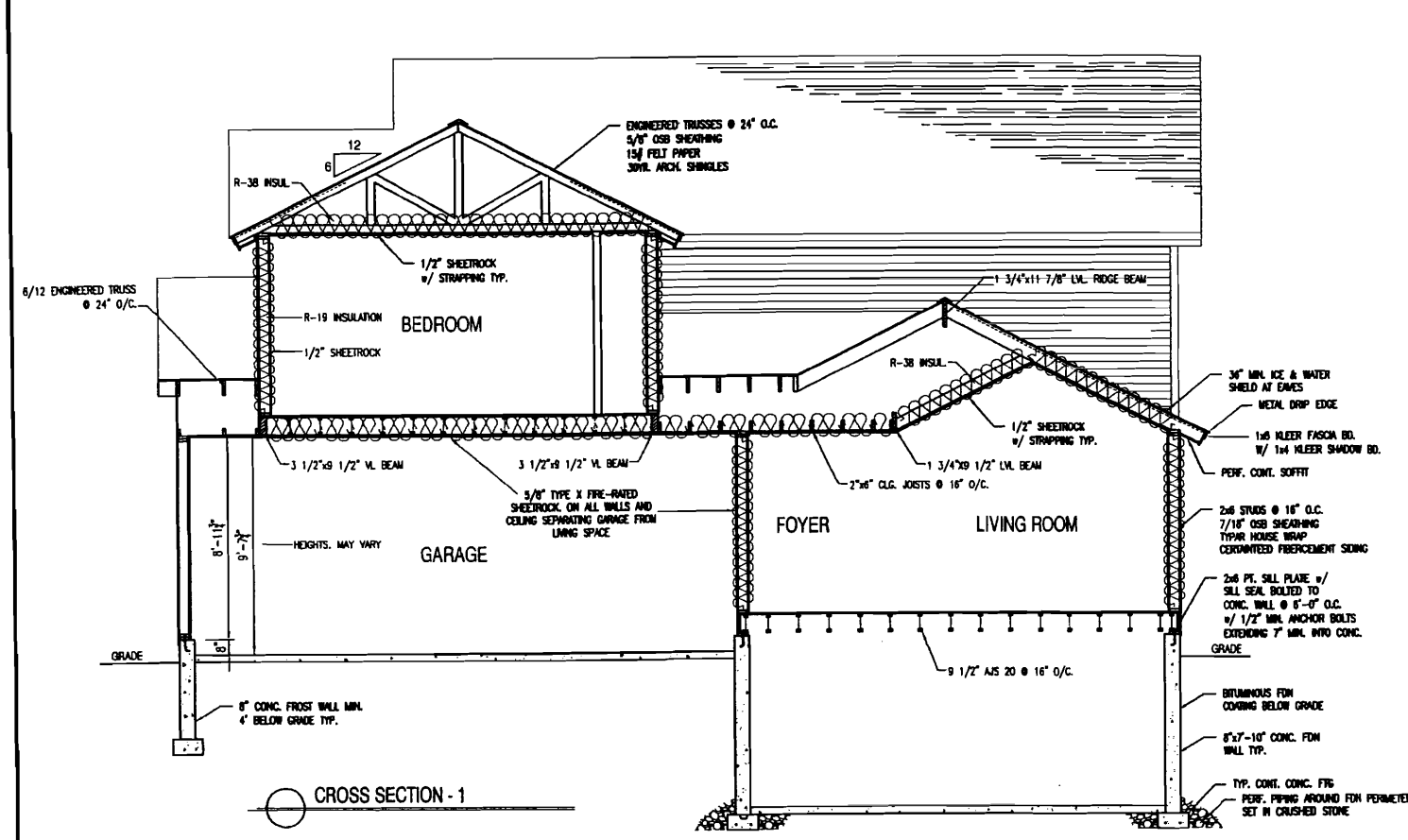
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Revisions:

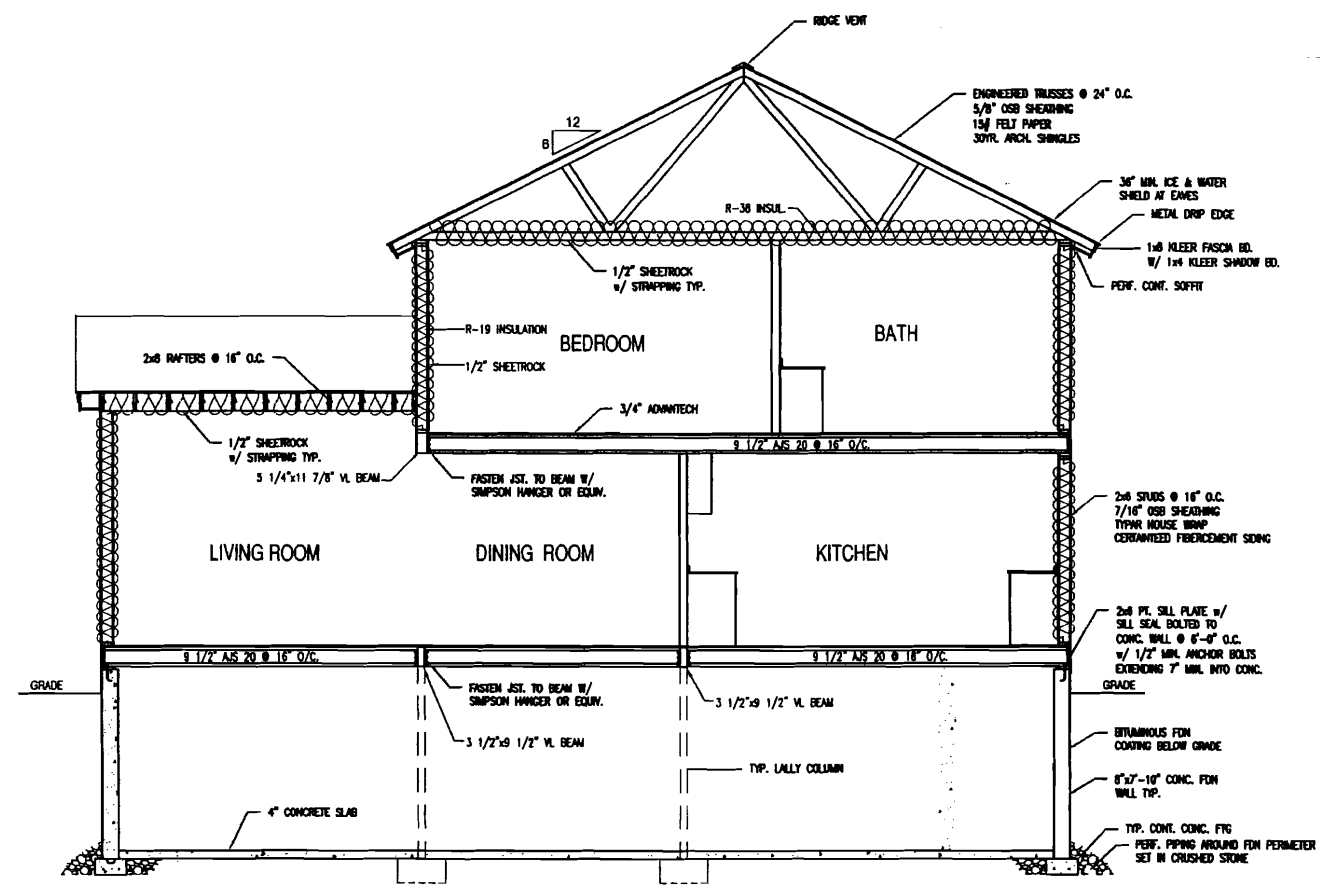

Date: 5/19/09  
Scale: 1/8"=1'-0"  
Drawn By: MTA  
Project: 03041409  
Sheet Number:



CROSS SECTIONS  
 HAMMOND / SALA RESIDENCE  
 GARSOE DRIVE, PORTLAND, MAINE



CROSS SECTION - 1



CROSS SECTION - 2

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Revisions:


Date: 5/19/09  
 Scale: 1/8"=1'-0"  
 Drawn By: MTA  
 Project: CLB041409  
 Sheet Number:





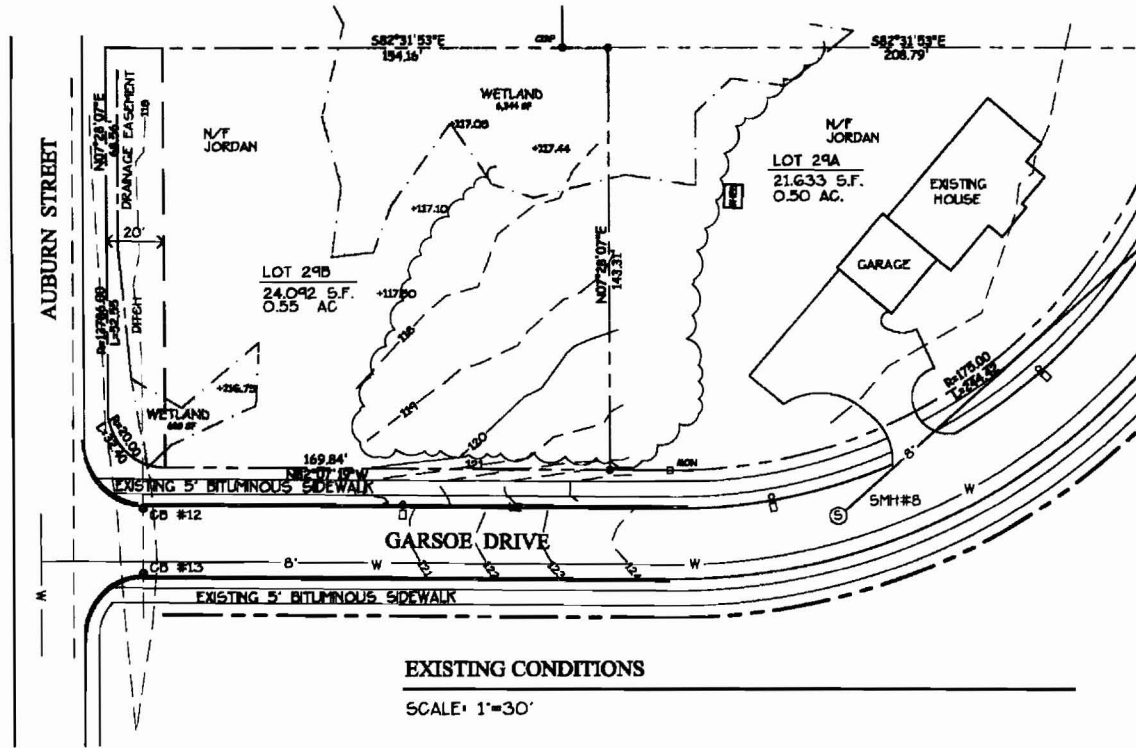
LOCATION MAP  
SCALE: N.T.S.



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HAMMOND/ SALA PROPERTY  
PORTLAND, MAINE  
GARSOE DRIVE



EXISTING CONDITIONS

SCALE: 1"=30'

ZONING REQUIREMENTS	REQUIRED	PROPOSED
1. ZONING DISTRICT:	R2 - RESIDENTIAL	
2. MINIMUM LOT SIZE (RESIDENTIAL):	10,000 S.F.	24,092 S.F.
3. MINIMUM AREA PER DWELLING UNIT:	10,000 S.F.	
4. MINIMUM STREET FRONTAGE:	50 FEET	169.84 FEET
5. MINIMUM YARD DIMENSIONS:		
FRONT YARD (PRINCIPAL STRUCTURE):	25 FEET	25 FEET
REAR YARD (PRINCIPAL STRUCTURE):	25 FEET	78.46 FEET
SIDE YARD:		12 FEET
2 STOREYS:	14 FEET	
THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 12 FEET.		
NOTE: WEST SIDE AND REAR SETBACKS BASED ON 25FT SETBACK FROM WETLAND.		
6. MAXIMUM LOT COVERAGE:	20% OF AREA	7 PERCENT
7. MINIMUM LOT WIDTH:	80 FEET	169.84 FEET
8. MAXIMUM HEIGHT (PRINCIPAL STRUCTURE):	35 FEET	30 FEET

GENERAL NOTES:

- THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS, LOT #29A AND LOT #29B.
- ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION 'AUBURN PINES SUBDIVISION, AUBURN ST., PORTLAND, ME' DATED APRIL 26, 1999 APPLY TO LOTS #29A AND LOT #29B, RECORDED C.C.R.D. PLAN BOOK 199 PAGE 393, DATED AUGUST 11, 1999.
- THE WETLANDS AS SHOWN WERE DELINEATED BY DALE A. BREWER OF STATEWIDE SURVEYS, INC. ON AUGUST 19, 2006.
- THE WETLAND BOUNDARIES WERE MAPPED USING A TRIPLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
- BOUNDARY INFORMATION PER "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM & GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99 RECORDED IN PLAN BOOK 199 PAGE 393.
- NEW HOME SHALL HAVE ITS NUMBER CLEARLY VISIBLE FROM THE ROAD.
- NEW LOT SHALL BE SERVICED BY PUBLIC SEWER AND WATER.
- POWER, TELEPHONE AND CABLE SHALL BE UNDERGROUND.
- NEW LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CONDITION OF APPROVAL: THAT ANY PRIMARY STRUCTURE (HOME AND/OR GARAGE) CONSTRUCTED ON LOT 29B IS REQUIRED TO UTILIZE THE BUILDING ENVELOPE AS SHOWN ON THE SUBDIVISION AMENDMENT PLAN, AND NO TREE CUTTING OR DISTURBANCE IS ALLOWED IN THE DELINEATED WETLANDS AS SHOWN. A REVISED AMENDMENT PLAN SHALL BE PREPARED FOR PLANNING BOARD SIGNATURE SHOWING THE WETLAND AREAS AS A "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" AREA. THE RECORDING PLAT AND THE "NO TREE CUTTING, NO FILL, NO YARD WASTE, NOT TO DISTURB" RESTRICTION IS TO BE REFERENCED IN THE DEED TRANSFERRING THE NEW LOT AND A MINIMUM OF THREE PERMANENT SURVEY MARKERS ARE TO BE SHOWN ON THE PLAT AND INSTALLED ON-SITE SHOWING THE LIMITS OF THE DELINEATED WETLANDS.
- THIS PLAN SUPERCEDES APPROVED PLAN REVISED DATED DECEMBER 4, 2006

LEGEND

EXISTING IRON PIN	
PROPOSED IRON PIN	
EXISTING MONUMENT	
EXISTING LIGHT POLE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
LIMIT OF WETLAND	
EDGE OF PAVEMENT	
CONTOURS	
TREE LINE	
CATCHBASIN	
EXISTING SEWER	
EXISTING WATER	
PROPOSED SEWER	
PROPOSED WATER	
PROPOSED TREES	

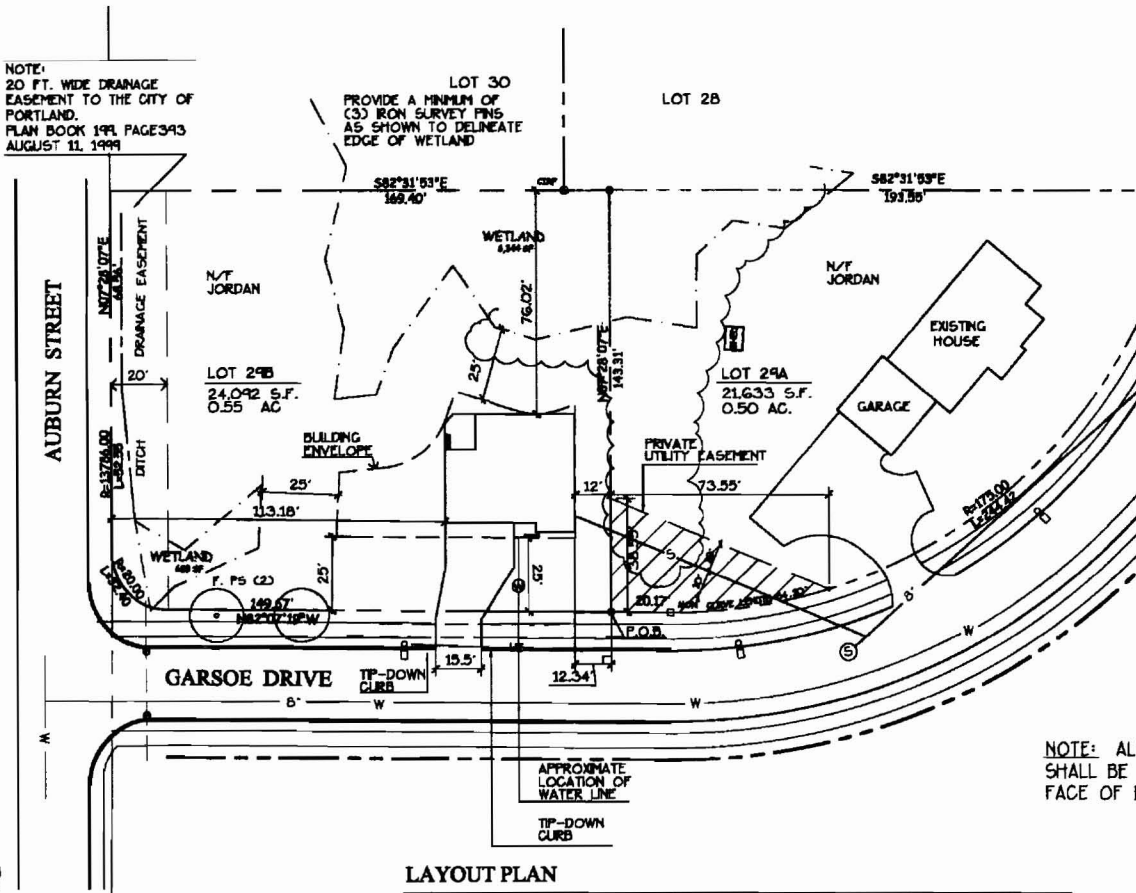
CERTIFICATION

SURVEYORS CERTIFICATION IS TO THE CONFIGURATIONS AND AREAS OF THE PROPOSED PARCELS ONLY. INFORMATION FOR THE PERIMETER OF THE ORIGINAL LOT 29 IS BASED ENTIRELY ON A PLAN ENTITLED "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM & GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99, RECORDED IN PLAN BOOK 199 PAGE 393.

Rex J. Croteau, PLS #2273  
Tilcomb Associates



NOTE:  
20 FT. WIDE DRAINAGE EASEMENT TO THE CITY OF PORTLAND.  
PLAN BOOK 199 PAGE 393  
AUGUST 11, 1999



LAYOUT PLAN

SCALE: 1"=30'

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
F. PS	2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

NOTE: ALL DIMENSIONS FOR SETBACKS SHALL BE TO FACE OF STRUCTURE OR FACE OF EAVES

Date: MAY 5, 2009

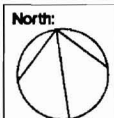
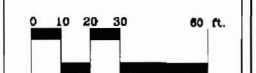
Issued For: SITE PLAN APPROVAL AND CONSTRUCTION

Revisions:

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Title: EXISTING CONDITIONS AND LAYOUT PLAN

Scale: 1"=30'



Sheet No.: 1



**EROSION AND SEDIMENTATION CONTROL PLAN**

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE ACTIVITIES ASSOCIATED WITH THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE LOCATED AT 32 GARSOE STREET, PORTLAND, MAINE. THIS PLAN IS BASED ON THE STORMWATER MANAGEMENT FOR MAINE VOLUME 8 BMP TECHNICAL DESIGN MANUAL DATED JANUARY 2006.

**A. PROPOSED DEVELOPMENT**

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 2,231 SQUARE FOOT SINGLE FAMILY RESIDENCE AND DRIVEWAY. THE HORIZONTAL AND VERTICAL PLACEMENT OF THE PROPOSED BUILDING AND DRIVEWAY HAVE BEEN DESIGNED TO MAXIMIZE THE TOPOGRAPHIC OPPORTUNITIES AVAILABLE.

**A. EROSION CONTROL PRACTICES/TEMPORARY MEASURES**

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:  
EACH GROUND AREA OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

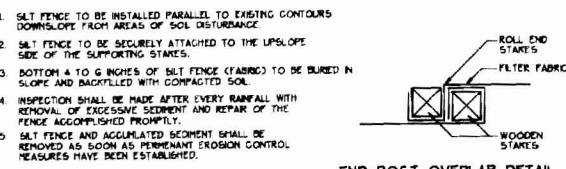
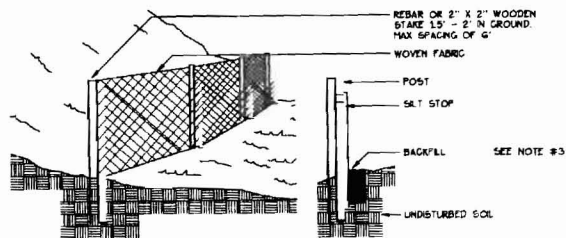
TEMPORARY SEEDING: SEED SHALL BE ARDSOON RYE APPLIED AT 2.00#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 13.8#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 100-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

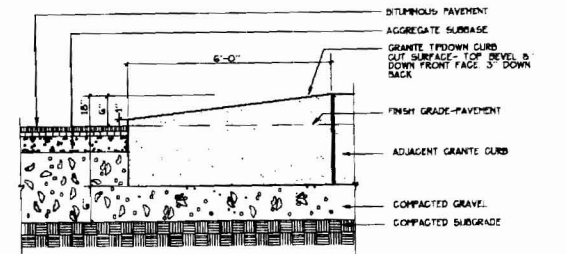
PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:

- a) SLOPES SHALL BE LESS THAN EIGHT PERCENT.
- b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

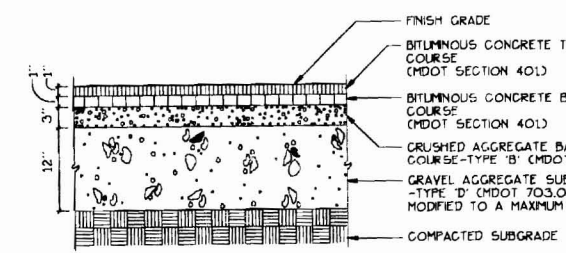
ASPHALT BINDER COURSE: ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.



**1 SILT FENCE**  
NOT TO SCALE



**2 GRANITE TIP-DOWN CURB**  
NOT TO SCALE



**3 BITUMINOUS PAVEMENT- DRIVEWAY**  
NOT TO SCALE

**B. EROSION CONTROL PRACTICES/PERMANENT MEASURES**

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN	
CREeping RED RESCUE:	0.6#/1000 SF
KENTUCKY BLUEGRASS:	0.57#/1000 SF
PERENNIAL RYE GRASS:	0.46#/1000 SF
REDTOP:	0.12#/1000 SF
TOTAL:	1.84#/1000 SF

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLYING MULCH SHALL BE THOROUGHLY WETTED. IN S-TEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RESEEDING AND REMULCHED.

**C. CONSTRUCTION SEQUENCE (PHASE D)**

THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:

1. INSTALL EROSION CONTROL DEVICES.
2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL.
3. GRADE DISTURBED AREAS OF SITE.
4. WITHIN 15 DAYS OF INITIAL DISTURBANCE.
5. INSTALL FUTURE UTILITY SERVICES(S) SANITARY SEWER, POTABLE WATER, ELECTRIC, TELEPHONE AND CABLE.
6. COMPLETE SITE CONSTRUCTION WORK.
7. CONSTRUCT DRIVEWAY.
8. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.
9. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

**D. SITE INSPECTION + MAINTENANCE**

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5\"/>

CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF TOBY HAMMOND OR ASSIGNS.

**NOTES:**

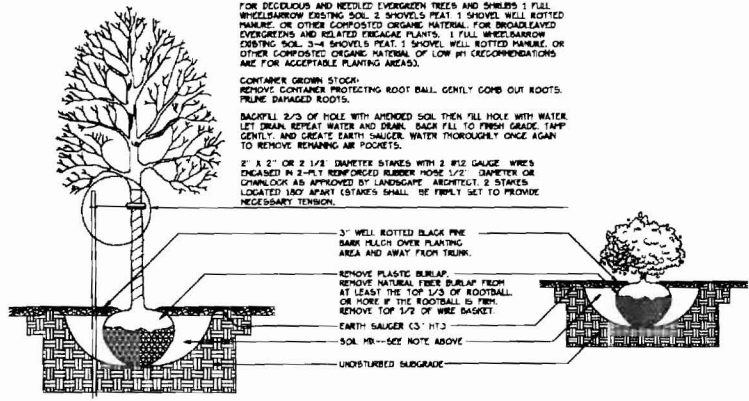
DIG HOLES AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL. SHOULDER SET ROOT BALL CENTERED WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1. FULL WIDE-BARROW EXISTING SOIL. 2. SHOVELS PEAT. 3. SHOVELS WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROADLEAVED EVERGREENS AND RELATED FOLIAGE PLANTS: 1. FULL WIDE-BARROW EXISTING SOIL. 2-4 SHOVELS PEAT. 3. SHOVELS WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL. OF LOW pH (COMPARATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE CONTAINERS PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS. PLANT DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL. THEN FILL HOLE WITH WATER. LET DRAIN. REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY. AND CREATE EARTH SAUCER WATER THROUGHOUT. ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

IF A 2\"/>



**4 TREE AND SHRUB INSTALLATION**  
NOT TO SCALE

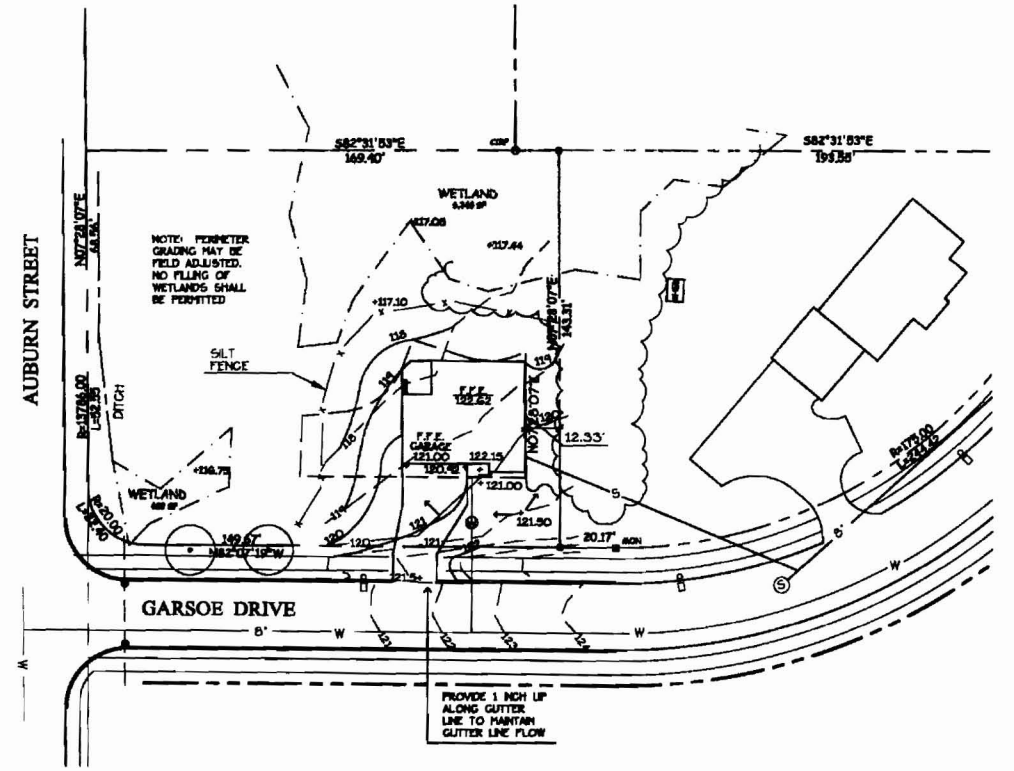
**LEGEND**

EXISTING IRON PIN	
PROPOSED IRON PIN	
EXISTING MONUMENT	
EXISTING LIGHT POLE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
LIMIT OF WETLAND	
EDGE OF PAVEMENT	
EXISTING CONTOURS	
PROPOSED CONTOURS	
EXISTING TREE LINE	
PROPOSED TREE LINE	
CATCHBASIN	
PROPOSED TREES	

**Prepared For:**  
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**Prepared By:**  
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Portland, Maine 04101  
Tel: (207) 774-4427

**HAMMOND/ SALA PROPERTY**  
PORTLAND, MAINE  
GARSOE DRIVE



**GRADING PLAN**

SCALE: 1"=30'

NOTE: NO TREE CUTTING, FILLING OR DISPOSAL OF YARD WASTE SHALL BE PERMITTED IN DELINEATED WETLAND AREAS.

Date: MAY 5, 2009

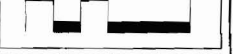
Issued For: **SITE PLAN APPROVAL AND CONSTRUCTION**

Revisions:

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Title: **EROSION & SEDIMENTATION CONTROL PLAN, DETAILS & GRADING PLAN**

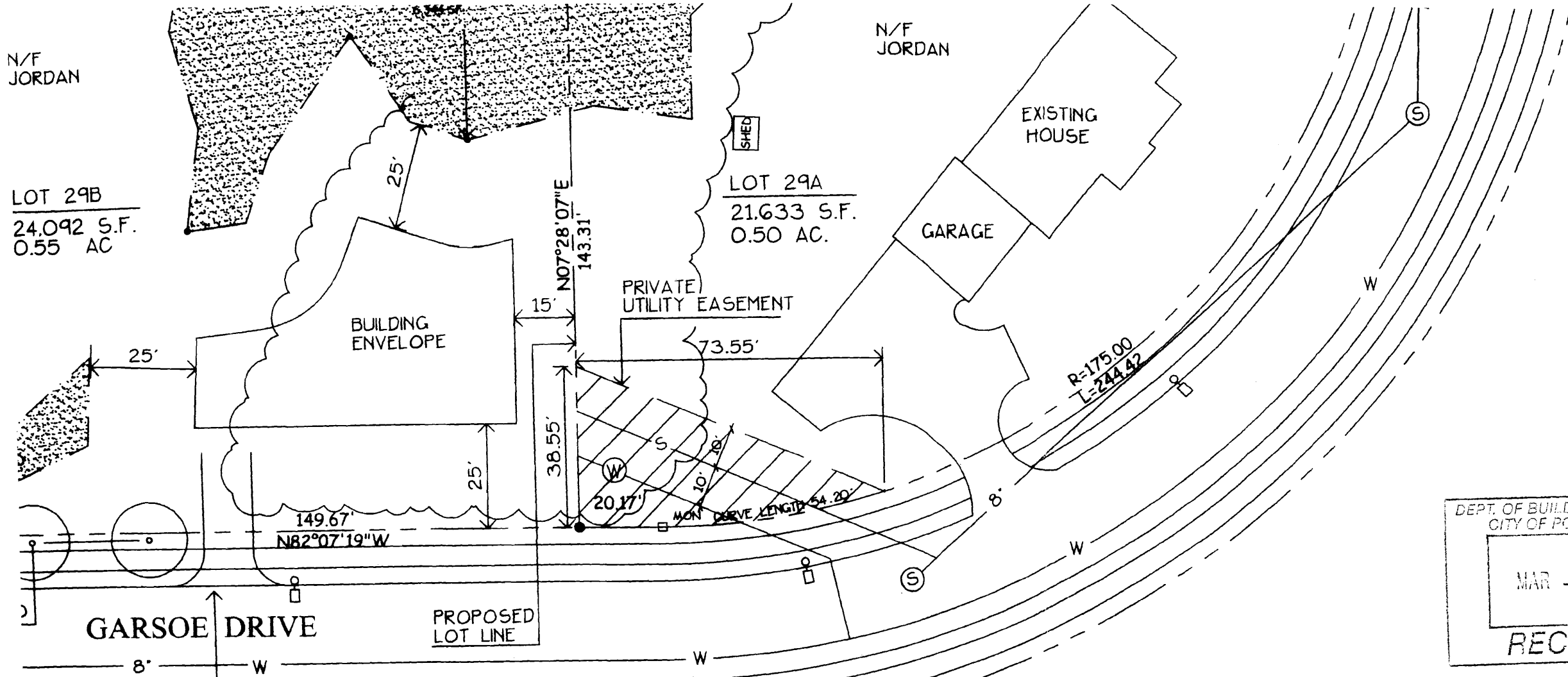
Scale: 1"=30'



North:

Sheet No: **2**





**PROPOSED LOT DIVISION**  
SCALE: 1"=30'

NAME	COMMON NAME	SIZE
SYLVANIA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

**CITY OF PORTLAND  
SUBDIVISION ALTERATION APPROVAL**

Alterations to the original approved recording plat have been approved by the City of Portland Department of Planning and Development in compliance with section 14-496(3) of the subdivision ordinance. Approved alterations include:

REVISING THE DIMENSIONS OF THE NORTHERLY BOUNDARY LINE TO CORRECT A MATHEMATICAL ERROR AND ADJUSTING THE LOT SQUARE FOOTAGE TO COMPENSATE FOR ERROR.

*Lee A. Wilson*  
Director of Planning and Development  
Date: *February 28, 2007*

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: \_\_\_\_\_

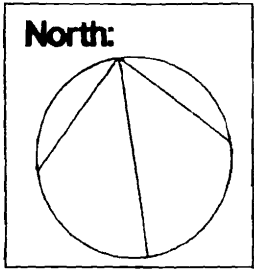
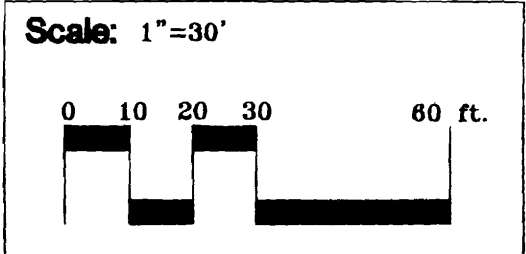
Date:  
SEPTEMBER 27, 2006

Issued For:  
LOT DIVISION  
APPROVAL

Revisions:  
REVISED DECEMBER 4, 2006 TO  
ADDRESS PLANNING BOARD  
CONDITIONS OF APPROVAL  
REVISED - FEBRUARY 28, 2007

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Title:  
AMENDED  
SUBDIVISION PLAT  
*34 GARSOE*  
*revised correct*



Sheet No.:  
**1**

*3/7/07*

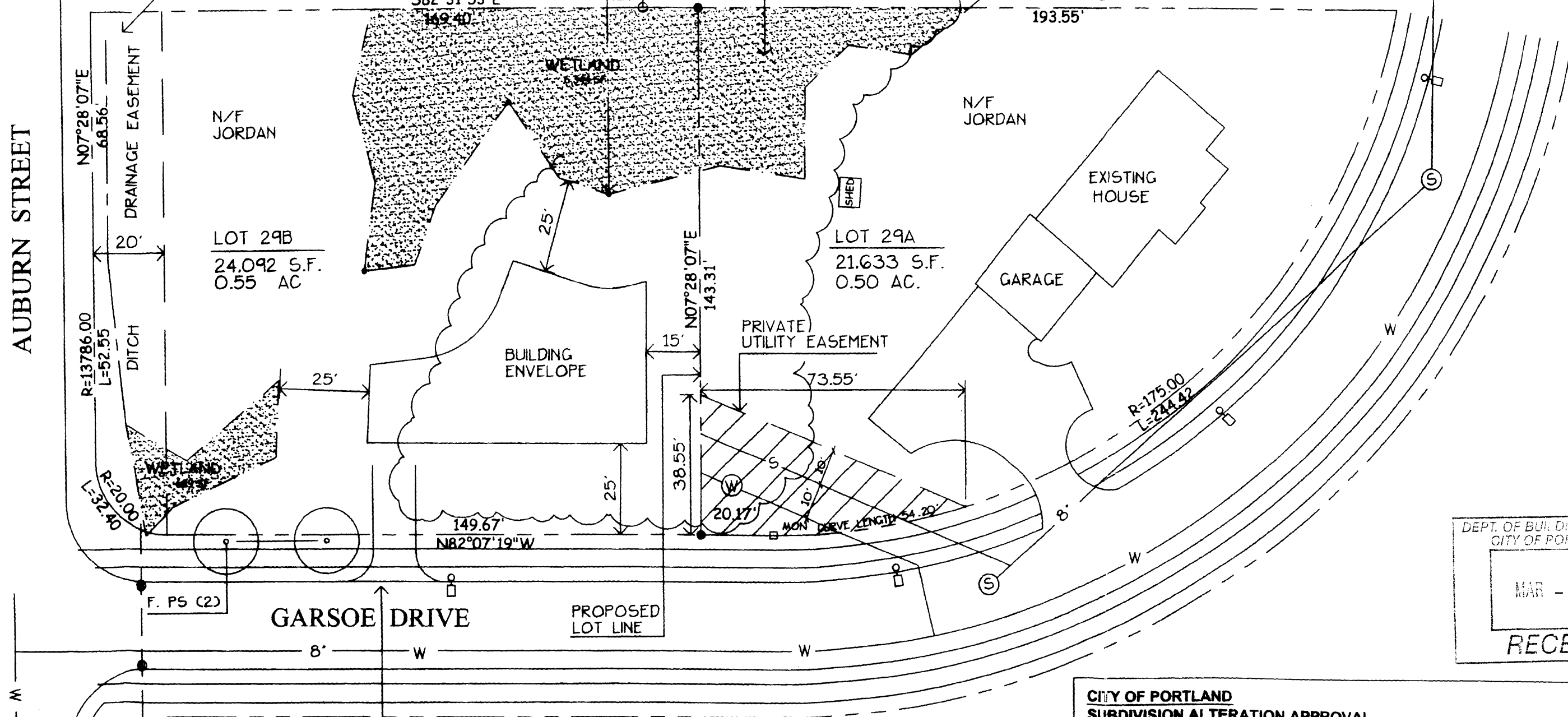


NOTE:  
20 FT. WIDE DRAINAGE  
EASEMENT TO THE CITY OF  
PORTLAND.  
PLAN BOOK 199. PAGE 393  
AUGUST 11, 1999

LOT 28

NOTE: NO TREE CUTTING. NO  
FILLING. NO YARD WASTE OR NOT  
TO DISTURB WITHIN THE  
DELINEATED WETLAND SHALL BE  
PERMITTED

LOT 30  
PROVIDE A MINIMUM OF  
(3) IRON SURVEY PINS  
AS SHOWN TO DELINEATE  
EDGE OF WETLAND



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
MAR - 7 2007  
**RECEIVED**

LOCATION OF DRIVEWAY IS  
SUBJECT TO PROPOSED  
HOUSE DESIGN AND  
LAYOUT.

**PROPOSED LOT DIVISION**

SCALE: 1"=30'

**CITY OF PORTLAND**  
**SUBDIVISION ALTERATION APPROVAL**

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REVISING THE DIMENSIONS OF THE NORTHERLY BOUNDARY LINE TO CORRECT A MATHEMATICAL ERROR AND ADJUSTING THE LOT SQUARE FOOTAGE TO COMPENSATE FOR ERROR.

*[Handwritten Signature]*

EAS  
A  
NKHAM  
ORDER